PROPERTY INFORMATION: **PROJECT DESCRIPTION:** DESCRIPTION OF WORK: INSTALL CURB AND GUTTER, AND ASPHALT PARKING ADDRESS: 1074 E HENRI DE TONTI BLVD IS THIS SITE IN A FLOODPLAIN? PARCEL NO.: 830-37582-000 CUT: ______c.y. FILL: _____c.y. CERTIFICATE OF PRELIMINARY APPROVAL: SUBDIVISION: N/A PURSUANT TO THE CITY OF TONTITOWN SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND TYPE OF FILL: ____ APPROVALS HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS. THIS APPROVAL DOES NOT GUARANTEE ANY OF THE FOLLOWING: LOT-BLOCK: N/A ADEO PERMIT: YES, SEE ATTACHED 1. DELIVERY OF PUBLIC WATER OR SEWER SERVICE. DELIVERY OF ANY OTHER UTILITY SERVICE. IMPROVEMENTS TO ANY AFFECTED CITY STREETS OR COUNTY ROADS. END DATE: START DATE: APPROVAL FROM THE ARKANSAS DEPARTMENT OF HEALTH. PHASE: N/A 5. ACCESS TO THE PROPERTY VIA EASEMENTS OR OTHERWISE EITHER KNOWN OR UNKNOWN **CONTRACTOR INFORMATION:** ACREAGE: 1.00 ACRES DATE OF EXECUTION: ______ NAME: _____ ZONING: C-2 GENERAL COMMERCIAL CHAIRPERSON TONTITOWN PLANNING COMMISSION, CITY OF TONTITOWN ADDRESS: OWNER INFORMATION: CLERK-TREASURER, CITY OF TONTITOWN CITY, STATE, ZIP: NAME: ANTHONY SALERNO PHONE: **CERTIFICATE OF ENGINEERING ACCURACY:** ADDRESS: 1074 E HENRI DE TONTI BLVD , HEREBY CERTIFY THAT THIS PLAT OR PLAN EMAIL: CORRECTLY REPRESENTS A PLAT OR PLAN MADE BY ME AND THAT THE ENGINEERING REQUIREMENT CITY, STATE, ZIP: TONTITOWN, AR, 72762 OF THE CODES OF ORDINANCES PER THE CITY OF TONTITOWN ARKANSAS HAVE ME MET. ☐ SELECT IF THIS THE PRIMARY CONTACT DATE OF EXECUTION: ______ PHONE: 1-479-366-2558 SIGNED: EMAIL: Tonysalerno@AOL.com **SURVEYOR INFORMATION:** NAME: _____ ☐ SELECT IF THIS THE PRIMARY CONTACT PROFESSIONAL ENGINEER NUMBER: ______, STATE OF ARKANSAS NAME: CARL GALES **CERTIFICATE OF SUREVYING ACCURACY:** COMPANY NAME: KAS GALES CO. **ENGINEER INFORMATION:** , HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS ADDRESS: 18772 HARMON ROAD SHOWN HEREON ACTUALLY EXIST AND THERE LOCATION. TYPE AND MATERIAL ARE CORRECTLY NAME: CARL GALES SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET. CITY, STATE, ZIP: FAYETTEVILLE, AR 72704 COMPANY NAME: <u>KAS GALES CO.</u> DATE OF EXECUTION: _____, PHONE: <u>1-479-422-0763</u> ADDRESS: 18772 HARMON ROAD EMAIL: CARLGALES@YAHOO.COM CITY, STATE, ZIP: FAYETTEVILLE, AR 72704 REGISTERED LAND SURVEY NUMBER: ______, STATE OF ARKANSAS REGISTER LAND SURVEY NUMBER: 611, STATE OF AR. PHONE: 1-479-422-0763

PRELIMINARY LARGE SCALE DELEVEOPMENT DESIGNER BARBER PARKING LOT EXPANSION AND PAVING TONTITOWN, ARKANSAS

SHEET INDEX

1.	TITLE SHEET
2.	NOTE SHEET
3.	GRADING PLAN
4.	EXISTING STORM WATER DRAINAGE
5.	PROPOSE STORM WATER DRAINAGE
6.	PARKING LOT DETAILS
-	CIDEWALK DETAIL C

DESCRIPTION

- SIDEWALK DETAILS
- STORM WATER MANAGEMENT PLAN SHEET 1 STORM WATER MANAGEMENT PLAN SHEET 2
- TYPICAL EROSION CONTROL DEVICES
- FIRM 05143C0065F
- ACTDATA SCOUT PROPERTY MAP
- USGS QUADRANGLE TOPOGRAPHIC MAP
- SURVEY

CLIENT: ANTHONY SALERNO OWNER: ANTHONY SALERNO 1074 E HENRI DE TONTI BLVD. TONTITOWN AR., 72762 **GRADING PLAN IN** TONITOWN, ARKANSAS

LEGAL DESCRIPTION: (PARCEL #830-37582-000, SURVEY, FILE NO. 2000-00022412, BOOK 2000, PAGE 22412, RECORED 03/24/2000 WASHINGTON COUNTY CIRCUIT COURT) A part of the West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the Northeast Quarter (NE 1/4) of Section Six (6), Township Seventeen (17) North, Range Thirty (30) West, Washington County Arkansas. Being more particularly

described as follows: Commencing at the Southeast Corner of the said 20 Acres Tract; thence N00°10'21"E along the East line of the said 20 Acre tract a distance of 39.68 feet to the Point of Beginning: said point being on the North Right of Way of U.S. Highway 412; thence N00°10'21"E along the East line of the said 20 Acre tract a distance if 359.81 feet; thence N89°51'38"W 130.03 feet: thence S00°09'39"W 135.49 feet: thence S89°51'38"E 14.00 feet; thence S00°10'21"W 224.36 feet to

the North Right of Way of said Highway; thence S89°52'42"E 116.00 feet to the Point of Beginning. Containing 1.002 acre, more or less.

GENERAL REQUIRMENTS CHECK LIST NOTES: (SEE SHEET 2 FOR ADDITIONAL NOTES)

FLOOD INFORMATION: PER WWW.FEMA.GOV, THIS PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN MAP NUMBER 05143C0065F, DATED 04/02/2008. WETLAND AND USACE INFORMATION:

PER WWW.FWS.GOV, THIS PROPERTY APPEARS NOT TO BE LOCATED IN ANY WETLAND. SOIL INFORMATION:

CaB CAPTINA SILT LOAM, 1 TO 3 PERCENT SLOPES **ZONING INFORMATION:**

ZONED C-2 GENERAL COMMERCIAL LIGHTING INFORMATION:

EXISTING BUILDING HAS OUTSIDE LIGHTING TO PROPERLY ILLUMINATE THE PARKING LOT DURING THE NIGHT AND A STREET LIGHT IS PRESENT AT THE NORTH CORNER OF THE EXISTING BUILDING. NO OTHER LIGHTING REQUIRED.

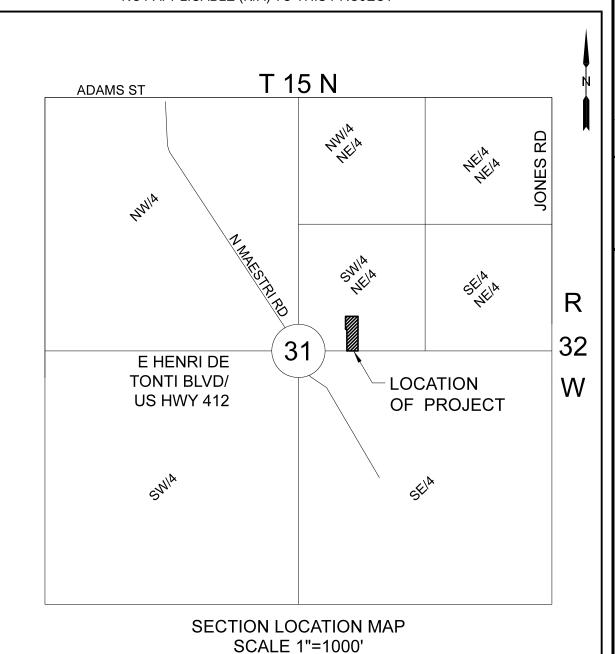
ZONING INFORMATION: ZONED C-2 GENERAL COMMERCIAL EROSION PROBLEMS:

THERE ARE NO KNOWN EROSIONS PROBLEMS ON SITE OR WITHIN 100' HAZARD INFORMATION:

THIS PROPERTY DOES NOT TO HAVE ANY KNOWN HAZARDS. THIS INCLUDES NO KNOWN ABANDONED WATER WELLS, SUMPS, CESSPOOLS. WATER IMPOUNDMENTS. AND UNDERGROUND STRUCTURES. OR INDICATIONS OF OTHER KNOWN POTENTIALLY DANGEROUS AREAS, INCLUDING AREAS SUBJECT TO FLOODING, SLOPE STABILITY, SETTLEMENT, EXCESSIVE NOISE, PREVIOUSLY FILLED AREAS AND THE MEANS OF MITIGATING THE HAZARDS (ABATEMENT WALL, SIGNAGE, ETC.)

LEASE AND MINERAL INFORMATION THIS PROPERTY DOES NOT TO HAVE ANY KNOWN LEASE AGREEMENTS OR MINERAL RIGHTS RECORDED. STATIC PRESSURE AND FLOW OF NEAREST HYDRANT:

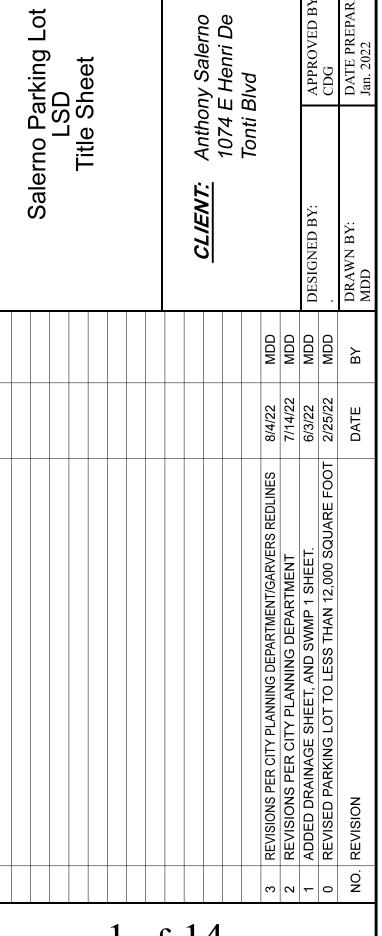
NOT APPLICABLE (N/A) TO THIS PROJECT



TONTITOWN, AR

LATITUDE: 36°10'36.61"N, LONGITUDE: 94°13'02.22"W





of 14 SHEET NO.



Fence (Type Noted) Sewer Cleanout DATE PREPARED:

SELECT IF THIS THE PRIMARY CONTACT

Storm Water Manhole Telephone Pedestal Firehydrant

Guy Anchor

Benchmark

AC Unit

EMAIL: CARLGALES@YAHOO.COM

PROFESSIONAL ENGINEER NUMBER: 2763, STATE OF AR.

LEGEND

■ SELECT IF THIS THE PRIMARY CONTACT

Overhead Electric Line

Sewer Line (underground)

Telephone Line (underground)

Gas Line (underground)

Water Line (underground)

Existing Contours

Proposed Contours

size unknown

size noted on plans

BEFORE YOU DIG ... 1-800-482-8998 OR 811

PRIOR TO PERFORMING ANY GRADING OR EXCAVATING WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS AND ARKANSAS ONE-CALL NOT LESS THAN 48 HOURS IN ADVANCE AND SHALL VERIFY OR ESTABLISH THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND LINES.

JANUARY 8, 2022

AERIAL VICINITY MAP SCALE 1"=1000'

GENERAL REQUIRMENTS CHEC LIST NOTES:

CONTUINED FROM SHEET 1 (TITLE SHEET)

BENCHMARK INFORMATION:

BENCHMARK AS SHOWN ON SHEET 3, ELEVATION 1298.47'

UTILITY NOTE:

THESE PLANS REFLECT ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM THE UTILITY COMPANIES. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES ARE SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THERE WILL BE NO NEED FOR ANY ADDITIONAL UTILITIES FROM ANY ORGANIZATION FOR THIS PROJECT.

ADDITIONALLY THERE HAS BEEN NOT OVERFLOW SEWER PROBLEMS ON THIS PARKING LOT.

UTILITY SERVICES:

WATER- CITY OF TONTITOWN
ELECTRIC - OZARK ELECTRIC
GAS - BLACK HILLS ENERGY
TELEPHONE - AT&T
CABLE - COX COMMUNICATION
SEWER - CITY OF TONTITOWN

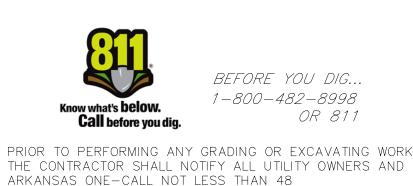
EASEMENT INFORMATION:

ALL RECORDED EASEMENTS HAVE BEEN SHOWN ON THE PLANS THAT ARE ACROSS OR ADJACENT TO THE SUBJECT PROPERTY. THERE WILL BE NO NEED FOR AN ADDITIONAL EASEMENTS FOR THIS PROJECT.

THERE ARE NO OCCURRENCES OF ANY PREVIOUS OVERFLOW PROBLEMS OF SEWER OR SEPTIC SYSTEMS ON SITE OR IN THE PROXIMITY OF THE SITE.

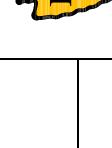
THERE WILL NOT BE ANY NEW STREET CONSTRUTION BEING DONE AT THIS SITE.

THERE IS NO USGS BENCHMARK WITHIN 1/2 MILE OF THIS SITE.

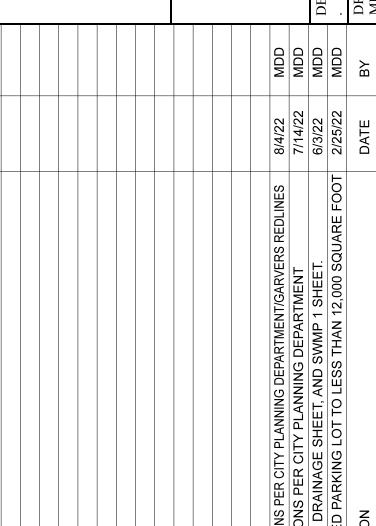


HOURS IN ADVANCE AND SHALL VERIFY OR ESTABLISH THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND LINES.

KAS Gales Company
Consulting Engineers
18772 Harmon Road
Fayetteville, AR 72704
Wk. 479.361.9977 Cell 479.422.0763
Email: carl digales@gmail.com

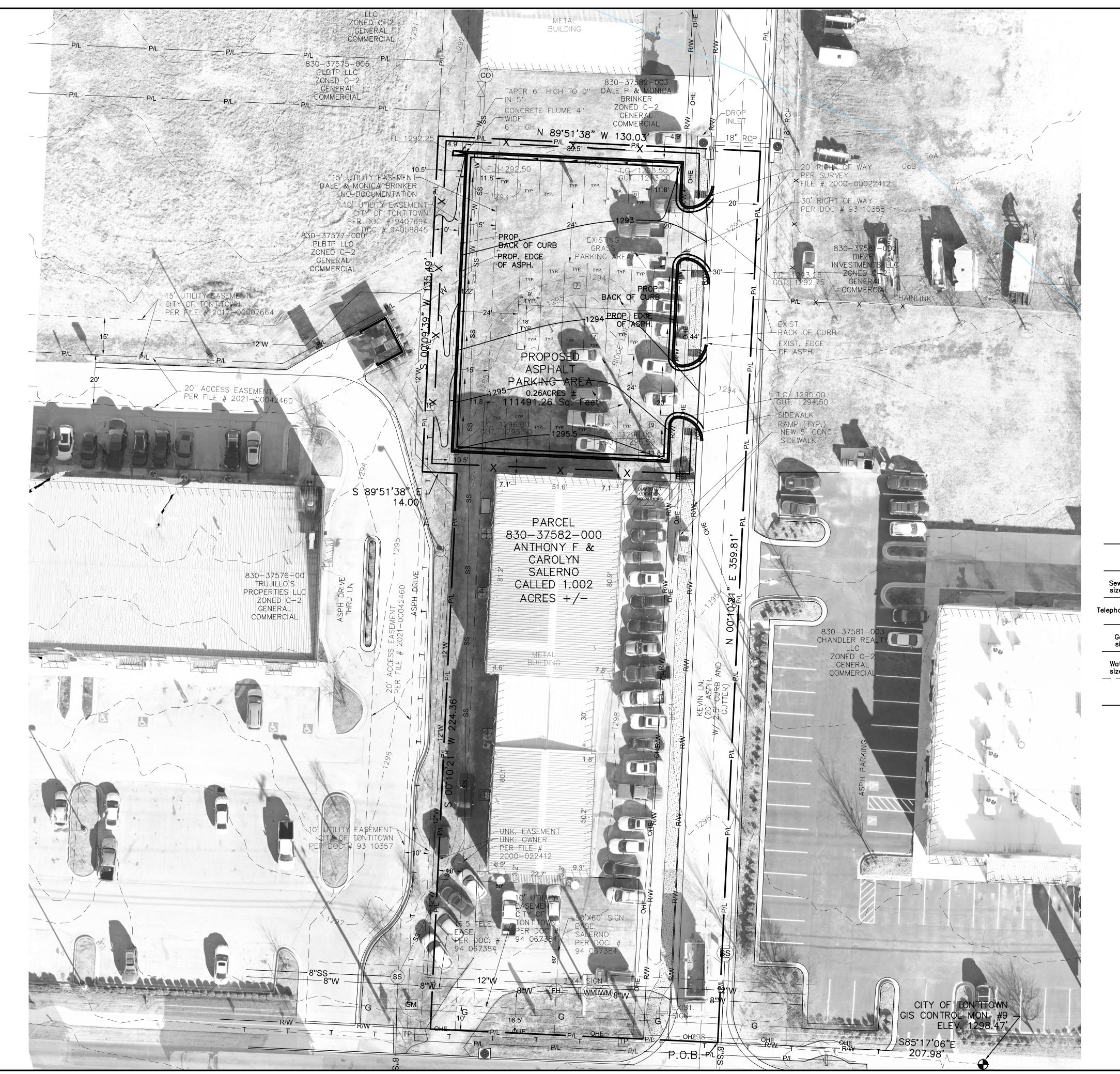


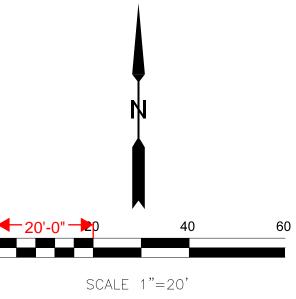
Salerno Parking Lot LSD Note Sheet

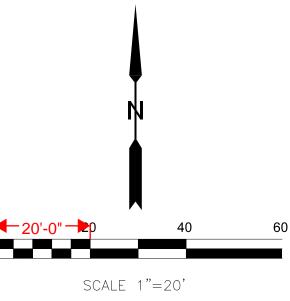


2 of 14 SHEET NO.









PARKING SPACE NOTES: TOTAL OF 32 PARKING SPACES 28 TYPICAL 9'X18' NOTED ON THE GRADING PLAN AS TYP. 4 NO-TYPICAL, WIDTH NOTED, LENGTH 18'

LEGEND

Overhead Electric Line	Section Line
——————————————————————————————————————	x x
Sewer Line (underground) size noted on plans	Fence (Type Noted) (
— т — т —	R/W
Telephone Line (underground)	Right-of-Way Line
—— G —— G ——	
Gas Line (underground) size unknown	Center Line
w	——————————————————————————————————————
Water Line (underground)	Subject Property Line
size noted on plans	——————————————————————————————————————
Existing Contours	Ajdoining Property Line
Proposed Contours	Easement Line

Gas Meter Telephone Pedestal Firehydrant

Guy Anchor AC Unit

Benchmark

3 of 14 SHEET NO.

Anthony Sa 1074 E Hei Tonti Blvd

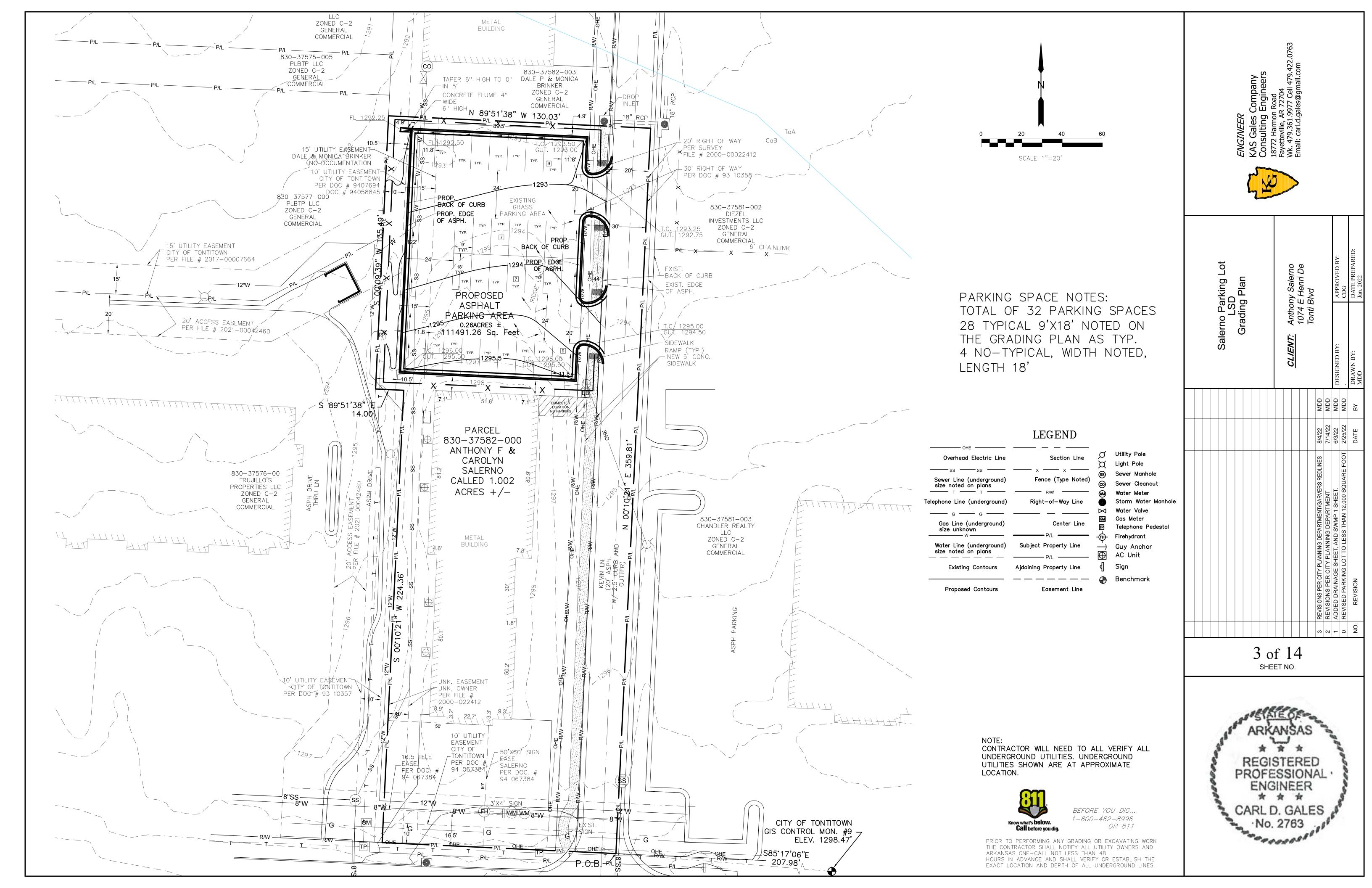
CONTRACTOR WILL NEED TO ALL VERIFY ALL UNDERGROUND UTILITIES. UNDERGROUND UTILITIES SHOWN ARE AT APPROXIMATE LOCATION.

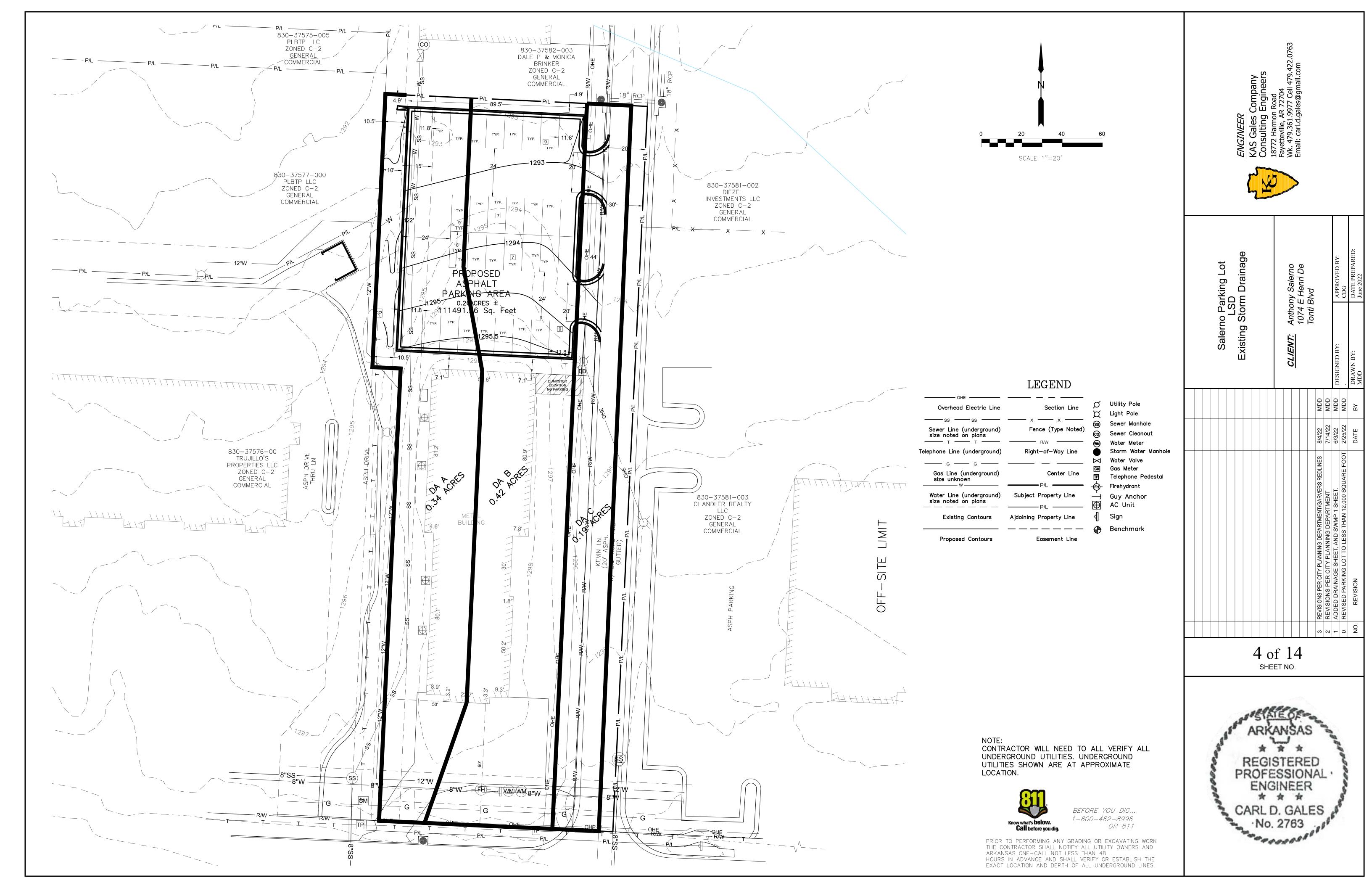


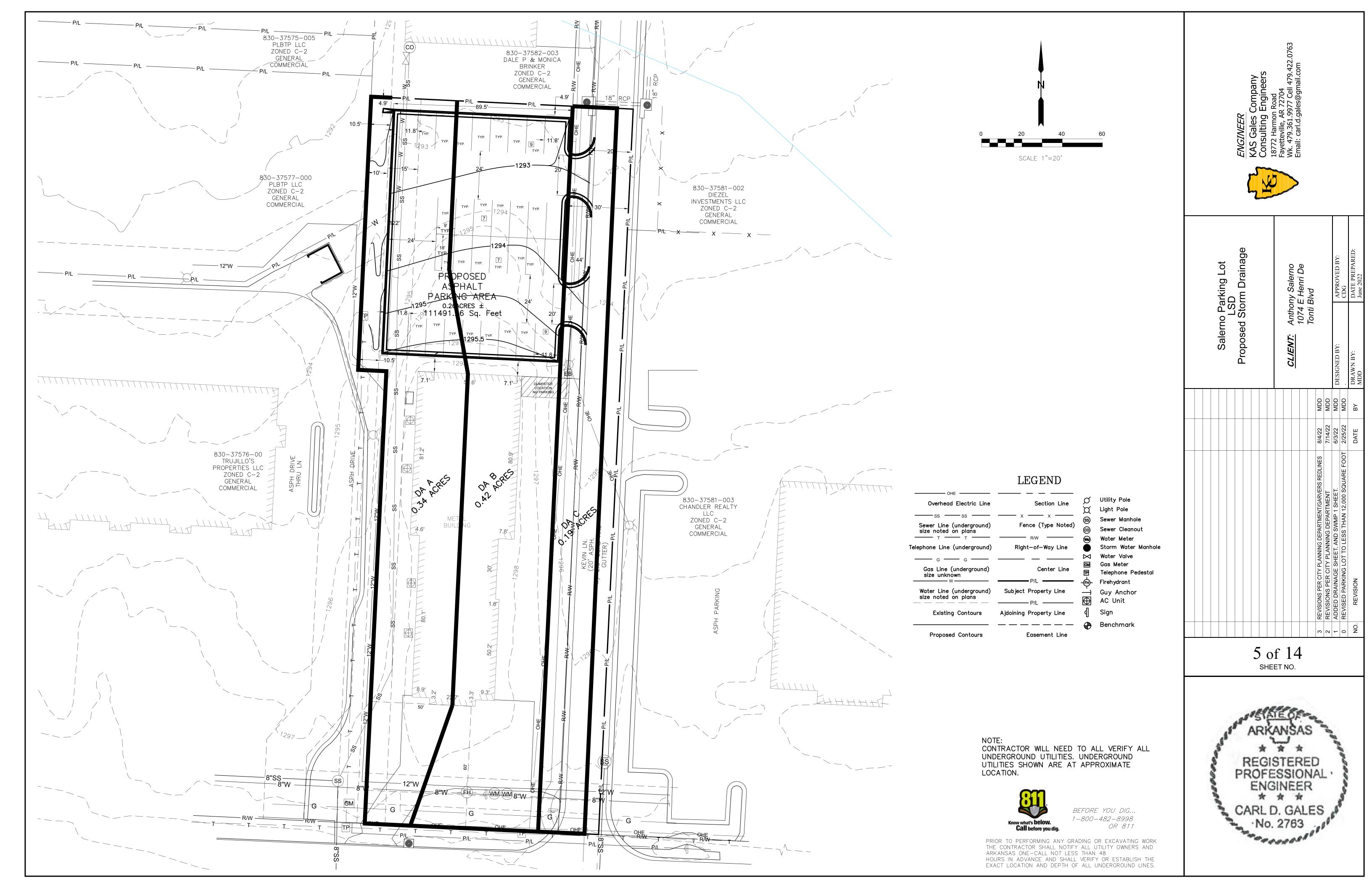
BEFORE YOU DIG... 1-800-482-8998 OR 811

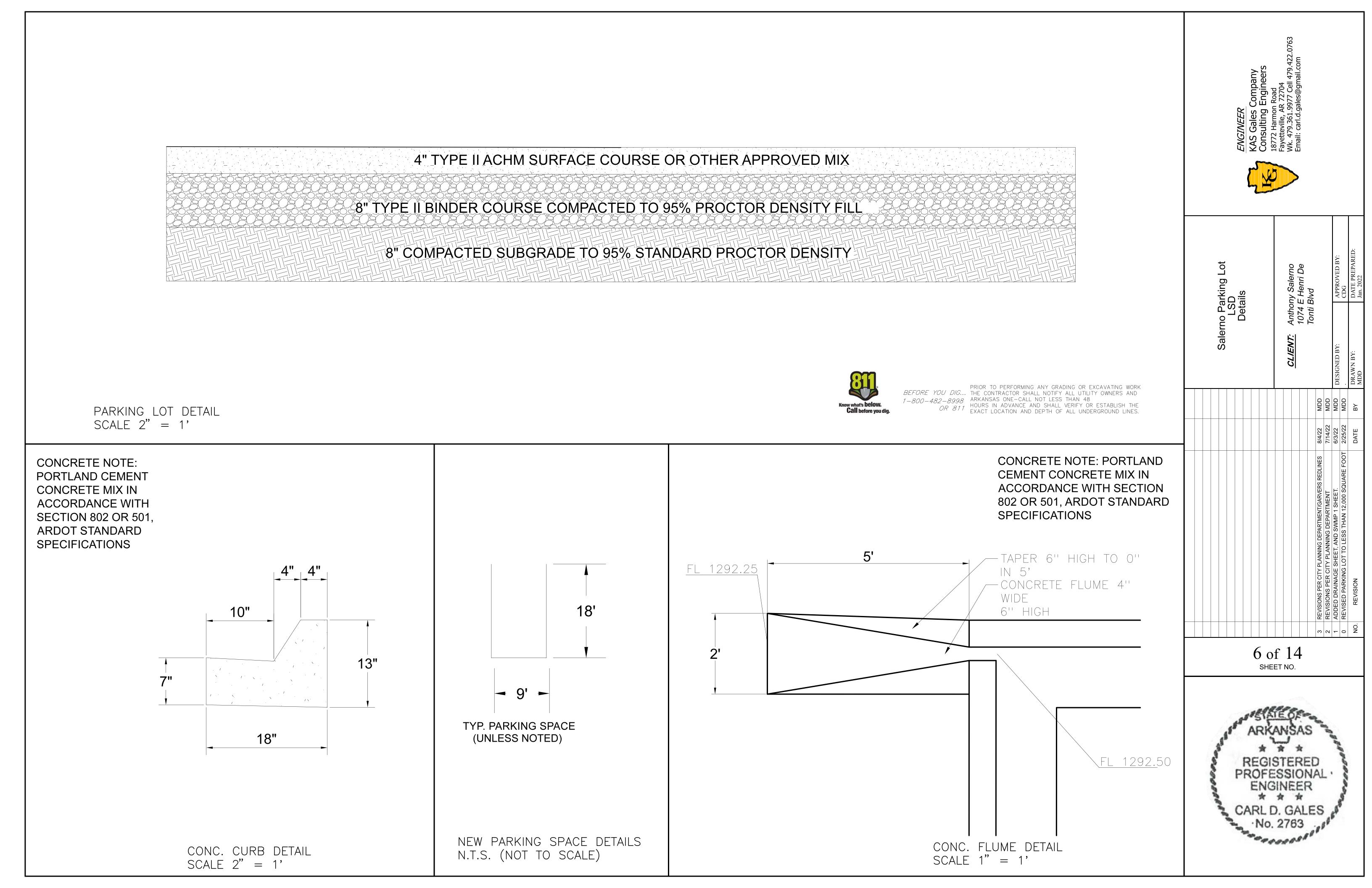
PRIOR TO PERFORMING ANY GRADING OR EXCAVATING WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS AND ARKANSAS ONE—CALL NOT LESS THAN 48 HOURS IN ADVANCE AND SHALL VERIFY OR ESTABLISH THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND LINES.







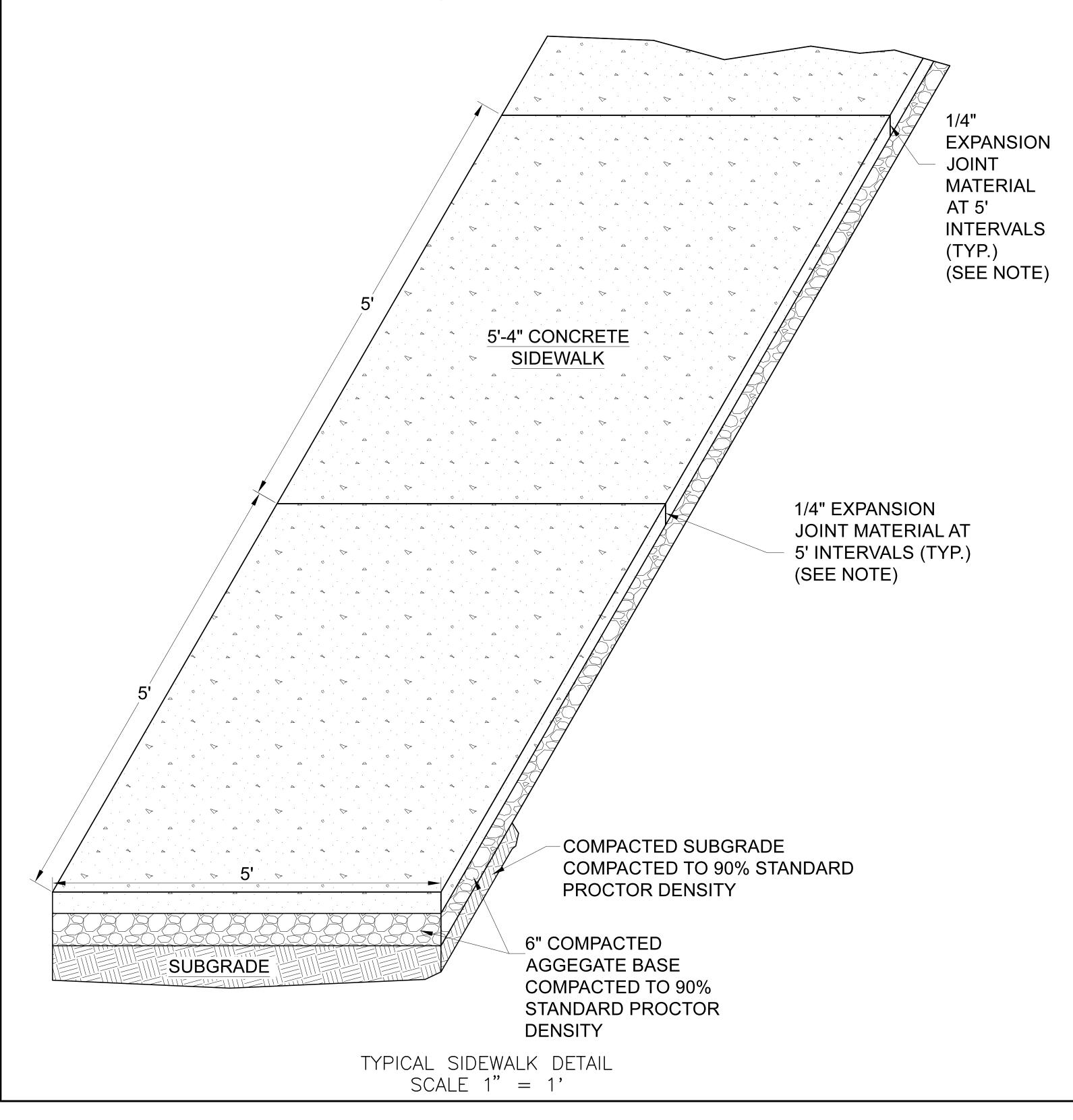




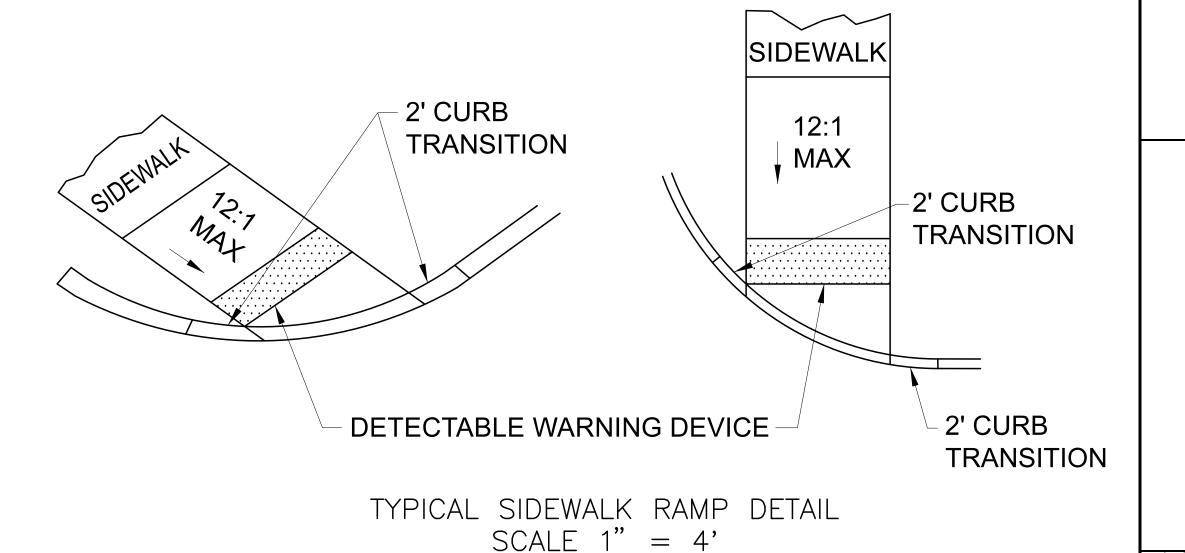
EXPANSION JOINT NOTE: EXPANSION JOINT MATERIAL SHALL BE ASPHALT IMPREGNATED FIBERBOARD MEETING THE REQUIREMENTS OF AASHTO M213, OR OTHER JOINT MATERIAL MEETING THE REQUIREMENTS OF THE LATEST EDITION OF THE ARDOT STANDARD SPECIFICATIONS.

SAW JOINTS AND SEALANT NOTE: SAW JOINTS SHALL BE FILLED WITH SELF-LEVELING SEALANT SUCH AS SONNEBORN SL1 OR EQUIVALENT MEETING THE REQUIREMENTS OF ASTM C 920, TYPE S. ALL EXPANSION JOINTS AND SAW JOINTS SHALL BE SEALED WITH JOINT SEALANT MEETING THE REQUIREMENTS OF ASTM C 920, TYPE S. A SELF-LEVELING SEALANT SHALL BE USED FOR HORIZONTAL SURFACES. A NON-SAG SEALANT SHALL BE USED FOR VERTICAL OR NEARLY VERTICAL SURFACES.

CONCRETE SIDEWALK NOTE: PORTLAND CEMENT CONCRETE MIX IN ACCORDANCE WITH SECTION 802 OR 501, ARDOT STANDARD SPECIFICATIONS



NOTE: THE CROSS SLOPE OF THE RAMPS, LEVEL LANDINGS, AND SIDEWALKS SHALL NOT EXCEED 2.0% UNLESS AND SIDEWALKS SHALL NOT EXCEED 2.0% UNLESS



GENERAL NOTES:

IN NEW CONSTRUCTION, UNLESS OTHERWISE INDICATED ON THE PLANS, WHEELCHAIR RAMPS ARE TO BE PROVIDED AT ALL CORNERS OF CURBED STREET INTERSECTIONS AND MID-BLOCK CROSSWALK LOCATIONS.

IN ALTERATIONS WHEELCHAIR RAMPS ARE TO BE PROVIDED AT CURBED STREET INTERSECTIONS WITH PEDESTRIAN TRAFFIC AND MID-BLOCK CROSSWALK LOCATIONS.

THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1. THE SURFACE TEXTURE OF THE RAMP SHALL CONFORM TO A CLASS 6 FINISH ACCORDING TO SECTION 802:19.

THE NORMAL GUTTER GRADE SHALL BE MAINTAINED THROUGH THE AREA

OF THE RAMP.

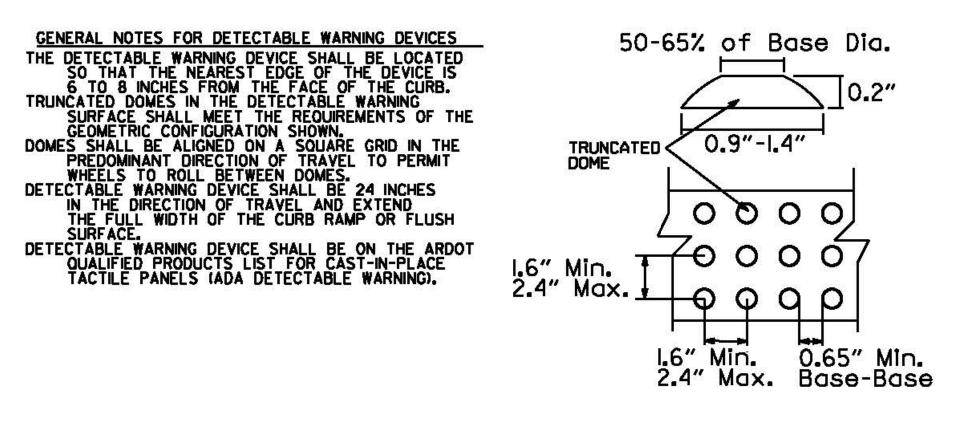
ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.

THE MINIMUM THICKNESS OF THE RAMP, WALK, & LANDING SHALL BE 4".

THE MINIMUM WIDTH OF THE RAMPS SHALL BE THE WALK WIDTH OR 36", WHICHEVER IS GREATER.

RAMPS SHALL BE MODIFIED AS NECESSARY TO INSURE THAT THEY ARE PARALLEL TO A LINE DRAWN FROM THE CENTER OF ONE RAMP TO THE CENTER OF THE RAMP ON THE OPPOSITE SIDE OF THE INTERSECTION.

THE DIMENSIONS AND QUANTITIES SHOWN ON THIS DRAWING ARE FOR A 90 INTERSECTION ONLY. DIMENSIONS AND QUANTITIES FOR SKEWED INTERSECTIONS WILL VARY, AND ARE TO BE DETERMINED BY THE ENGINEER.



DETECTABLE WARNING DEVICE DETAILS N.T.S.

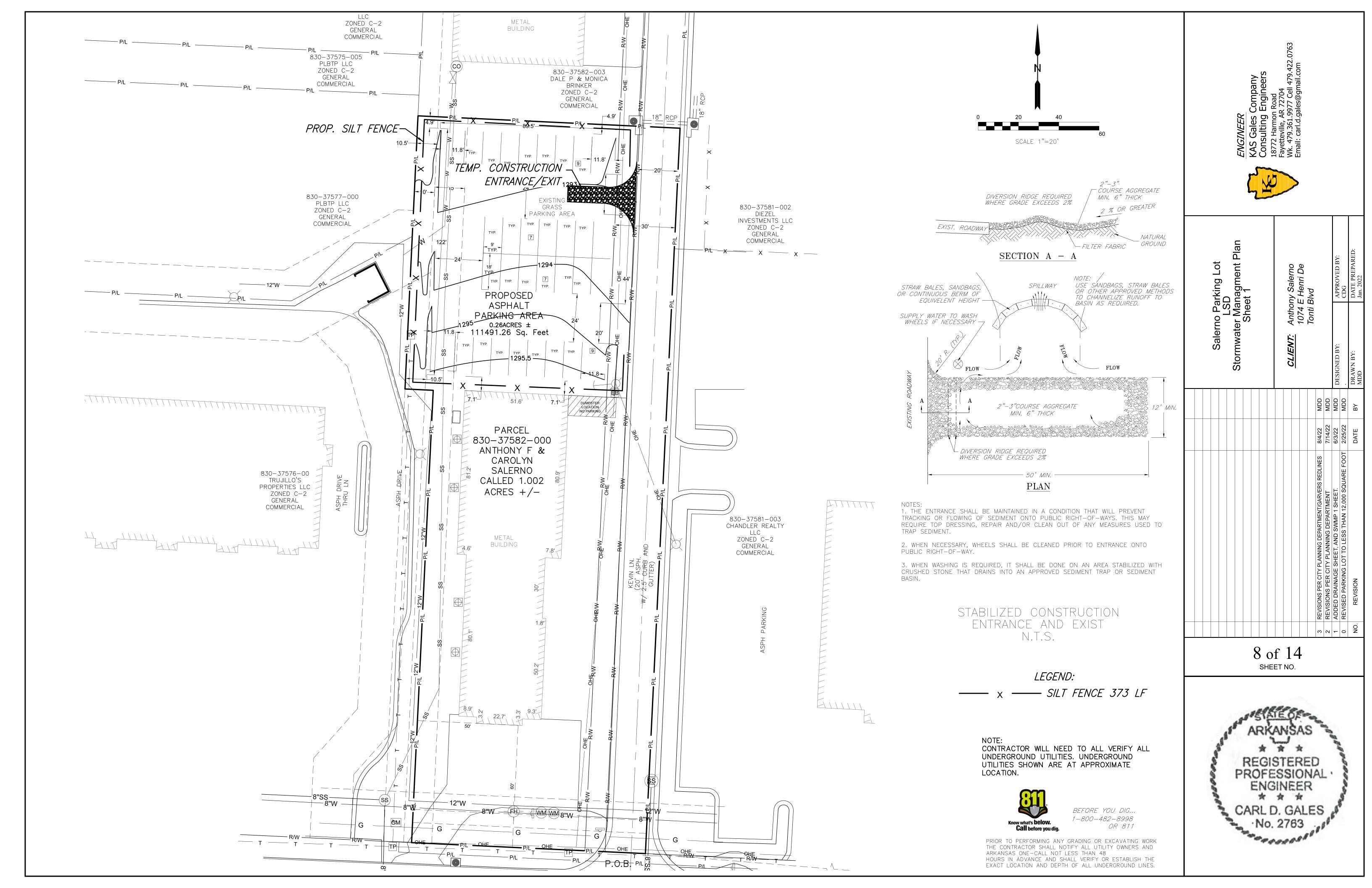
KAS Gales Company
Consulting Engineers
18772 Harmon Road
Fayetteville, AR 72704
WK. 479.361.9977 Cell 479.422.0763
Email: carl.d.gales@gmail.com



Salarno Darking Lot	רטם	Existing Storm Drainage	,		Anthony Salarno	ny Calenio	10/4 E Henri De	Blvd			APPROVED BY:	CDG	DATE PREPARED:	Juil 2022
Salarno E	; ;	Existing Sto)		CIENT: Aptho		10/4	Tonti Blvd			DESIGNED BY:		DRAWN BY:	MUD
									MDD	MDD	MDD	MDD	ВУ	
									8/4/22	7/14/22	6/3/22	2/25/22	DATE	
									EPARTMENT/GARVERS REDLINES	NG DEPARTMENT	D SWMP 1 SHEET.	SS THAN 12,000 SQUARE FOOT		

7 of 14





STORM WATER MANAGEMENT PLAN

SITE DESCRIPTION

EROSION AND SEDIMENT CONTROLS

<u>INTERSECTION OF HENRI DE TONTI BLVD/</u> ARKANSAS.	THE PROJECT. LOCATED APPROXIMATLY 270 FEET NORTH OF YUS HWY 412 AND KEVIN LANE. IN THE CITY LIMITS OF TONTITOW
	OS TINT TIZ TIVO NEVIIVE, IIV TILE OTT ENVITO OT TOTVITTON
ATITUDE AND LONGITUDE:	
APPROXIMATE OF CENTER OF NEW PAR	KING LOT LATITUDE: 36°10'36.61"N, LONGITUDE: 94°13'02.22"W
ROJECT DESCRIPTION:	
	SUTTERS AND LAY ASPHALT PARKING LOT.
UGGESTED SEQUENCE OF	EROSION CONTROL ACTIVITIES:
1. INSTALL TEMPORARY EROSION CONTR	
2. INSTALL SEDIMENT CONTROLS AS AF	REAS BECOME DISTURBED
3. COMPLETE GRADING	
4. INSTALL CUBR AND GUTTERS AND A	ISPHALT PARKING LOT
5. COMPLETE FINE GRADING AND INSTA	ALL PERMANENT EROSION CONTROL
_	
OTE: THIS SHOULD INCLUDE MAJOR	
ONSTRUCT THE PROJECT & EROSION	N CONTROL HEMS.
OTAL AREA TO BE DISTURB	PED.
OTAL AREA TO BE DISTURB)CD.
	43,460.1 SF or 1.0 ACRES
VEIGHTED BLINDEE COEEEIC	`ILNII:
BEFORE CONSTRUCTION:	0.45
AFTER CONSTRUCTION:	0.45

UNIDENTIFIED WATER (460)

SOIL STABILIZATION PRACTICES:

X TEMPORARY SEEDING	
X PERMANENT SODDING, SPRIGGING OR SEEDIN	G
XVEGETATIVE MULCHING	
X SOIL RETENTION BLANKET	
X Preservation of existing vegetation	
NOTE: TEMPORARY EROSION CONTROL METHODS MUSBE USED ON ALL DISTURBED AREAS WHERE CONST. ACTIVITIES HAVE CEASED FOR OVER 21 DAYS. METHODS USED WILL BE AS SHOWN ON PLANS OR ADIRECTED BY THE ENGINEER.	

STRUCTURAL PRACTICES:

	TEMPORARY BRUSH SEDIMENT BARRIERS
X	TEMPORARY SILT FENCE
X	TEMPORARY SILT DIKES
X	TEMPORARY BALE BARRIERS
X	DIVERSION, INTERCEPTOR OR PERIMETER DIKES
	DIVERSION, INTERCEPTOR OR PERIMETER SWALES
<u> </u>	SANDBAG BERMS
	ROCK FILTER DAMS (CHECK DAM)
	TEMPORARY SLOPE DRAIN
X	PAVED DITCH W/ DITCH LINER PROTECTION
	TEMPORARY DIVERSION CHANNELS
	RIP RAP
	TEMPORARY STREAM CROSSINGS
	TEMPORARY SEDIMENT BASINS
X	TEMPORARY SEDIMENT TRAPS
	TEMPORARY SEDIMENT FILTERS
<u> </u>	TEMPORARY SEDIMENT REMOVAL
	INLET SEDIMENT FILTER
	STABILIZED CONSTRUCTION ENTRANCE

OFFSITE VEHICLE TRACKING:

X	HAUL RUADS DAMPENED FOR DUST CONTROL
X	LOADED HAUL TRUCKS TO BE COVERED WITH TARPAULI
	EXCESS DIRT ON ROAD REMOVED DAILY

NOTES:

CONTRACTOR SHALL REMOVE ALL TEMPORARY SEDIMENTATION CONTROL

DEVICES FROM PROJECT LIMITS AFTER CONSTRUCTION IS COMPLETED.

CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL EROSION CONTROL

THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE FOLLOWING: MAINTENANCE AND INSPECTION:

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN GOOD WORKING ORDER FROM THE BEGINNING OF CONSTRUCTION UNTIL AN ACCEPTABLE VEGETATIVE COVER IS ESTABLISHED. INSPECTION BY THE CONTRACTOR AND ANY NECESSARY REPAIRS SHALL BE PERFORMED ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES (AS RECORDED BY A NON-FREEZING RAIN GAUGE TO BE LOCATED ON SITE). POTENTIALLY ERODIBLE AREAS, DRAINAGE WAYS, MATERIAL STORAGE, STRUCTURAL DEVICES, CONSTRUCTION ENTRANCES AND EXITS ALONG WITH EROSION AND SEDIMENT CONTROL LOCATIONS ARE EXAMPLES OF SITES THAT NEED TO BE INSPECTED.

WASTE MATERIALS:

PROPER MANAGEMENT AND DISPOSAL OF CONSTRUCTION WASTE MATERIAL IS REQUIRED BY THE CONTRACTOR. MATERIALS INCLUDE STOCKPILES, SURPLUS, DEBRIS AND ALL OTHER BY—PRODUCTS FROM THE CONSTRUCTION PROCESS. PRACTICES INCLUDE DISPOSAL, PROPER MATERIALS HANDLING, SPILL PREVENTION AND CLEANUP MEASURES. CONTROLS AND PRACTICES SHALL MEET THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL AGENCIES.

HAZARDOUS MATERIALS:

PROPER MANAGEMENT AND DISPOSAL OF HAZARDOUS WASTE MATERIALS IS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING MANUFACTURER'S RECOMMENDATIONS, STATE AND FEDERAL REGULATIONS TO ENSURE CORRECT HANDLING, DISPOSAL, SPILL PREVENTION AND CLEANUP MEASURES. EXAMPLES INCLUDE BUT ARE NOT LIMITS TO: PAINTS, ACIDS, CLEANING SOLVENTS, CHEMICAL ADDITIVES, CONCRETE CURING COMPOUNDS AND CONTAMINATED SOILS.

GENERAL NOTES:

THE ENCLOSED STORMWATER POLLUTION PREVENTION PLAN (SWP3) COMPLIES WITH ORDERS REGULATIONS UNDER THE WASHINGTON COUNTY STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES ON LAND OWNED BY THE CITY TO ACTIVITIES THAT ARE DIRECTLY CONTROLLED BY THE COUNTY.

ENGINEER

(AS Gales Company

Consulting Engineers

8772 Harmon Road
ayetteville, AR 72704

Wk. 479.361.9977 Cell 479.422.07

Email: carl.d.gales@gmail.com



					Salerno Parking Lot	arking Lot
					LSD	-
					Sheet 2	et 2
					CIFNT: Anthor	Anthony Salarno
						iy Galerilo
					10/4	1074 E Henri De
					Tonti Blvd	glvd
<u> </u>	က	REVISIONS PER CITY PLANNING DEPARTMENT/GARVERS REDLINES	8/4/22	MDD		
` '	7	REVISIONS PER CITY PLANNING DEPARTMENT	7/14/22	MDD		
	1	ADDED DRAINAGE SHEET, AND SWMP 1 SHEET.	6/3/22	MDD	DESIGNED BY:	APPROVED BY:
	0	REVISED PARKING LOT TO LESS THAN 12,000 SQUARE FOOT	2/25/22	MDD		CDG
_	NO.	. REVISION	DATE	ВУ	DRAWN BY: MDD	DATE PREPARED: Jan. 2022

9 of 14 SHEET NO.

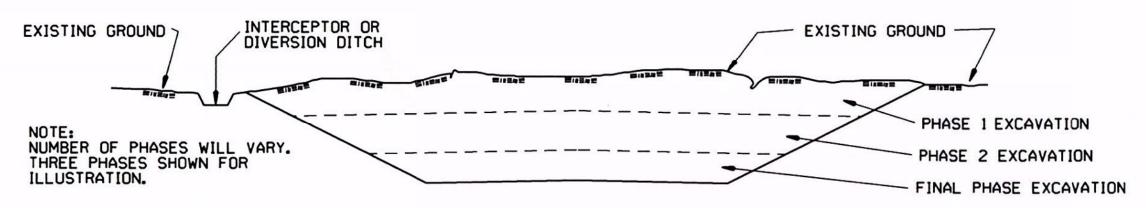


CLEARING AND GRUBBING

CONSTRUCTION SEQUENCE

- 1. PLACE PERIMETER CONTROLS (I.E. SILT FENCES, DIVERSION DITCHES, SEDIMENT BASINS, ETC.)
- PERFORM CLEARING AND GRUBBING OPERATION.

EXCAVATION



GENERAL NOTE

ALL CUT SLOPES SHALL BE DRESSED, PREPARED, SEEDED, AND MULCHED AS THE WORK PROGRESSES. SLOPES SHALL BE EXCAVATED AND STABILIZED IN EQUAL INCREMENTS NOT TO EXCEED 25 FEET, MEASURED VERTICALLY.

CONSTRUCTION SEQUENCE

- 1. EXCAVATE AND STABILIZE INTERCEPTOR AND/OR DIVERSION DITCHES.
- 2. PERFORM PHASE 1 EXCAVATION. PLACE PERMANENT OR TEMPORARY SEEDING.
- 3. PERFORM PHASE 2 EXCAVATION. PLACE PERMANENT OR TEMPORARY SEEDING.

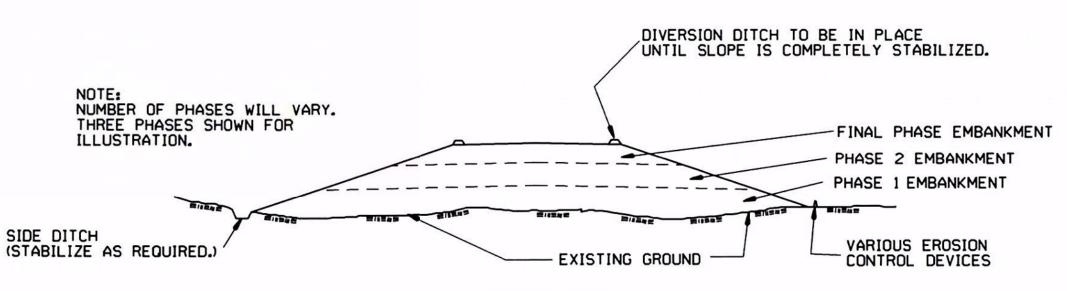
SPLICE DETAIL-PLAN VIEW

NTS

4. PERFORM FINAL PHASE OF EXCAVATION. PLACE PERMANENT OR TEMPORARY SEEDING. STABILIZE DITCHES. CONSTRUCT DITCH CHECKS, DIVERSION DITCHES, SEDIMENT BASINS, OR OTHER EROSION CONTROL DEVICES AS REQUIRED.

SIDE DITCH

EMBANKMENT



GENERAL NOTE

ALL EMBANKMENT SLOPES SHALL BE DRESSED, PREPARED, SEEDED, AND MULCHED AS THE WORK PROGRESSES. SLOPES SHALL BE CONSTRUCTED AND STABILIZED IN EQUAL INCREMENTS NOT TO EXCEED 25 FEET, MEASURED VERTICALLY.

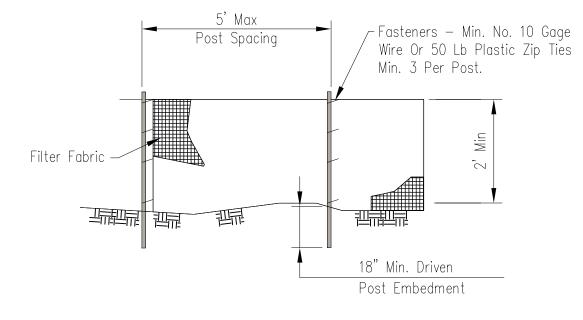
CONSTRUCTION SEQUENCE

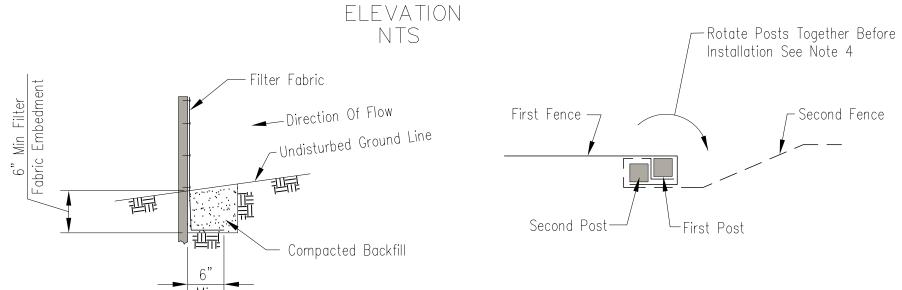
1. CONSTRUCT DIVERSION DITCHES, DITCH CHECKS, SEDIMENT BASINS, SILT FENCES, OR OTHER EROSION CONTROL DEVICES AS SPECIFIED.

2. PLACE PHASE 1 EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PROVIDE DIVERSION DITCHES AND SLOPE DRAINS IF EMBANKMENT CONSTRUCTION IS TO BE TEMPORARILY ABANDONED FOR A PERIOD OF GREATER THAN 21 DAYS.

3. PLACE PHASE 2 EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PROVIDE DIVERSION DITCHES AND SLOPE DRAINS IF EMBANKMENT CONSTRUCTION IS TO BE TEMPORARILY ABANDONED FOR A PERIOD OF GREATER THAN 21 DAYS.

4. PLACE FINAL PHASE OF EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PLACE DIVERSION DITCHES AND SLOPE DRAINS AND MAINTAIN UNTIL ENTIRE SLOPE IS STABILIZED.

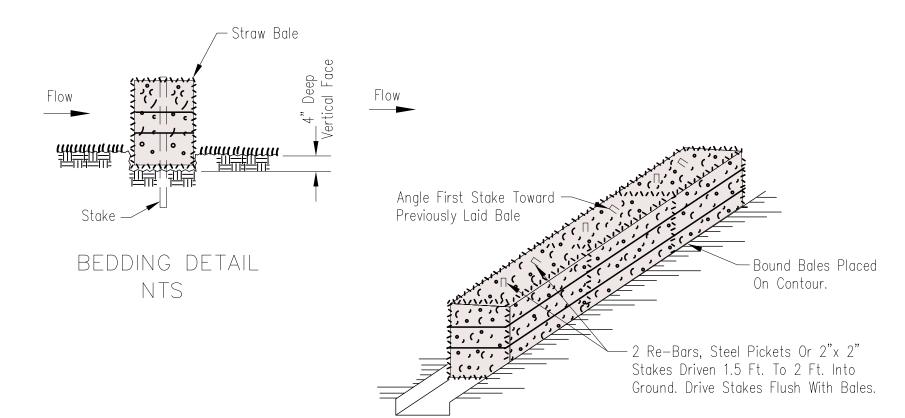




FABRIC ANCHOR DETAIL NTS

- 1. Temporary silt fence shall be installed prior to any grading work in the area to be protected. Fence shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
- 3. Fence posts shall be either wood post with a minimum cross—sectional area of 1.5" X 1.5" or a standard steel post.
- 4. When splices are necessary make splice at post according to splice detail. Place the end post of the second fence inside the end post of the first fence. Rotate both posts together at least 180 degrees to create a tight seal with the fabric material. Cut the fabric near the bottom of the posts to accommodate the 6 inch flap. Then drive both posts and bury the flap. Compact backfill well.

SILT FENCE AND TEMP. SILT DIKE INSTALLATION



ANCHORING DETAIL NTS

- Bales shall be placed at the top of slope or on the contour and in a row with ends tightly abutting the adjacent bales.
- 2. Each bale shall be embedded in the soil a minimum of 13", and placed so that bindings are horizontal. 3. Bales shall be securely anchored in place by either two stakes or re—bars driven through the bale. The first stake in each bale shall
- bales together. Stakes shall be driven flush with the bale. 4. Inspection shall be frequent and repair replacement shall be made promptly as needed.

be driven toward the previously laid bale at an angle to force the

5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



Anthony Sa 1074 E Her Tonti Blvd

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NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. I does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represen rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Arkansas State Plane north zone (FIPSZONE 0301). The horizontal datum was NAD83. GRS1980 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of the FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at http://www.ngs.noaa.gov/ or contact the National Geodetic Survey at the following address:

NGS Information Services NOAA, N/NGS12 National Geodetic Survey SSMC- 3, #9202 1315 East- West Highway Silver Spring, MD 20910- 3282

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at http://www.ngs.noaa.gov/.

Base map information shown on this FIRM was provided in digital format by Arkansas Geographic Information Office.

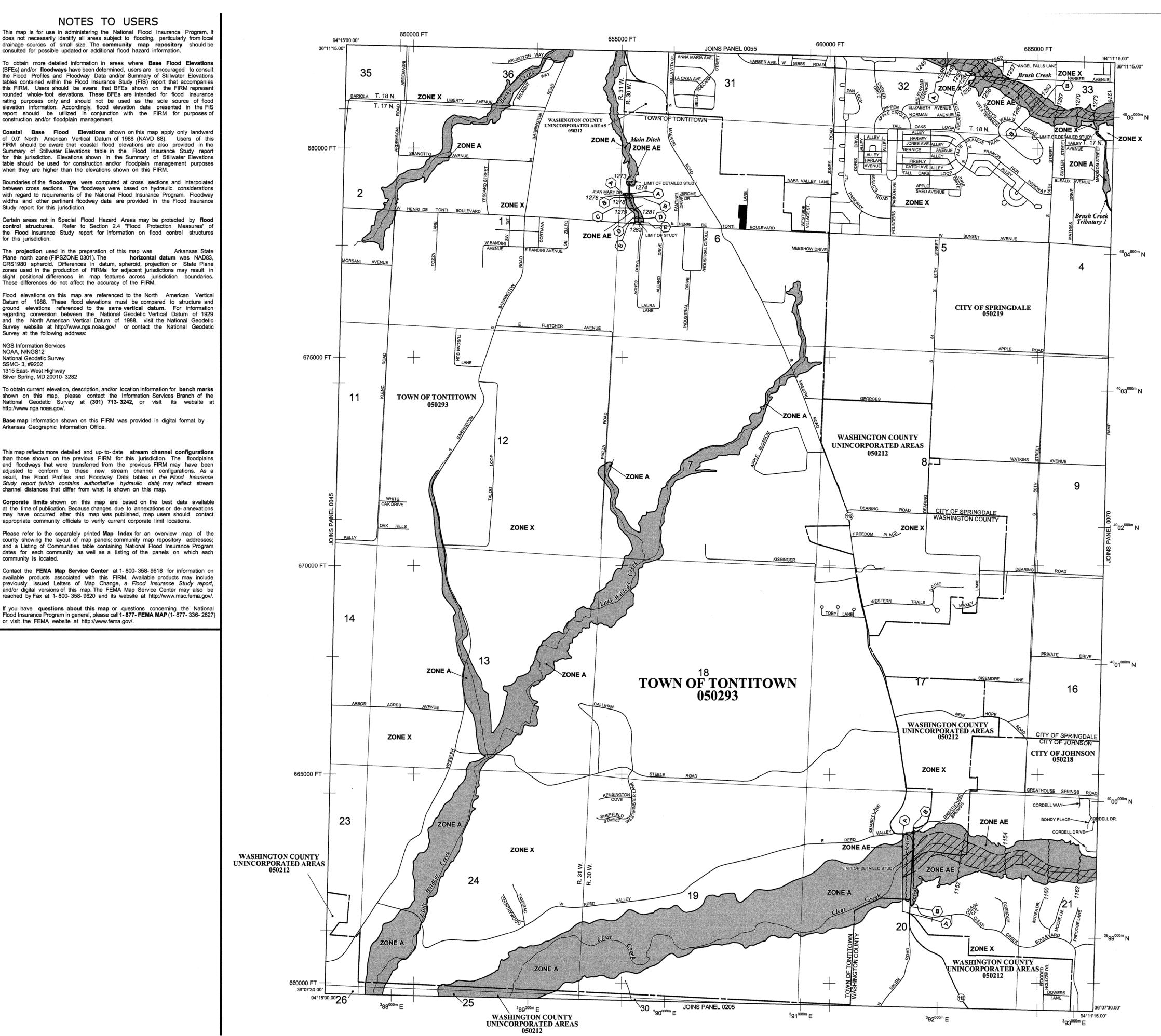
This map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the FEMA Map Service Center at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at http://www.msc.fema.gov/

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call **1-877-FEMA MAP** (1-877-336-2627) or visit the FEMA website at http://www.fema.gov/.



LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined. Base Flood Elevations determined.

Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood

average depths determined. For areas of alluvial fan flooding, velocities also determined. Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is

Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain);

being restored to provide protection from the 1% annual chance of

Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations

Elevations determined.

Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance

Areas determined to be outside the 0.2% annual chance floodplain. Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

CBRS and OPA boundary

Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities. Base Flood Elevation line and value; elevation in feet* Base Flood Elevation value where uniform within zone;

* Referenced to the North American Vertical Datum of 1988 (NAVD 88)

A Cross section line

information, and to change floodways

23------23 Geographic coordinates referenced to the North American

97°07'30", 32°22'30" Datum of 1983 (NAD 83) 1000-meter Universal Transverse Mercator grid ticks, zone 15 5000-foot grid ticks: Arkansas State Plane coordinate system, north zone (FIPSZONE 0301), Lambert Conformal Conic 6000000 FT

Bench mark (see explanation in Notes to Users section of DX5510 this FIRM panel)

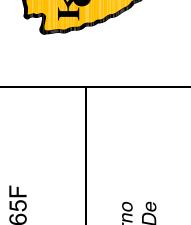
> MAP REPOSITORIES Refer to Map Repositories list on Map Index

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP

September 18, 1991

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL February 5, 1997; February 4, 1998; July 21, 1999; December 20, 2000 MAY 16, 2008 - to change base flood elevations, to add special flood hazard areas, to change special flood hazard areas, to change zone designations, to reflect updated topographic

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction. To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.



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7	REVISIONS PER CITY PLANNING DEPARTMENT	7/14/22	MDD		
_	ADDED DRAINAGE SHEET, AND SWMP 1 SHEET.	6/3/22	MDD	DESIGNED BY:	APPROVED BY
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REVISIONS PER CITY PLANNING DEPARTMENT/GARVERS REDLINES REVISIONS PER CITY PLANNING DEPARTMENT ADDED DRAINAGE SHEET, AND SWMP 1 SHEET. REVISED PARKING LOT TO LESS THAN 12,000 SQUARE FOOT 2/25/22 REVISION DATE	S ActDa	CLIEN	DESIGNED BY:	DRAWN BY: MDD
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KAS Gales Company
Consulting Engineers
18772 Harmon Road
Fayetteville, AR 72704
Wk. 479.361.9977 Cell 479.422.0763
Email: carl.d.gales@gmail.com

	Salerno Parking Lot	LSD	USGS quadrangle topographic	בומ <mark>ל</mark>		CI IENT: Anthony Salarno	10/4 E Henri De	Tonti Blvd			DESIGNED BY: APPROVED BY:		DRAWN BY: DATE PREPARED: June 2022
									MDD	MDD	MDD	MDD	ВУ
									8/4/22	7/14/22	6/3/22	2/25/22	DATE
									REVISIONS PER CITY PLANNING DEPARTMENT/GARVERS REDLINES	REVISIONS PER CITY PLANNING DEPARTMENT	ADDED DRAINAGE SHEET, AND SWMP 1 SHEET.	REVISED PARKING LOT TO LESS THAN 12,000 SQUARE FOOT	REVISION
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ANTHONY F. SALERNO & CAROLYN J. SALERNO A PART OF THE W/2 OF SW/4 OF THE NE/4 OF SECTION 6, T17N-R30W WASHINGTON COUNTY, ARKANSAS SCALE 1"=20' -15' UTILITY EASEMENT CITY OF TONTITOWN 830-37576-00 PER FILE # 2017-00007664 TRUJILLO'S PROPERTIES LLC ZONED C-2 GENERAL 830-37575-007 830-37577-000 ASPH DRIVE EPL INVESTMENTS COMMERCIAL PLBTP LLC THRU LN ZONED C-2ZONED C-2 GENERAL GENERAL COMMERCIAL COMMERCIAL G FND. 1/2"— FND. 1/2" -FND. 1/2"-20' ACCESS EASEMENT REBAR REBAR REBAR PER FILE # 2021-00042460 S 00°09'39" W 135.49' -S 89°51'38" E N 00°09'39" W 335.59' FND. MAG-14.00' NAIL FND. 1/2" TIIIII S 00°10'21" W 224.36' REBAR 10' UTILITY EASEMENT CITY OF 15' UTILITY EASEMENT 10' UTILITY EASEMENT TONTITOWN DALE & MONICA BRINKER -CITY OF TONTITOWN — PER DOC # NO DOCUMENTATION Anthony Sa 1074 E Her Tonti BIvd PER DOC # 9407694 94 067384 50'X60' SIGN DOC # 94058845 PARCEL EASE. SALERNO 830-37582-000 PER DOC. # 830-37582-003 DALE P & MONICA 94 067384 ANTHONY F & BRINKER CAROLYN ZONED C-2 GENERAL SALERNO COMMERCIAL **CALLED 1.002** ACRES +/-16.5 TELE EASE. 711111111 PER DOC. # 94 067384 MDD MDD MDD MDD MDD - OHE FND. MAG KEVIN LN. (20' ASPH. W/ 2.5' CURB AND NAIL P.O.B. FND. 1/2"-N 00°10'21" E 359.81' N 00°10'21" E 335.59' REBAR ¬N 00°10'21" E^{−SS}' 39.68' FND. 1/2"-20' RIGHT OF WAY FILE # 2000-00022412 -30' RIGHT OF WAY US HWY 412/ E PER DOC # 93 10358 830-37581-002 HENRI DE TONTI DIEZEL BLVD INVESTMENTS LLC (60' ASPH, VARIÈD ROW WIDTH) ZONED C-2GENERAL COMMERCIAL 830-37581-003 CHANDLER REALTY ASPH PARKING LLC ZONED C-2 LEGAL DESCRIPTION: GENERAL A part of the West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the COMMERCIAL Northeast Quarter (NE 1/4) of Section Six (6), Township Seventeen (17) North, Range Thirty (30) West, Washington County Arkansas. Being more particularly described as follows: Commencing at the Southeast Corner of the said 20 Acres Tract; thence N00°10'21"E along the East line of the said 20 Acre tract a distance of 39.68 14 of 14 feet to the Point of Beginning; said point being on the North Right of Way of U.S. Highway 412; thence N00°10'21"E along the East line of the said 20 FND. RR SPIKE -CITY OF TONTITOWN SHEET NO. SE CORNER Acre tract a distance if 359.81 feet; thence N89°51'38"W 130.03 feet; thence GIS CONTROL MON. #9 S00°09'39"W 135.49 feet; thence S89°51'38"E 14.00 feet; thence SW/4 NE/4 ELEV. 1298.47' S00°10'21"W 224.36 feet to the North Right of Way of said Highway; thence SEC. 6, T17N-R30W S89°52'42"E 116.00 feet to the Point of Beginning. Containing 1.002 acre, NOTES: more or less. **CERTIFICATE OF SUREVYING ACCURACY:** PER WWW.FEMA.GOV, THIS PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN MAP NUMBER 05143C0065F, DATED LEGEND 04/02/2008. THIS PROPERTY IS ZONED C-2 GENERAL COMMERCIAL, SET BACKS AS FOLLOWS: HEREBY CERTIFY THAT THIS PLAT CORRECTLY Power Pole REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS FRONT 25 FEET Sewer Line (underground) SHOWN HEREON ACTUALLY EXIST AND THERE LOCATION, TYPE AND MATERIAL ARE CORRECTLY SIDE 25 FEET size noted on plans SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND REAR 25 FEET REGISTERED SURVEYORS HAVE BEEN MET. elephone Line (underground) Sewer Cleanout PROFESSIONAL . SURVEY PLAT 2000-0022412, WASHINGTON COUNTY CLERKS OFFICE. WARRANTY DEED 2004-00023732, WASHINGTON COUNTY CLERKS OFFICE Water Meter ENGINEER THESE PLANS REFLECT ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM THE UTILITY COMPANIES. THE Storm Water Manhole DATE OF EXECUTION: _____, Gas Line (underground) SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES ARE SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, size unknown Water Valve EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. Water Line (underground) Telephone Pedestal size noted on plans Firehydrant BASIS OF BEARING: N00°10'21"E ALONG THE EAST LIINE OF THE SW/4 NE/4, SECTION 6, T17N-R30W Guy Anchor Easement Line Ajdoining Property Line

SITE BENCHMARK: CITY OF TONTITOWN, GIS CONTROL MON. #9, ELEV. 1298.47'

FIELD WORK WAS COMPLETED ON JUNE 18, 2022

REGISTERED LAND SURVEY NUMBER: ______, STATE OF ARKANSAS

THERE WERE NO OBSERVED EVIDENCE OF CURRENT EARTH WORK OR CONSTRUTION AT THE TIME OF THE SURVEY.

AC Unit

X Calculated Point

Existing Monument

(Type & Size Noted) — Benchmark