

PROPERTY INFORMATION:

ADDRESS: 1074 E HENRI DE TONTI BLVD

PARCEL NO.: 830-37582-000

SUBDIVISION: N/A

LOT-BLOCK: N/A

PHASE: N/A

ACREAGE: 1.00 ACRES ±

ZONING: C-2 GENERAL COMMERCIAL

OWNER INFORMATION:

NAME: ANTHONY SALERNO

ADDRESS: 1074 E HENRI DE TONTI BLVD

CITY, STATE, ZIP: TONTITOWN, AR, 72762

PHONE: 1-479-366-2558

EMAIL: Tonysalerno@AOL.com

☐ SELECT IF THIS THE PRIMARY CONTACT

ENGINEER INFORMATION:

NAME: CARL GALES

COMPANY NAME: KAS GALES CO.

ADDRESS: 18772 HARMON ROAD

CITY, STATE, ZIP: FAYETTEVILLE, AR 72704

PHONE: 1-479-422-0763

EMAIL: CARLGALES@YAHOO.COM

PROFESSIONAL ENGINEER NUMBER: 2763, STATE OF AR.

☒ SELECT IF THIS THE PRIMARY CONTACT

PROJECT DESCRIPTION:

DESCRIPTION OF WORK: INSTALL CURB AND GUTTER, AND ASPHALT PARKING LOT ON PROPERTY.

IS THIS SITE IN A FLOODPLAIN ? ☐ YES ☒ NO

CUT: \_\_\_\_\_ c.y. FILL: \_\_\_\_\_ c.y.

TYPE OF FILL: \_\_\_\_\_

ADEQ PERMIT: YES, SEE ATTACHED

START DATE: \_\_\_\_\_ END DATE: \_\_\_\_\_

CONTRACTOR INFORMATION:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE, ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

☐ SELECT IF THIS THE PRIMARY CONTACT

SURVEYOR INFORMATION:

NAME: CARL GALES

COMPANY NAME: KAS GALES CO.

ADDRESS: 18772 HARMON ROAD

CITY, STATE, ZIP: FAYETTEVILLE, AR 72704

PHONE: 1-479-422-0763

EMAIL: CARLGALES@YAHOO.COM

REGISTER LAND SURVEY NUMBER: 611, STATE OF AR.

☒ SELECT IF THIS THE PRIMARY CONTACT

PRELIMINARY LARGE SCALE DELEVEOPMENT  
DESIGNER BARBER PARKING  
LOT EXPANSION AND PAVING  
TONTITOWN, ARKANSAS

CERTIFICATE OF PRELIMINARY APPROVAL:

PURSUANT TO THE CITY OF TONTITOWN SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVALS HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS. THIS APPROVAL DOES NOT GUARANTEE ANY OF THE FOLLOWING:  
1. DELIVERY OF PUBLIC WATER OR SEWER SERVICE.  
2. DELIVERY OF ANY OTHER UTILITY SERVICE.  
3. IMPROVEMENTS TO ANY AFFECTED CITY STREETS OR COUNTY ROADS.  
4. APPROVAL FROM THE ARKANSAS DEPARTMENT OF HEALTH.  
5. ACCESS TO THE PROPERTY VIA EASEMENTS OR OTHERWISE EITHER KNOWN OR UNKNOWN

DATE OF EXECUTION: \_\_\_\_\_

CHAIRPERSON TONTITOWN PLANNING COMMISSION, CITY OF TONTITOWN

CLERK-TREASURER, CITY OF TONTITOWN

CERTIFICATE OF ENGINEERING ACCURACY:

I, \_\_\_\_\_, HEREBY CERTIFY THAT THIS PLAT OR PLAN CORRECTLY REPRESENTS A PLAT OR PLAN MADE BY ME AND THAT THE ENGINEERING REQUIREMENT OF THE CODES OF ORDINANCES PER THE CITY OF TONTITOWN ARKANSAS HAVE ME MET.

DATE OF EXECUTION: \_\_\_\_\_

SIGNED: \_\_\_\_\_

NAME: \_\_\_\_\_

PROFESSIONAL ENGINEER NUMBER: \_\_\_\_\_, STATE OF ARKANSAS

CERTIFICATE OF SUREVYING ACCURACY:

I, \_\_\_\_\_, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THERE LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: \_\_\_\_\_

SIGNED: \_\_\_\_\_

NAME: \_\_\_\_\_

REGISTERED LAND SURVEY NUMBER: \_\_\_\_\_, STATE OF ARKANSAS

CLIENT: ANTHONY SALERNO  
OWNER: ANTHONY SALERNO  
1074 E HENRI DE TONTI BLVD.  
TONTITOWN AR., 72762  
GRADING PLAN IN  
TONITOWN, ARKANSAS

LEGAL DESCRIPTION:

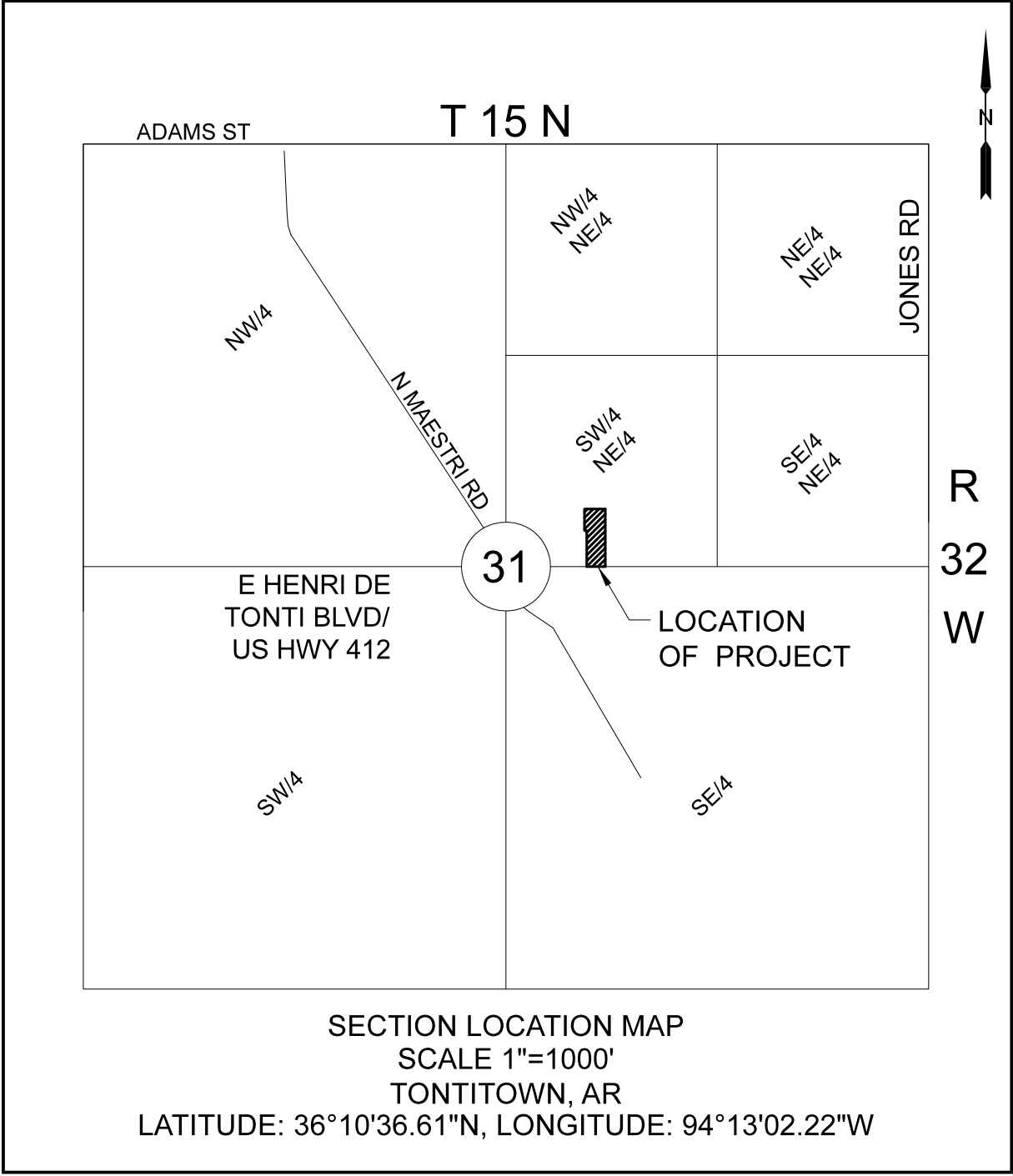
(PARCEL #830-37582-000, SURVEY, FILE NO. 2000-00022412, BOOK 2000, PAGE 22412, RECORDED 03/24/2000 WASHINGTON COUNTY CIRCUIT COURT)  
A part of the West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the Northeast Quarter (NE 1/4 ) of Section Six (6), Township Seventeen (17) North, Range Thirty (30) West, Washington County Arkansas. Being more particularly described as follows:  
Commencing at the Southeast Corner of the said 20 Acres Tract; thence N00°10'21"E along the East line of the said 20 Acre tract a distance of 39.68 feet to the Point of Beginning; said point being on the North Right of Way of U.S. Highway 412; thence N00°10'21"E along the East line of the said 20 Acre tract a distance if 359.81 feet; thence N89°51'38"W 130.03 feet; thence S00°09'39"W 135.49 feet; thence S89°51'38"E 14.00 feet; thence S00°10'21"W 224.36 feet to the North Right of Way of said Highway; thence S89°52'42"E 116.00 feet to the Point of Beginning. Containing 1.002 acre, more or less.

GENERAL REQUIRMENTS CHECK LIST NOTES:  
(SEE SHEET 2 FOR ADDITIONAL NOTES)

FLOOD INFORMATION:  
PER WWW.FEMA.GOV, THIS PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN MAP NUMBER 05143C0085F, DATED 04/02/2008.  
WETLAND AND USACE INFORMATION:  
PER WWW.FWS.GOV, THIS PROPERTY APPEARS NOT TO BE LOCATED IN ANY WETLAND.  
SOIL INFORMATION:  
CaB CAPTINA SILT LOAM, 1 TO 3 PERCENT SLOPES  
ZONING INFORMATION:  
ZONED C-2 GENERAL COMMERCIAL  
LIGHTING INFORMATION:  
EXISTING BUILDING HAS OUTSIDE LIGHTING TO PROPERLY ILLUMINATE THE PARKING LOT DURING THE NIGHT AND A STREET LIGHT IS PRESENT AT THE NORTH CORNER OF THE EXISTING BUILDING. NO OTHER LIGHTING REQUIRED.  
EROSION PROBLEMS:  
THERE ARE NO KNOWN EROSIONS PROBLEMS ON SITE OR WITHIN 100' DOWNSTREAM.  
HAZARD INFORMATION:  
THIS PROPERTY DOES NOT TO HAVE ANY KNOWN HAZARDS. THIS INCLUDES NO KNOWN ABANDONED WATER WELLS, SUMPS, CESSPOOLS, WATER IMPOUNDMENTS, AND UNDERGROUND STRUCTURES. OR INDICATIONS OF OTHER KNOWN POTENTIALLY DANGEROUS AREAS. INCLUDING AREAS SUBJECT TO FLOODING, SLOPE STABILITY, SETTLEMENT, EXCESSIVE NOISE, PREVIOUSLY FILLED AREAS AND THE MEANS OF MITIGATING THE HAZARDS (ABATEMENT WALL, SIGNAGE, ETC.)  
LEASE AND MINERAL INFORMATION  
THIS PROPERTY DOES NOT TO HAVE ANY KNOWN LEASE AGREEMENTS OR MINERAL RIGHTS RECORDED.  
STATIC PRESSURE AND FLOW OF NEAREST HYDRANT:  
NOT APPLICABLE (N/A) TO THIS PROJECT



AERIAL VICINITY MAP  
SCALE 1"=1000'



SECTION LOCATION MAP  
SCALE 1"=1000'  
TONTITOWN, AR  
LATITUDE: 36°10'36.61"N, LONGITUDE: 94°13'02.22"W

LEGEND

Overhead Electric Line	Section Line
SS	X
Sewer Line (underground) size noted on plans	Fence (Type Noted)
T	Right-of-Way Line
Telephone Line (underground)	
G	Center Line
Gas Line (underground) size unknown	
Water Line (underground) size noted on plans	Subject Property Line
Existing Contours	Ajdoining Property Line
Proposed Contours	Easement Line

Utility Pole
Light Pole
Sewer Manhole
Sewer Cleanout
Water Meter
Storm Water Manhole
Water Valve
Gas Meter
Telephone Pedestal
Firehydrant
Guy Anchor
AC Unit
Sign
Benchmark

DATE PREPARED:  
JANUARY 8, 2022



BEFORE YOU DIG...  
1-800-482-8998  
OR 811

PRIOR TO PERFORMING ANY GRADING OR EXCAVATING WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS AND ARKANSAS ONE-CALL NOT LESS THAN 48 HOURS IN ADVANCE AND SHALL VERIFY OR ESTABLISH THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND LINES.

ENGINEER

KAS Gales Company  
Consulting Engineers  
18772 Harmon Road  
Fayetteville, AR 72704  
Wk. 479.361.9977 Cell 479.422.0763  
Email: carl.d.gales@gmail.com



Salerno Parking Lot  
LSD  
Title Sheet

Anthony Salerno  
1074 E Henri De  
Tonti Blvd

CLIENT:

APPROVED BY:  
CDG

DATE PREPARED:  
Jan. 2022

DESIGNED BY:  
MDD

DRAWN BY:  
MDD

1 of 14  
SHEET NO.





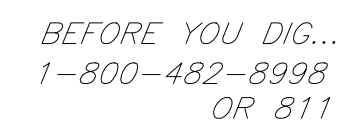
BENCHMARK INFORMATION:  
BENCHMARK AS SHOWN ON SHEET 3, ELEVATION 1298.47'

THESE PLANS REFLECT ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM THE UTILITY COMPANIES. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES ARE SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE FROM THE INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THERE WILL BE NO NEED FOR ANY ADDITIONAL UTILITIES FROM ANY ORGANIZATION FOR THIS PROJECT. ADDITIONALLY THERE HAS BEEN NOT OVERFLOW SEWER PROBLEMS ON THIS PARKING LOT.

WATER- CITY OF TONTITOWN  
ELECTRIC - OZARK ELECTRIC  
GAS - BLACK HILLS ENERGY  
TELEPHONE - AT&T  
CABLE - COX COMMUNICATION  
SEWER - CITY OF TONTITOWN

ALL RECORDED EASEMENTS HAVE BEEN SHOWN ON THE PLANS THAT ARE ACROSS OR ADJACENT TO THE SUBJECT PROPERTY. THERE WILL BE NO NEED FOR AN ADDITIONAL EASEMENTS FOR THIS PROJECT.

THERE IS NO USGS BENCHMARK WITHIN 1/2 MILE OF THIS SITE.



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**Consulting Engineers**  
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Wk. 479.361.9977 Cell 479.422.0763  
Email: carl.d.gales@gmail.com

Anthony Salerno  
1074 E Henri De  
Tonti Blvd

**CLIENT**

**APPROVED BY:**

NED BY:

DESIGNED E

MDD

1/22

6/3

1111

1 SHEET.

ND SWMP

SHEET, AN

RAINAGE :

ADDED DF

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10

1

1

508





PARKING SPACE NOTES:  
TOTAL OF 32 PARKING SPACES  
28 TYPICAL 9'X18' NOTED ON  
THE GRADING PLAN AS TYP.  
4 NO-TYPICAL, WIDTH NOTED,  
LENGTH 18'

— OHE —

Overhead Electric Line

— SS — SS —

Sewer Line (underground)  
size noted on plans

— T — T —

Telephone Line (underground)

— G — G —

Gas Line (underground)  
size unknown

— W — W —

Water Line (underground)  
size noted on plans

— — —

Existing Contours

— — —

Proposed Contours

— x — x —

Section Line

— R/W —

Fence (Type Noted)

— — —

Right-of-Way Line

— P/L —

Center Line

— P/L —

Subject Property Line

— P/L —

Ajdoining Property Line

— — —

Easement Line

Utility Pole

Light Pole

Sewer Manhole

Sewer Cleanout

Water Meter

Storm Water Manhole

Water Valve

Gas Meter

Telephone Pedestal

Firehydrant

Guy Anchor

AC Unit

Sign

Benchmark

NOTE:  
CONTRACTOR WILL NEED TO ALL VERIFY ALL  
UNDERGROUND UTILITIES. UNDERGROUND  
UTILITIES SHOWN ARE AT APPROXIMATE  
LOCATION.

BEFORE YOU DIG...  
1-800-482-8998  
OR 811

PRIOR TO PERFORMING ANY GRADING OR EXCAVATING WORK  
THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS AND  
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ENGINEER

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Salerno Parking Lot  
LSD  
Grading Plan

CLIENT:

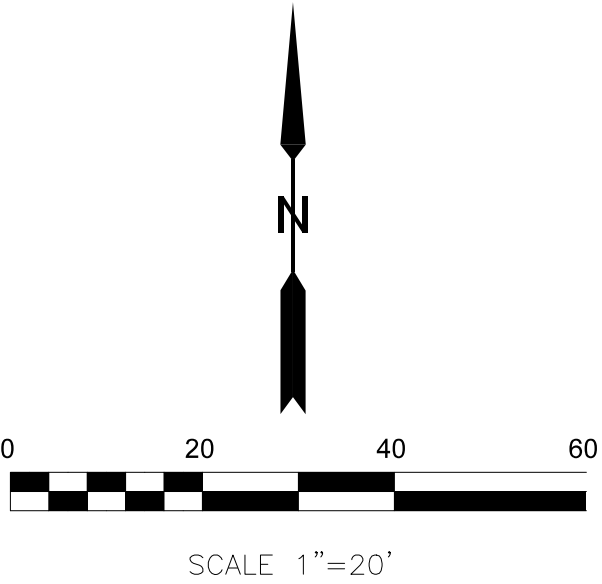
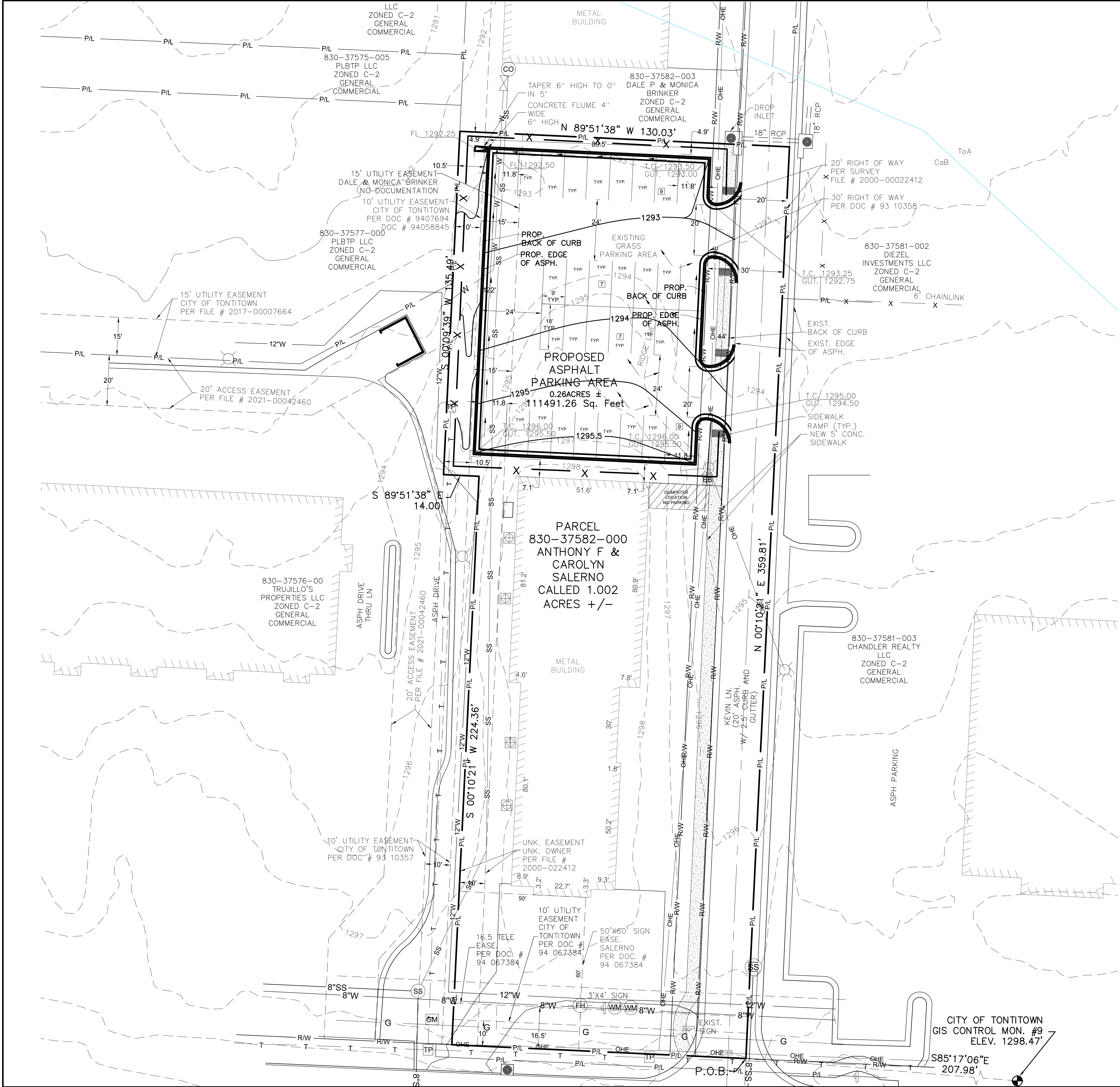
Anthony Salerno  
1074 E Henri De  
Tonti Blvd

DESIGNED BY: CDG	APPROVED BY: MDD
DRAWN BY: MDD	DATE PREPARED: Jan. 2022

3 of 14  
SHEET NO.

REGISTERED  
PROFESSIONAL  
ENGINEER  
CARL D. GALES  
No. 2763





PARKING SPACE NOTES:  
TOTAL OF 32 PARKING SPACES  
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4 NO-TYPICAL, WIDTH NOTED,  
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Salerno Parking Lot  
LSD  
Grading Plan

CLIENT:

Anthony Salerno  
1074 E Henri De  
Tonti Blvd

DESIGNED BY:  
CDG

APPROVED BY:  
MDD

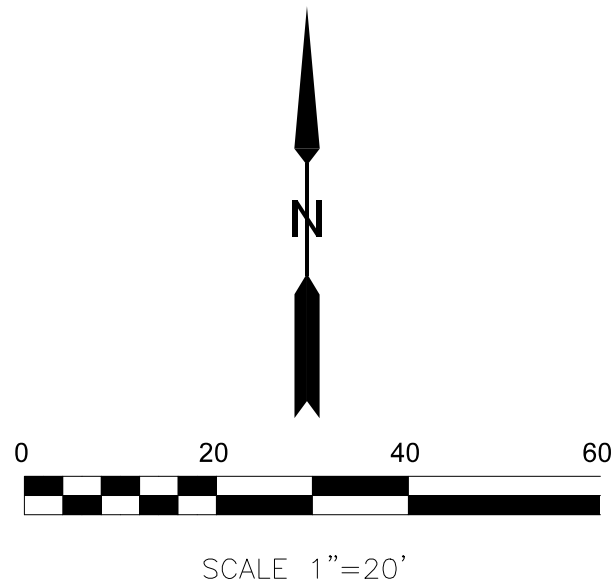
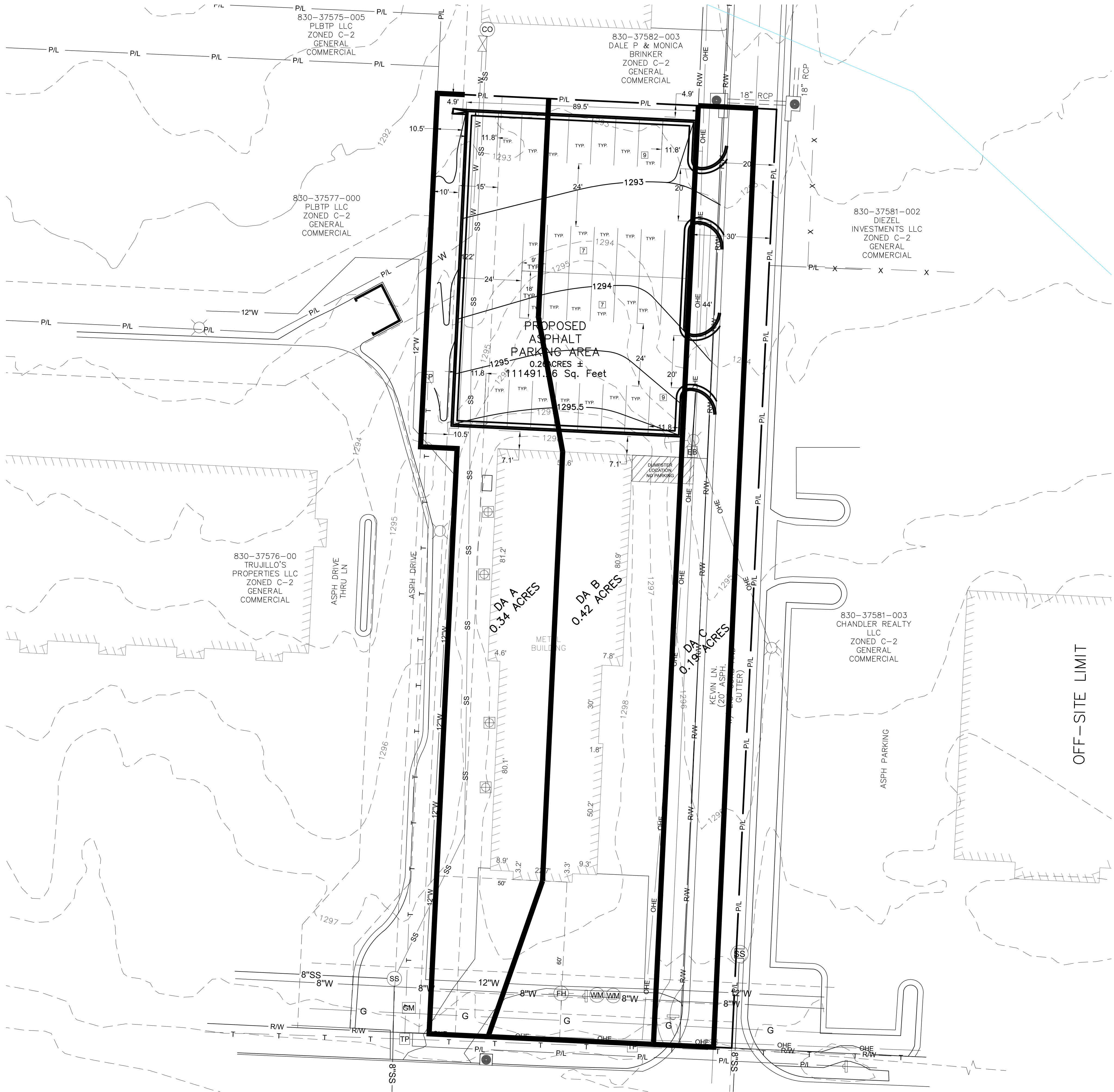
DRAWN BY:  
MDD


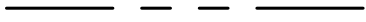











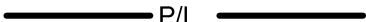














DATE PREPARED:  
Jan. 2022

NO.	REVISION	DATE	BY
3	REVISIONS PER CITY PLANNING DEPARTMENT/GARVERS REDLINES	8/4/22	MDD
2	REVISIONS PER CITY PLANNING DEPARTMENT	7/14/22	MDD
1	ADDED DRAINAGE SHEET AND SWAMP 1 SHEET.	6/9/22	MDD
0	REVISED PARKING LOT TO LESS THAN 12,000 SQUARE FOOT	2/25/22	MDD

3 of 14  
SHEET NO.





LEGEND		
		 Utility Pole
		 Light Pole
		 Sewer Manhole
		 Sewer Cleanout
		 Water Meter
		 Storm Water Manhole
		 Water Valve
		 Gas Meter
		 Telephone Pedestal
		 Firehydrant
		 Guy Anchor
		 AC Unit
		 Sign
		 Benchmark

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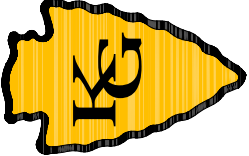


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Email: carl.d.gales@gmail.com



Salerno Parking Lot  
LSD  
Existing Storm Drainage

CLIENT: Anthony Salerno  
1074 E Henri De  
Tonti Blvd

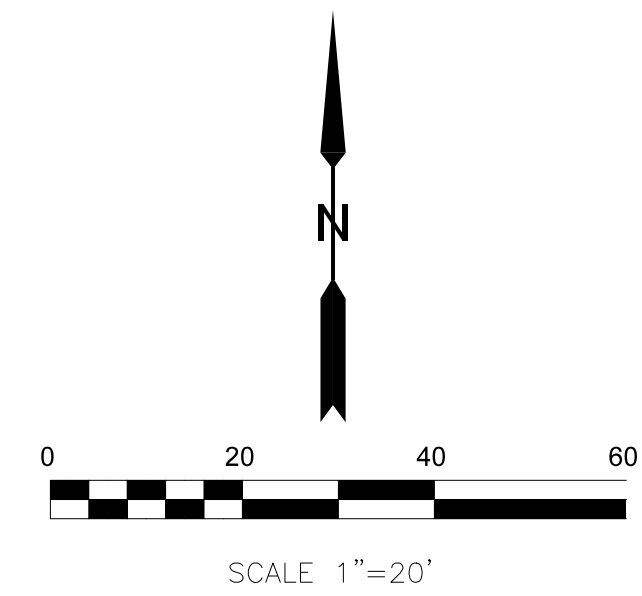
DESIGNED BY: CDG  
APPROVED BY: MDD  
DATE PREPARED: June 2022
























NO.	REVISION	DATE	BY
3	REVISIONS PER CITY PLANNING DEPARTMENT/GARVYERS REDLINES	8/4/22	MDD
2	REVISIONS PER CITY PLANNING DEPARTMENT	7/14/22	MDD
1	ADDED DRAINAGE SHEET AND SWAMP 1 SHEET.	6/3/22	MDD
0	REVISED PARKING LOT TO LESS THAN 12,000 SQUARE FOOT	2/25/22	MDD

4 of 14  
SHEET NO.







 <b>Overhead Electric Line</b>  <b>Sewer Line (underground)</b> size noted on plans  <b>Telephone Line (underground)</b>  <b>Gas Line (underground)</b> size unknown  <b>Water Line (underground)</b> size noted on plans  <b>Existing Contours</b>  <b>Proposed Contours</b>	 <b>Section Line</b>  <b>Fence (Type Noted)</b>  <b>Right-of-Way Line</b>   <b>Center Line</b>  <b>Subject Property Line</b>   <b>Adjoining Property Line</b>  <b>Easement Line</b>	 Utility Pole  Light Pole  Sewer Manhole  Sewer Cleanout  Water Meter  Storm Water Manhole  Water Valve  Gas Meter  Telephone Pedestal  Firehydrant  Guy Anchor  AC Unit  Sign  Benchmark
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NOTE:  
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**ENGINEER**

**LIVING**  
**KAS Gales Company**  
**Consulting Engineers**  
18772 Harmon Road  
Fayetteville, AR 72704  
Wk. 479.361.9977 Cell 479.479.4797  
Email: carl.d.gales@gmail.com



Salerno Parking Lot  
LSD  
Proposed Storm Drainage

**CLIENT:** Anthony Salerno  
1074 E Henri De  
Tonti Blvd

DESIGNED BY:	APPROVED BY:
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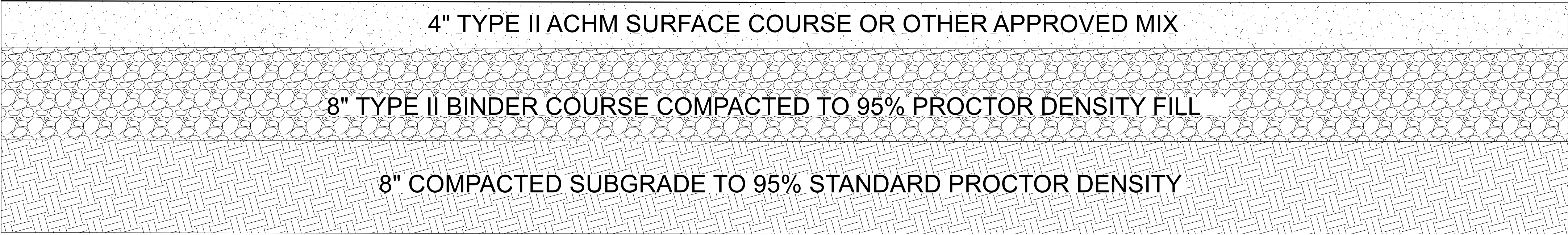
CDG	
DATE PREPARED: June 2022	
DRAWN BY: MDD	

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5 of 14  
SHEET NO.







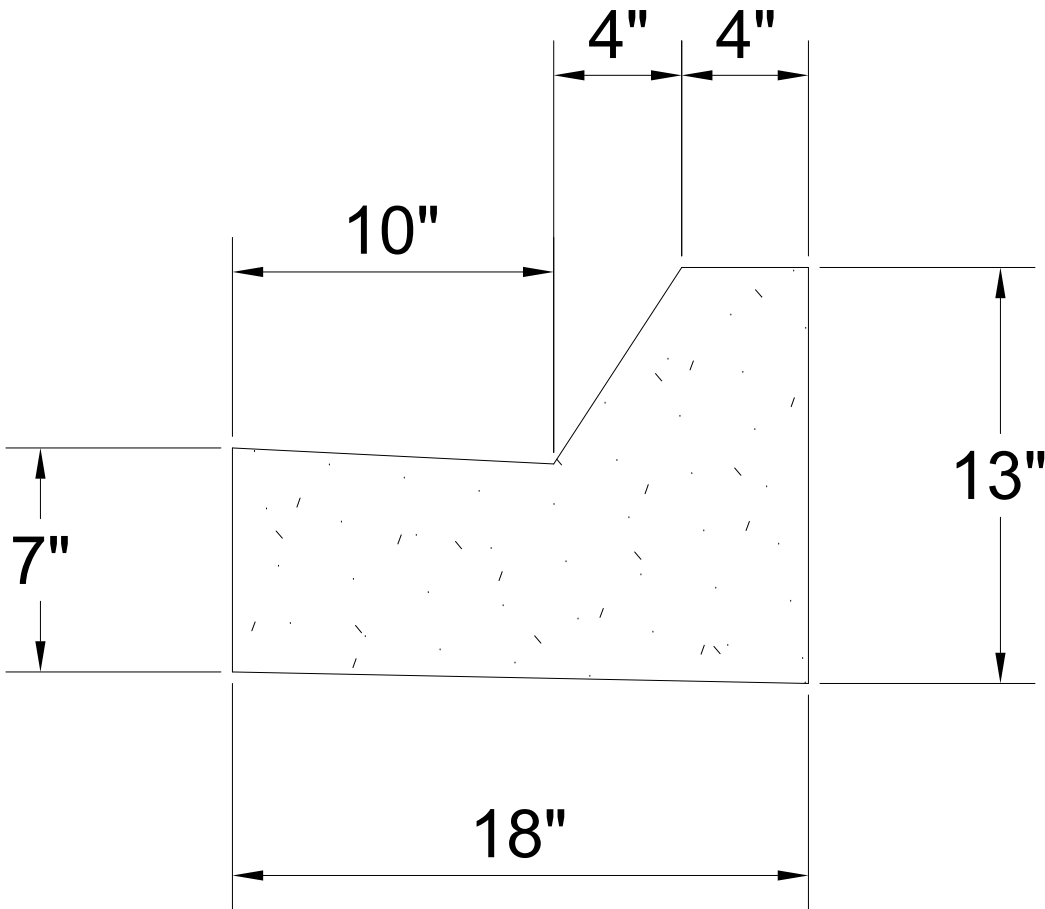
PARKING LOT DETAIL  
SCALE 2" = 1'



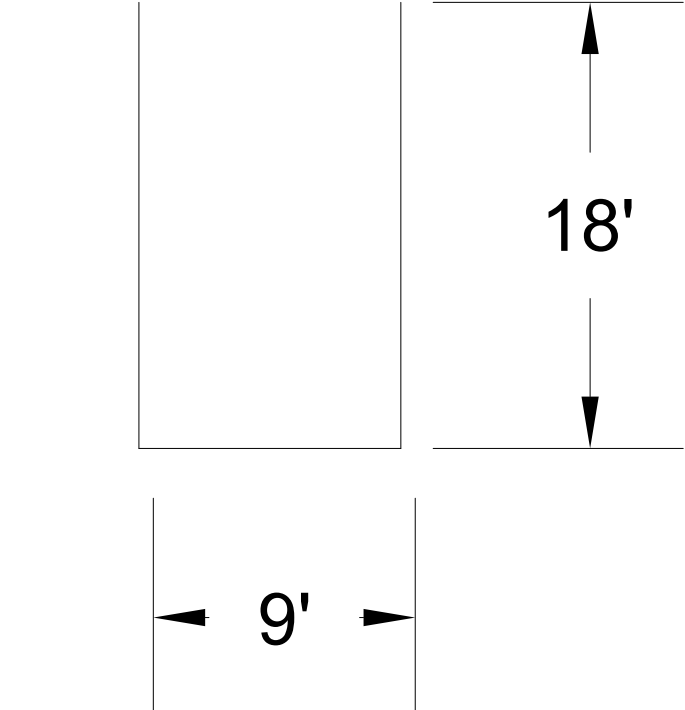
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CONCRETE NOTE:  
PORTLAND CEMENT  
CONCRETE MIX IN  
ACCORDANCE WITH  
SECTION 802 OR 501,  
ARDOT STANDARD  
SPECIFICATIONS



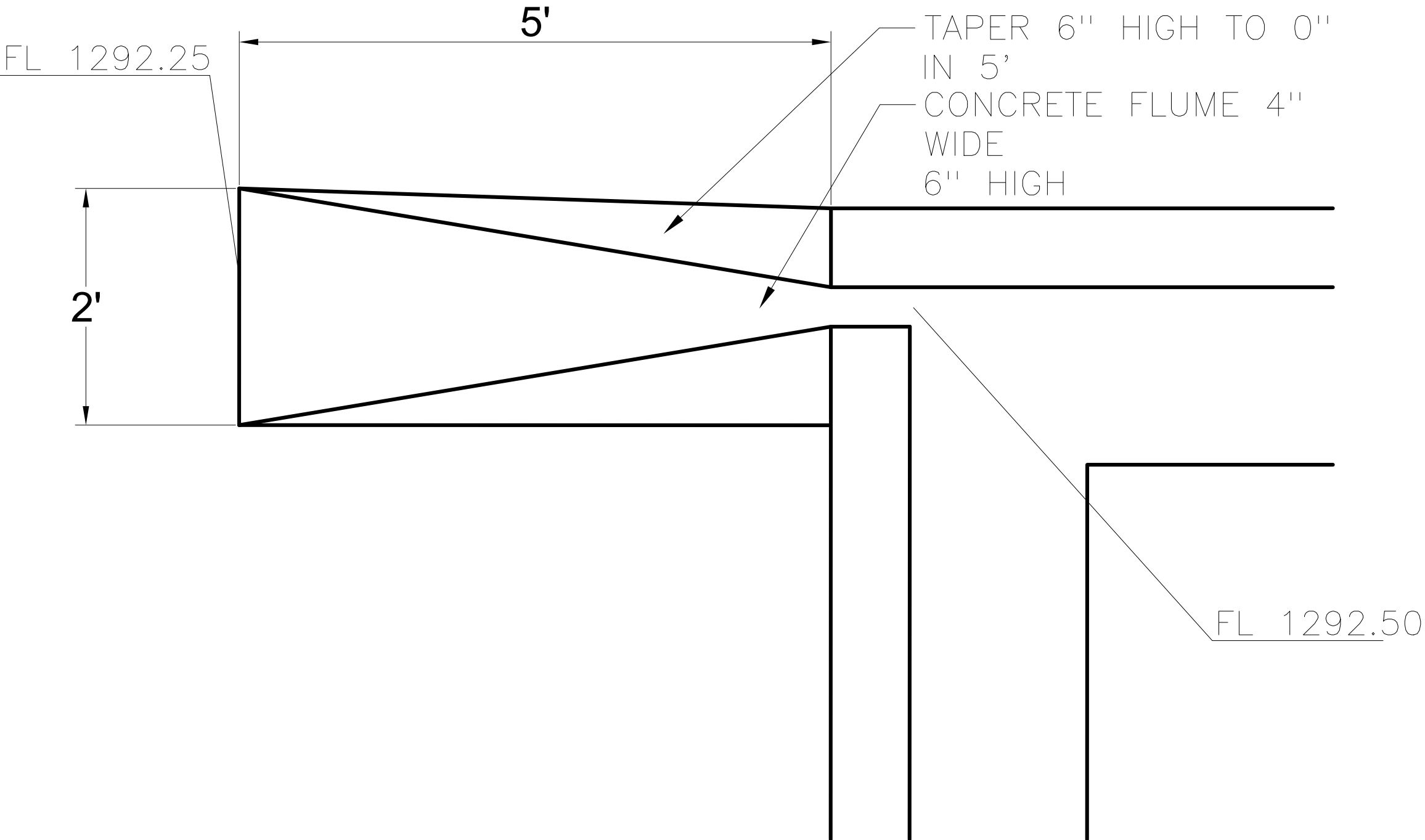
CONC. CURB DETAIL  
SCALE 2" = 1'



TYP. PARKING SPACE  
(UNLESS NOTED)

NEW PARKING SPACE DETAILS  
N.T.S. (NOT TO SCALE)

CONCRETE NOTE: PORTLAND  
CEMENT CONCRETE MIX IN  
ACCORDANCE WITH SECTION  
802 OR 501, ARDOT STANDARD  
SPECIFICATIONS



CONC. FLUME DETAIL  
SCALE 1" = 1'

ENGINEER

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Salerno Parking Lot  
LSD  
Details

CLIENT:  
Anthony Salerno  
1074 E Henri De  
Tonti Blvd

DESIGNED BY:  
CDG

APPROVED BY:

DRAWN BY:  
MDD

DATE PREPARED:  
Jan. 2022

8/4/22  
7/14/22  
6/3/22  
2/25/22

MDD  
MDD  
MDD  
MDD

BY  
DATE

NO.	REVISION	DATE
3	REVISIONS PER CITY PLANNING DEPARTMENT/GARVERS REDLINES	8/4/22
2	REVISIONS PER CITY PLANNING DEPARTMENT	7/14/22
1	ADDED DRAINAGE SHEET AND SWAMP 1 SHEET.	6/3/22
0	REVISED PARKING LOT TO LESS THAN 12,000 SQUARE FOOT	2/25/22

6 of 14  
SHEET NO.

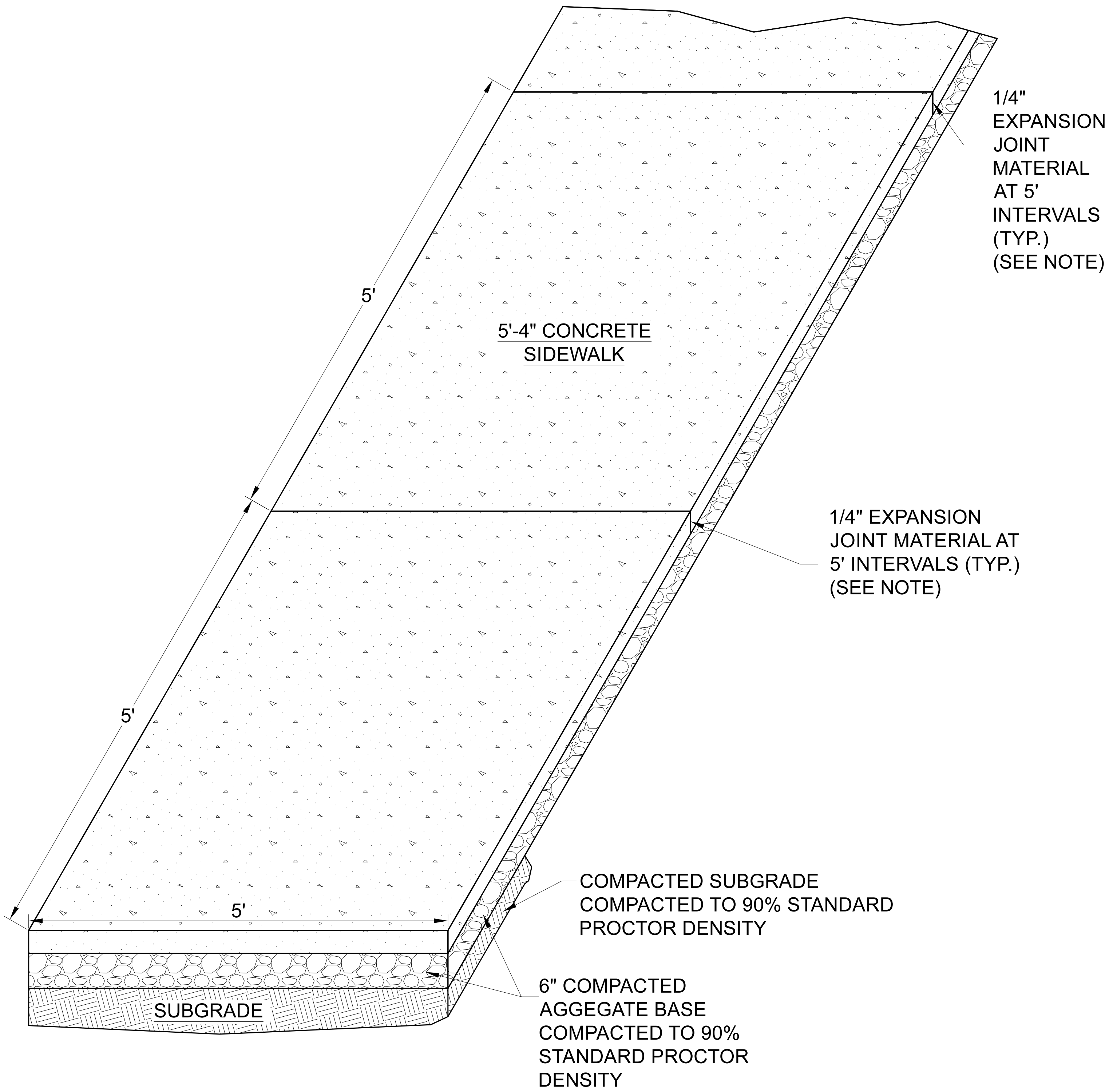




EXPANSION JOINT NOTE: EXPANSION JOINT MATERIAL SHALL BE ASPHALT IMPREGNATED FIBERBOARD MEETING THE REQUIREMENTS OF AASHTO M213, OR OTHER JOINT MATERIAL MEETING THE REQUIREMENTS OF THE LATEST EDITION OF THE ARDOT STANDARD SPECIFICATIONS.

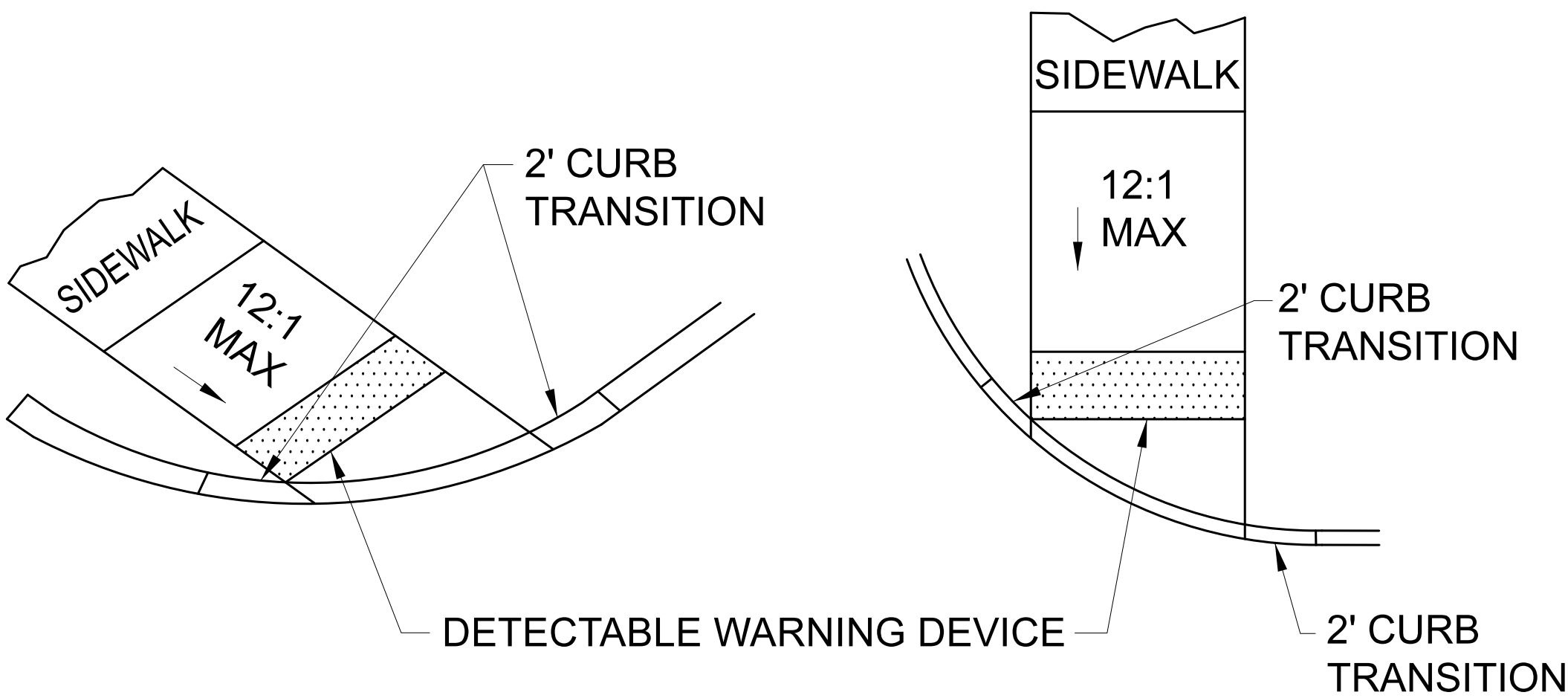
SAW JOINTS AND SEALANT NOTE: SAW JOINTS SHALL BE FILLED WITH SELF-LEVELING SEALANT SUCH AS SONNEBORN SL1 OR EQUIVALENT MEETING THE REQUIREMENTS OF ASTM C 920, TYPE S. ALL EXPANSION JOINTS AND SAW JOINTS SHALL BE SEALED WITH JOINT SEALANT MEETING THE REQUIREMENTS OF ASTM C 920, TYPE S. A SELF-LEVELING SEALANT SHALL BE USED FOR HORIZONTAL SURFACES. A NON-SAG SEALANT SHALL BE USED FOR VERTICAL OR NEARLY VERTICAL SURFACES.

CONCRETE SIDEWALK NOTE: PORTLAND CEMENT CONCRETE MIX IN ACCORDANCE WITH SECTION 802 OR 501, ARDOT STANDARD SPECIFICATIONS



TYPICAL SIDEWALK DETAIL  
SCALE 1" = 1'

NOTE:  
THE CROSS SLOPE OF THE RAMPS, LEVEL LANDINGS,  
AND SIDEWALKS SHALL NOT EXCEED 2.0% UNLESS  
REQUIRED TO MATCH STREET LONGTITUDINAL GRADE.



TYPICAL SIDEWALK RAMP DETAIL  
SCALE 1" = 4'

GENERAL NOTES:

IN NEW CONSTRUCTION, UNLESS OTHERWISE INDICATED ON THE PLANS, WHEELCHAIR RAMPS ARE TO BE PROVIDED AT ALL CORNERS OF CURBED STREET INTERSECTIONS AND MID-BLOCK CROSSWALK LOCATIONS.

IN ALTERATIONS WHEELCHAIR RAMPS ARE TO BE PROVIDED AT CURBED STREET INTERSECTIONS WITH PEDESTRIAN TRAFFIC AND MID-BLOCK CROSSWALK LOCATIONS.

THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1. THE SURFACE TEXTURE OF THE RAMP SHALL CONFORM TO A CLASS 6 FINISH ACCORDING TO SECTION 802.19.

THE NORMAL GUTTER GRADE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.

ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.

THE MINIMUM THICKNESS OF THE RAMP, WALK, & LANDING SHALL BE 4".

THE MINIMUM WIDTH OF THE RAMPS SHALL BE THE WALK WIDTH OR 36", WHICHEVER IS GREATER.

RAMPS SHALL BE MODIFIED AS NECESSARY TO INSURE THAT THEY ARE PARALLEL TO A LINE DRAWN FROM THE CENTER OF ONE RAMP TO THE CENTER OF THE RAMP ON THE OPPOSITE SIDE OF THE INTERSECTION.

THE DIMENSIONS AND QUANTITIES SHOWN ON THIS DRAWING ARE FOR A 90° INTERSECTION ONLY. DIMENSIONS AND QUANTITIES FOR SKEWED INTERSECTIONS WILL VARY, AND ARE TO BE DETERMINED BY THE ENGINEER.

GENERAL NOTES FOR DETECTABLE WARNING DEVICES

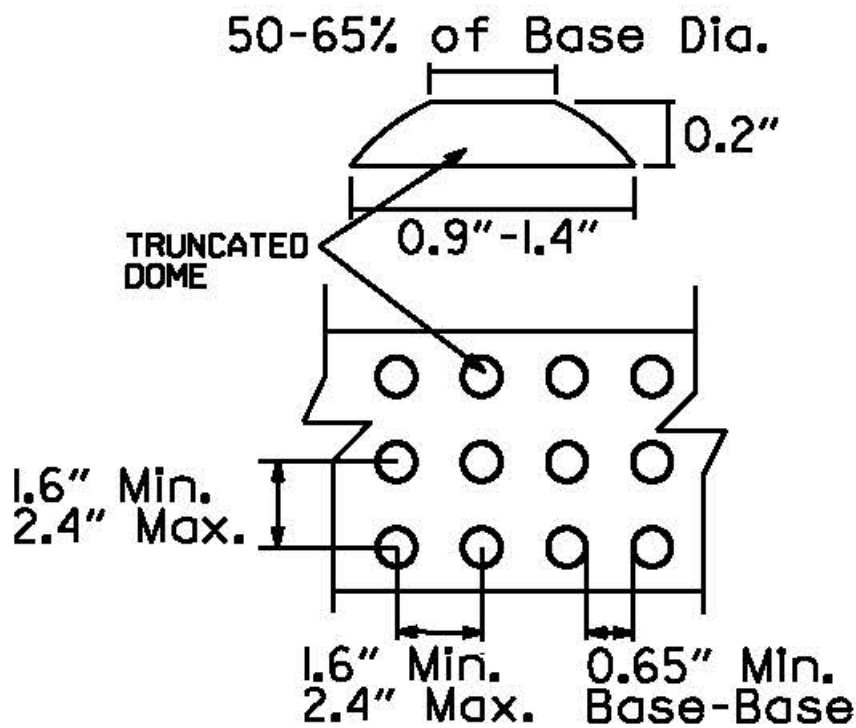
THE DETECTABLE WARNING DEVICE SHALL BE LOCATED SO THAT THE NEAREST EDGE OF THE DEVICE IS 6 TO 8 INCHES FROM THE FACE OF THE CURB.

TRUNCATED DOMES IN THE DETECTABLE WARNING SURFACE SHALL MEET THE REQUIREMENTS OF THE GEOMETRIC CONFIGURATION SHOWN.

DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.

DETECTABLE WARNING DEVICE SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.

DETECTABLE WARNING DEVICE SHALL BE ON THE ARDOT QUALIFIED PRODUCTS LIST FOR CAST-IN-PLACE TACTILE PANELS (ADA DETECTABLE WARNING).



DETECTABLE WARNING DEVICE DETAILS  
N.T.S.

ENGINEER

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Salerno Parking Lot  
LSD  
Existing Storm Drainage

CLIENT:  
Anthony Salerno  
1074 E Henri De  
Tonti Blvd

APPROVED BY:  
CDG

DESIGNED BY:  
MDD

DRAWN BY:  
MDD

DATE PREPARED:  
June 2022

MDD

MDD

MDD

MDD

BY

DATE

REVISION

NO.

3

2

1

0

NO.

REVISION

DATE

2/25/22

6/9/22

7/14/22

8/4/22

REVISIONS PER CITY PLANNING DEPARTMENT/GARVERS REDLINES

REVISIONS PER CITY PLANNING DEPARTMENT

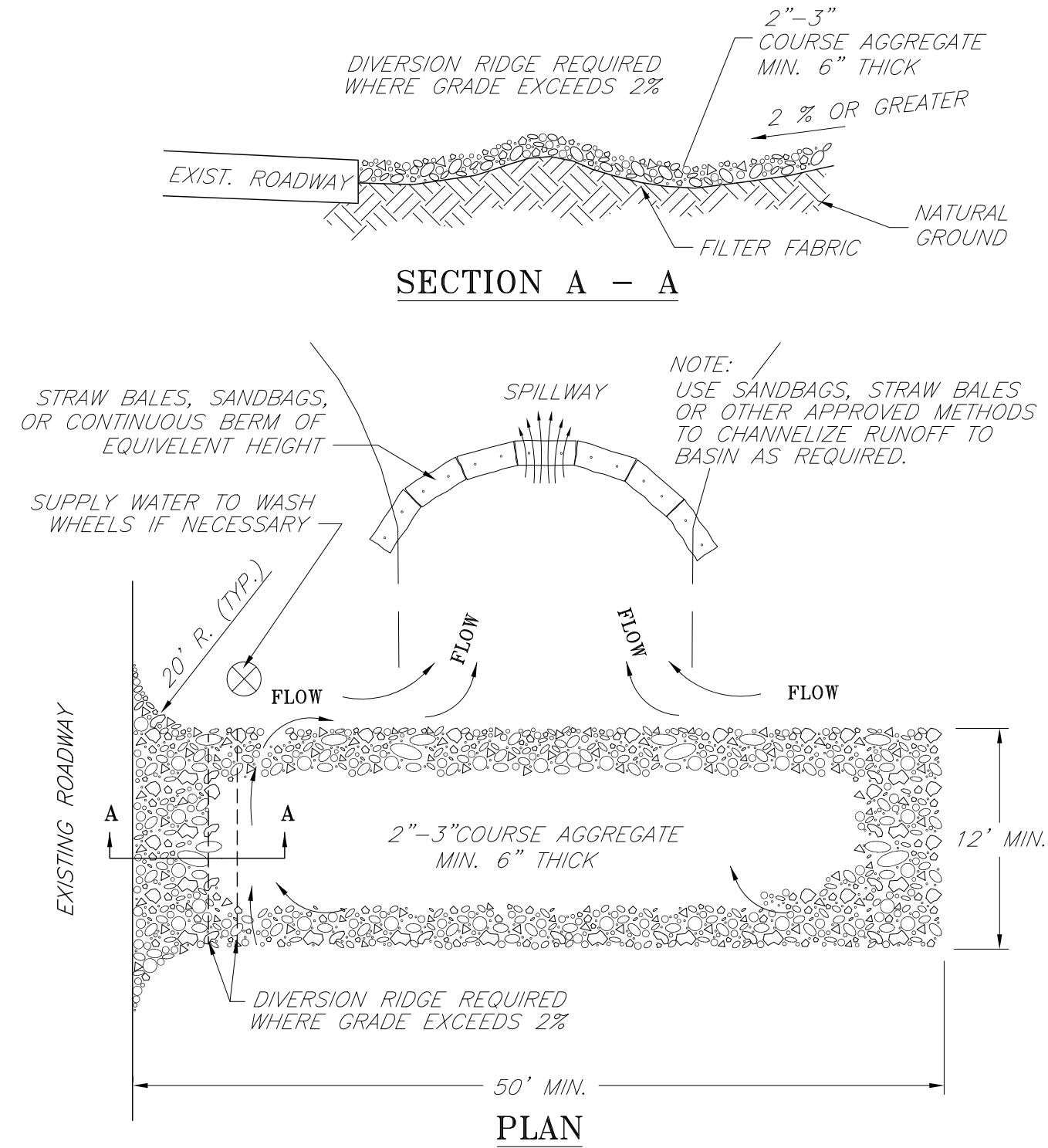
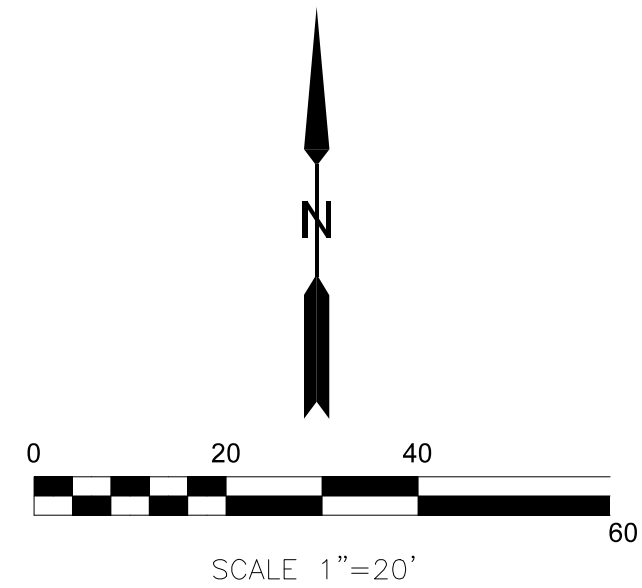
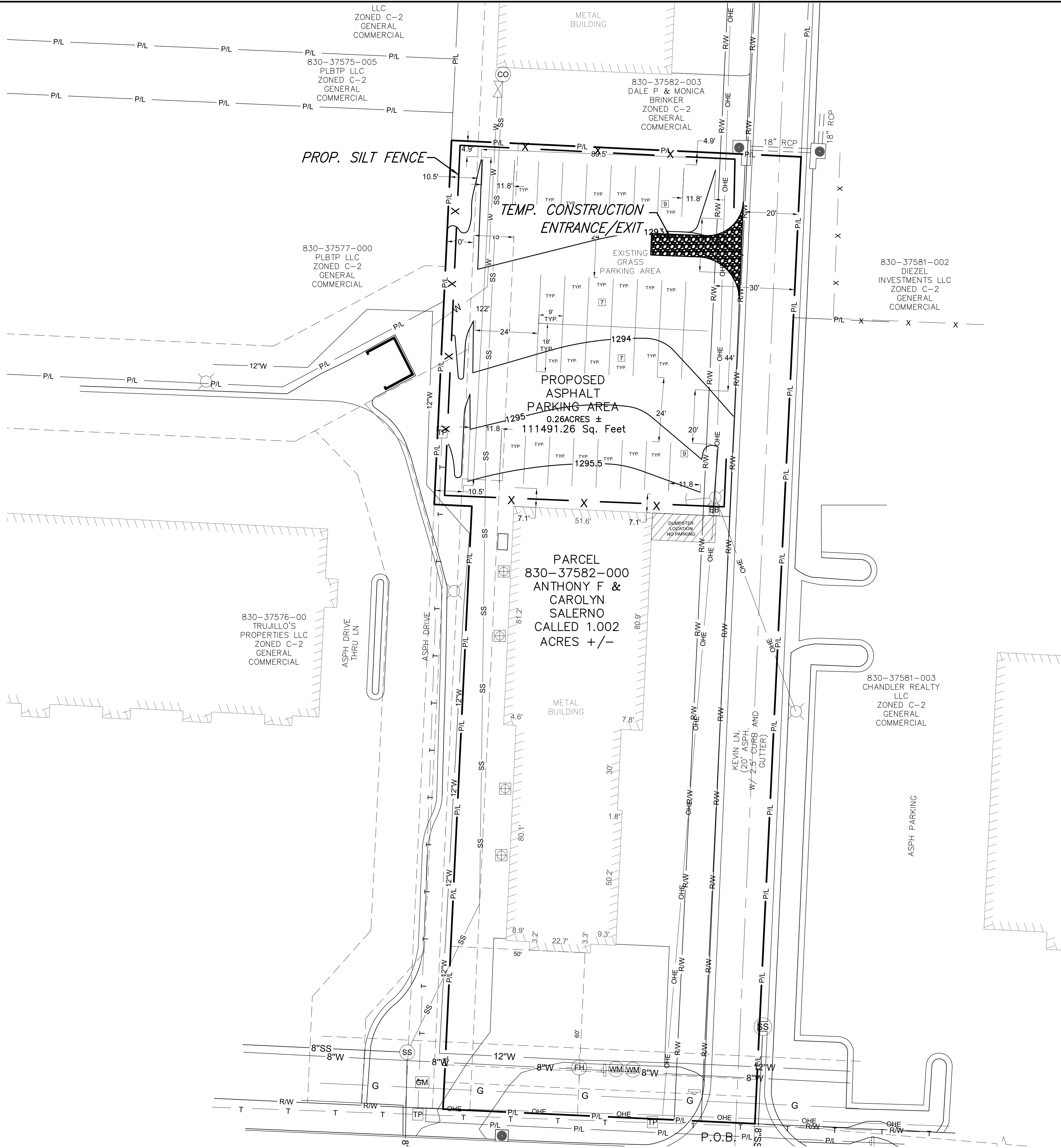
ADDED DRAINAGE SHEET AND SWAMP 1 SHEET

REVISED PARKING LOT TO LESS THAN 12,000 SQUARE FOOT

7 of 14  
SHEET NO.







- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

STABILIZED CONSTRUCTION  
ENTRANCE AND EXIST  
N.T.S.

LEGEND:

— x — SILT FENCE 373 LF

NOTE:  
CONTRACTOR WILL NEED TO ALL VERIFY ALL  
UNDERGROUND UTILITIES. UNDERGROUND  
UTILITIES SHOWN ARE AT APPROXIMATE  
LOCATION.



BEFORE YOU DIG...  
1-800-482-8998  
OR 811

PRIOR TO PERFORMING ANY GRADING OR EXCAVATING WORK  
THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS AND  
ARKANSAS ONE-CALL NOT LESS THAN 48  
HOURS IN ADVANCE AND SHALL VERIFY OR ESTABLISH THE  
EXACT LOCATION AND DEPTH OF ALL UNDERGROUND LINES.

ENGINEER

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Salerno Parking Lot  
LSD  
Stormwater Managment Plan  
Sheet 1

CLIENT: Anthony Salerno  
1074 E Henri De  
Tonti Blvd

DESIGNED BY: CDG  
APPROVED BY: MDD  
DATE PREPARED: Jan. 2022  
DRAWN BY: MDD

NO.	REVISION	DATE	BY	MDD
3	REVISIONS PER CITY PLANNING DEPARTMENT/GARVERS REDLINES	8/4/22	MDD	
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8 of 14  
SHEET NO.





# STORM WATER MANAGEMENT PLAN

## SITE DESCRIPTION

### PROJECT LIMITS:

START OF PROJECT APPROXIMATELY 270 FEET NORTH OF INTERSECTION OF HENRI DE TONTI BLVD/US HWY 412 AND KEVIN LANE, CONTINUING NORTH FOR 129 FEET THEN WEST 108 FEET THEN SOUTH 129 FEET AND THEN EAST 108 TO THE BEGINNING OF THE PROJECT. LOCATED APPROXIMATELY 270 FEET NORTH OF INTERSECTION OF HENRI DE TONTI BLVD/US HWY 412 AND KEVIN LANE, IN THE CITY LIMITS OF TONTITOWN, ARKANSAS.

### LATITUDE AND LONGITUDE:

APPROXIMATE OF CENTER OF NEW PARKING LOT LATITUDE: 36°10'36.61"N, LONGITUDE: 94°13'02.22"W

### PROJECT DESCRIPTION:

CUT DOWN SLOPE, INSTALL CURB AND GUTTERS AND LAY ASPHALT PARKING LOT.

### SUGGESTED SEQUENCE OF EROSION CONTROL ACTIVITIES:

1. INSTALL TEMPORARY EROSION CONTROL
2. INSTALL SEDIMENT CONTROLS AS AREAS BECOME DISTURBED
3. COMPLETE GRADING
4. INSTALL CUBR AND GUTTERS AND ASPHALT PARKING LOT
5. COMPLETE FINE GRADING AND INSTALL PERMANENT EROSION CONTROL

NOTE: THIS SHOULD INCLUDE MAJOR ACTIVITIES REQUIRED TO CONSTRUCT THE PROJECT & EROSION CONTROL ITEMS.

### TOTAL AREA TO BE DISTURBED:

43,460.1 SF or 1.0 ACRES

### WEIGHTED RUNOFF COEFFICIENT:

BEFORE CONSTRUCTION: 0.45  
AFTER CONSTRUCTION: 0.45

NOTE: THIS SHOULD BE DETERMINED BY THE HYDRAULIC DESIGNER FOR THE PROJECT. THIS VALUE SHOULD BE THE AVERAGE "C" FACTOR USED ON THE PROJECT. IT SHOULD BE BASED ON THE ANTICIPATED FUTURE LAND USE.

### NAME OF RECEIVING WATERS:

UNIDENTIFIED WATER (460)

## EROSION AND SEDIMENT CONTROLS

### SOIL STABILIZATION PRACTICES:

- ☒ TEMPORARY SEEDING
- ☒ PERMANENT SODDING, SPRIGGING OR SEEDING
- ☒ VEGETATIVE MULCHING
- ☒ SOIL RETENTION BLANKET
- ☒ PRESERVATION OF EXISTING VEGETATION

NOTE: TEMPORARY EROSION CONTROL METHODS MUST BE USED ON ALL DISTURBED AREAS WHERE CONST. ACTIVITIES HAVE CEASED FOR OVER 21 DAYS. METHODS USED WILL BE AS SHOWN ON PLANS OR AS DIRECTED BY THE ENGINEER.

### STRUCTURAL PRACTICES:

- ☐ TEMPORARY BRUSH SEDIMENT BARRIERS
- ☒ TEMPORARY SILT FENCE
- ☒ TEMPORARY SILT DIKES
- ☒ TEMPORARY BALE BARRIERS
- ☒ DIVERSION, INTERCEPTOR OR PERIMETER DIKES
- ☐ DIVERSION, INTERCEPTOR OR PERIMETER SWALES
- ☒ SANDBAG BERMS
- ☐ ROCK FILTER DAMS (CHECK DAM)
- ☐ TEMPORARY SLOPE DRAIN
- ☒ PAVED DITCH W/ DITCH LINER PROTECTION
- ☐ TEMPORARY DIVERSION CHANNELS
- ☐ RIP RAP
- ☐ TEMPORARY STREAM CROSSINGS
- ☒ TEMPORARY SEDIMENT TRAPS
- ☐ TEMPORARY SEDIMENT FILTERS
- ☒ TEMPORARY SEDIMENT REMOVAL
- ☐ INLET SEDIMENT FILTER
- ☐ STABILIZED CONSTRUCTION ENTRANCE

### OFFSITE VEHICLE TRACKING:

- ☒ HAUL ROADS DAMPENED FOR DUST CONTROL
- ☒ LOADED HAUL TRUCKS TO BE COVERED WITH TARPAULIN
- ☐ EXCESS DIRT ON ROAD REMOVED DAILY

### NOTES:

CONTRACTOR SHALL REMOVE ALL TEMPORARY SEDIMENTATION CONTROL DEVICES FROM PROJECT LIMITS AFTER CONSTRUCTION IS COMPLETED.  
CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL EROSION CONTROL DEVICES.

### THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE FOLLOWING: MAINTENANCE AND INSPECTION:

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN GOOD WORKING ORDER FROM THE BEGINNING OF CONSTRUCTION UNTIL AN ACCEPTABLE VEGETATIVE COVER IS ESTABLISHED. INSPECTION BY THE CONTRACTOR AND ANY NECESSARY REPAIRS SHALL BE PERFORMED ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES (AS RECORDED BY A NON-FREEZING RAIN GAUGE TO BE LOCATED ON SITE). POTENTIALLY ERODIBLE AREAS, DRAINAGE WAYS, MATERIAL STORAGE, STRUCTURAL DEVICES, CONSTRUCTION ENTRANCES AND EXITS ALONG WITH EROSION AND SEDIMENT CONTROL LOCATIONS ARE EXAMPLES OF SITES THAT NEED TO BE INSPECTED.

### WASTE MATERIALS:

PROPER MANAGEMENT AND DISPOSAL OF CONSTRUCTION WASTE MATERIAL IS REQUIRED BY THE CONTRACTOR. MATERIALS INCLUDE STOCKPILES, SURPLUS, DEBRIS AND ALL OTHER BY-PRODUCTS FROM THE CONSTRUCTION PROCESS. PRACTICES INCLUDE DISPOSAL, PROPER MATERIALS HANDLING, SPILL PREVENTION AND CLEANUP MEASURES. CONTROLS AND PRACTICES SHALL MEET THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL AGENCIES.

### HAZARDOUS MATERIALS:

PROPER MANAGEMENT AND DISPOSAL OF HAZARDOUS WASTE MATERIALS IS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING MANUFACTURER'S RECOMMENDATIONS, STATE AND FEDERAL REGULATIONS TO ENSURE CORRECT HANDLING, DISPOSAL, SPILL PREVENTION AND CLEANUP MEASURES. EXAMPLES INCLUDE BUT ARE NOT LIMITS TO: PAINTS, ACIDS, CLEANING SOLVENTS, CHEMICAL ADDITIVES, CONCRETE CURING COMPOUNDS AND CONTAMINATED SOILS.

### GENERAL NOTES:

THE ENCLOSED STORMWATER POLLUTION PREVENTION PLAN (SWP3) COMPLIES WITH ORDERS REGULATIONS UNDER THE WASHINGTON COUNTY STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES ON LAND OWNED BY THE CITY TO ACTIVITIES THAT ARE DIRECTLY CONTROLLED BY THE COUNTY.

ENGINEER

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Salerno Parking Lot  
Stormwater Management Plan  
LSD  
Sheet 2

**CLIENT:**  
Anthony Salerno  
1074 E Henri De  
Tonti Blvd

APPROVED BY:  
CDG

DATE PREPARED:  
Jan. 2022

DESIGNED BY:

DRAWN BY:  
MDD

9 of 14  
SHEET NO.



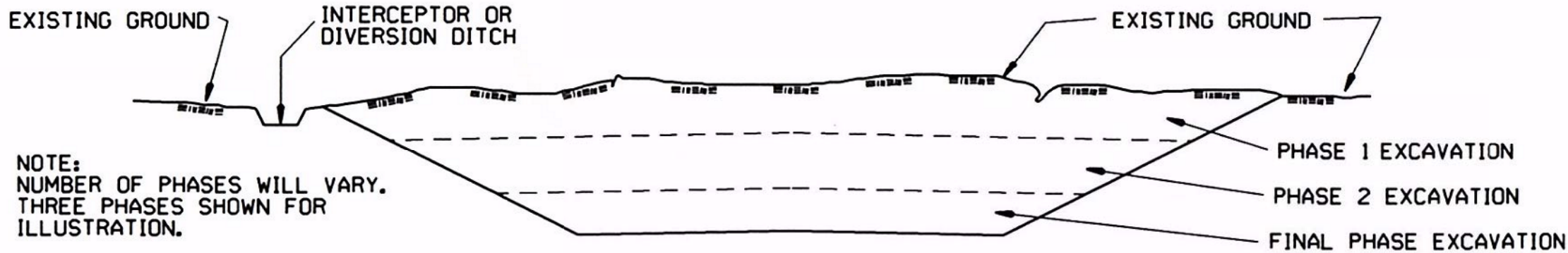


CLEARING AND GRUBBING

CONSTRUCTION SEQUENCE

- 1. PLACE PERIMETER CONTROLS (I.E. SILT FENCES ,DIVERSION DITCHES, SEDIMENT BASINS, ETC.)
- 2. PERFORM CLEARING AND GRUBBING OPERATION.

EXCAVATION



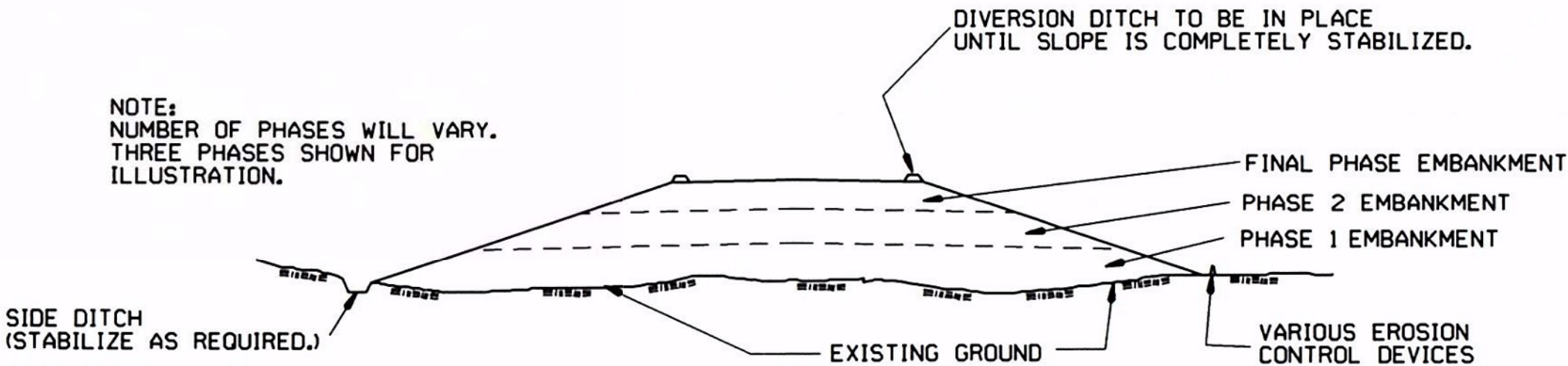
GENERAL NOTE

ALL CUT SLOPES SHALL BE DRESSED, PREPARED, SEEDED, AND MULCHED AS THE WORK PROGRESSES. SLOPES SHALL BE EXCAVATED AND STABILIZED IN EQUAL INCREMENTS NOT TO EXCEED 25 FEET, MEASURED VERTICALLY.

CONSTRUCTION SEQUENCE

- 1. EXCAVATE AND STABILIZE INTERCEPTOR AND/OR DIVERSION DITCHES.
- 2. PERFORM PHASE 1 EXCAVATION. PLACE PERMANENT OR TEMPORARY SEEDING.
- 3. PERFORM PHASE 2 EXCAVATION. PLACE PERMANENT OR TEMPORARY SEEDING.
- 4. PERFORM FINAL PHASE OF EXCAVATION. PLACE PERMANENT OR TEMPORARY SEEDING. STABILIZE DITCHES. CONSTRUCT DITCH CHECKS, DIVERSION DITCHES, SEDIMENT BASINS, OR OTHER EROSION CONTROL DEVICES AS REQUIRED.

EMBANKMENT

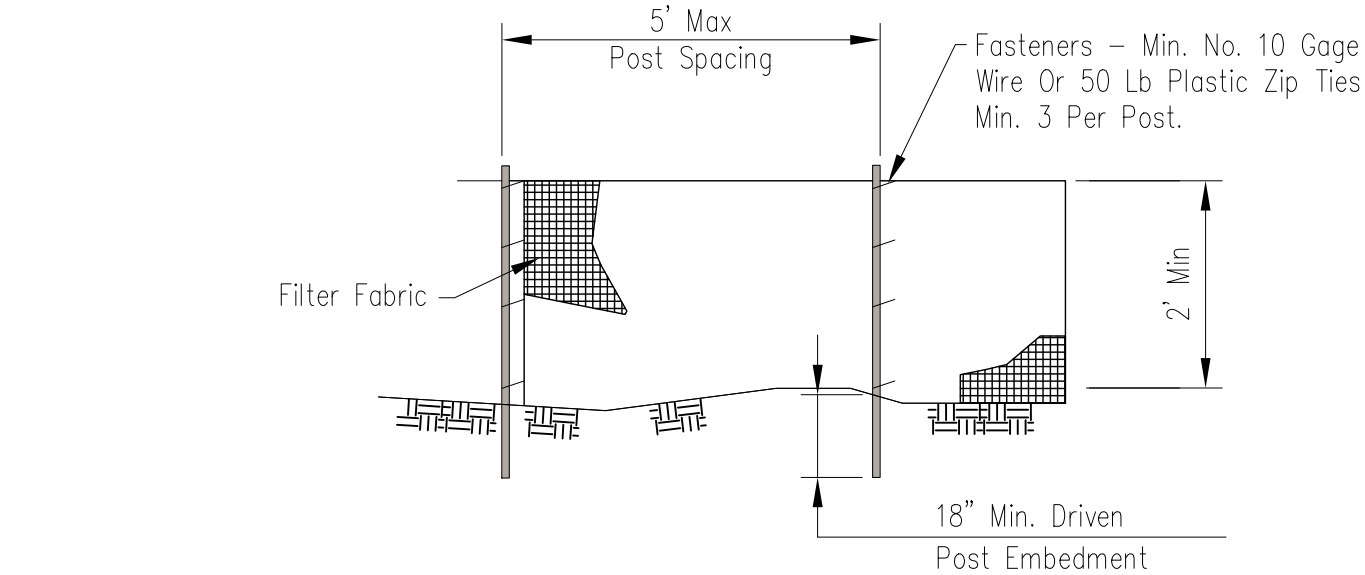


GENERAL NOTE

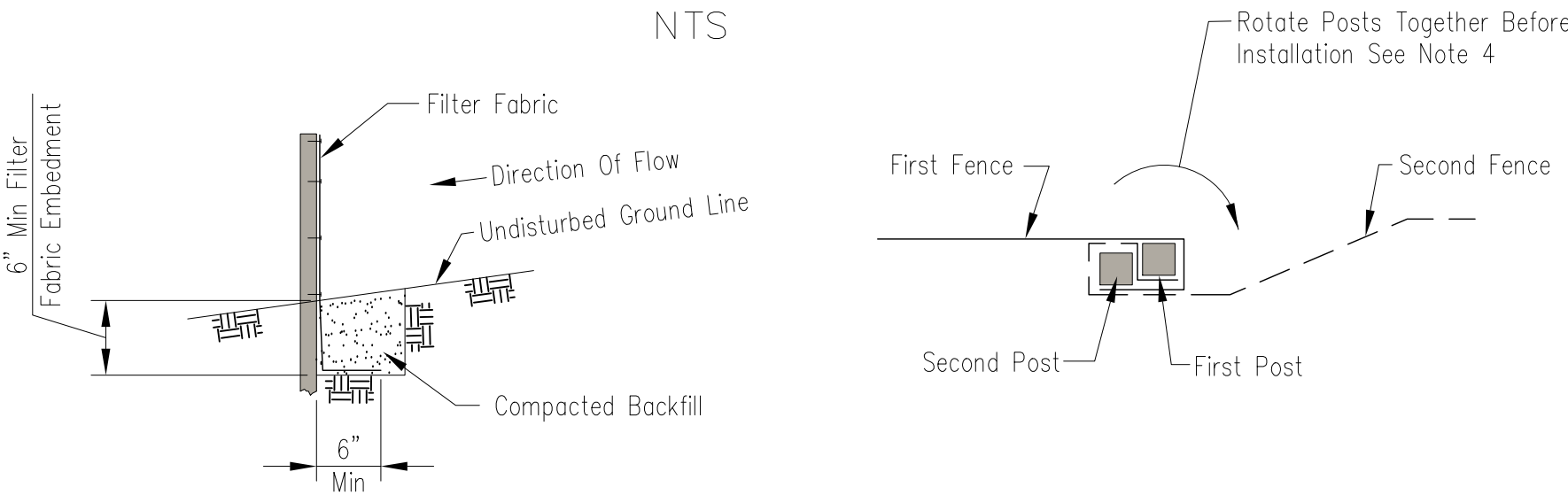
ALL EMBANKMENT SLOPES SHALL BE DRESSED, PREPARED, SEEDED, AND MULCHED AS THE WORK PROGRESSES. SLOPES SHALL BE CONSTRUCTED AND STABILIZED IN EQUAL INCREMENTS NOT TO EXCEED 25 FEET, MEASURED VERTICALLY.

CONSTRUCTION SEQUENCE

- 1. CONSTRUCT DIVERSION DITCHES, DITCH CHECKS, SEDIMENT BASINS, SILT FENCES, OR OTHER EROSION CONTROL DEVICES AS SPECIFIED.
- 2. PLACE PHASE 1 EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PROVIDE DIVERSION DITCHES AND SLOPE DRAINS IF EMBANKMENT CONSTRUCTION IS TO BE TEMPORARILY ABANDONED FOR A PERIOD OF GREATER THAN 21 DAYS.
- 3. PLACE PHASE 2 EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PROVIDE DIVERSION DITCHES AND SLOPE DRAINS IF EMBANKMENT CONSTRUCTION IS TO BE TEMPORARILY ABANDONED FOR A PERIOD OF GREATER THAN 21 DAYS.
- 4. PLACE FINAL PHASE OF EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PLACE DIVERSION DITCHES AND SLOPE DRAINS AND MAINTAIN UNTIL ENTIRE SLOPE IS STABILIZED.



ELEVATION  
NTS

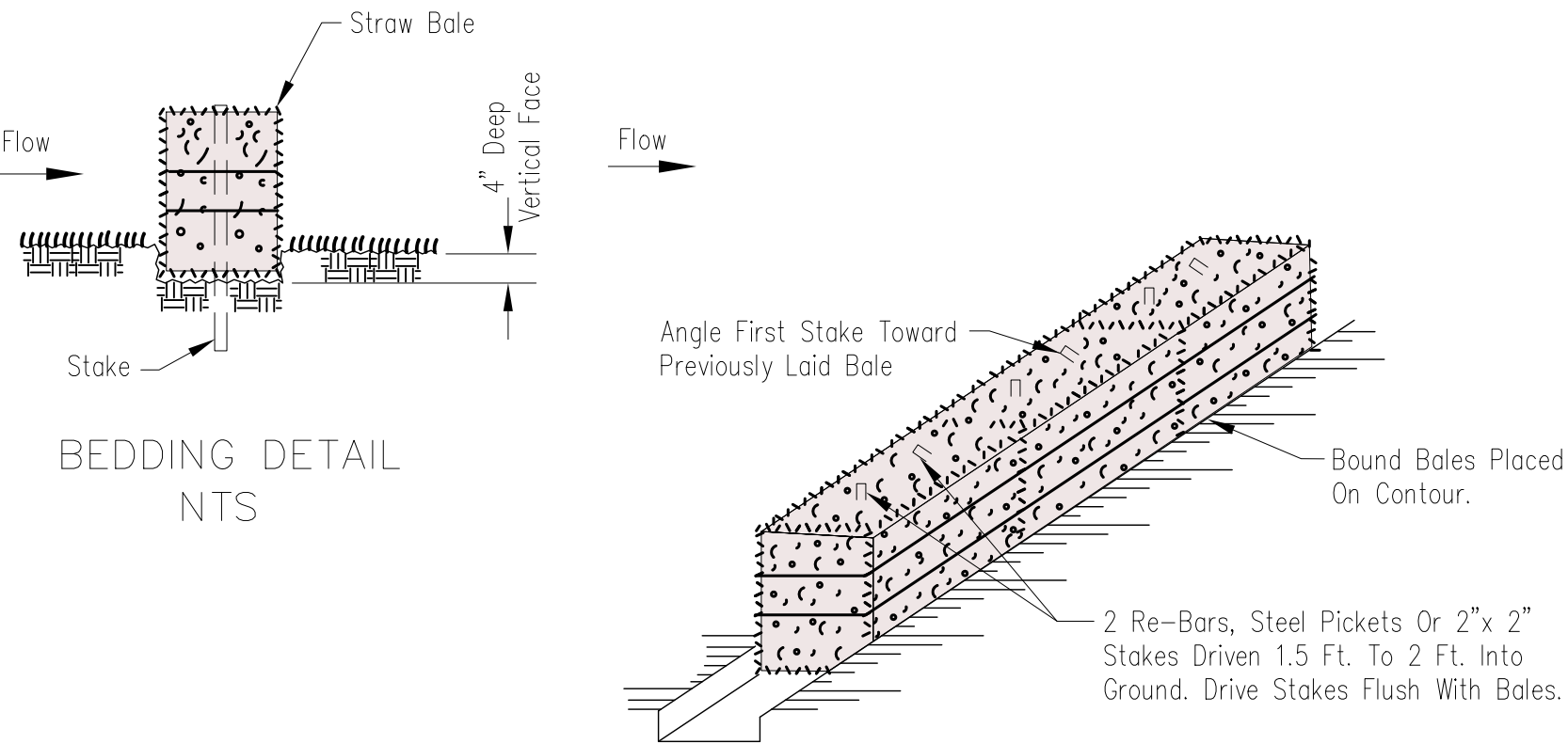


SPLICE DETAIL—PLAN VIEW  
NTS

NOTES:

- 1. Temporary silt fence shall be installed prior to any grading work in the area to be protected. Fence shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
- 3. Fence posts shall be either wood post with a minimum cross-sectional area of 1.5" X 1.5" or a standard steel post.
- 4. When splices are necessary make splice at post according to splice detail. Place the end post of the second fence inside the end post of the first fence. Rotate both posts together at least 180 degrees to create a tight seal with the fabric material. Cut the fabric near the bottom of the posts to accommodate the 6 inch flap. Then drive both posts and bury the flap. Compact backfill well.

SILT FENCE AND TEMP. SILT DIKE  
INSTALLATION

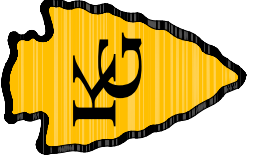


NOTES:

- 1. Bales shall be placed at the top of slope or on the contour and in a row with ends lightly abutting the adjacent bales.
- 2. Each bale shall be embedded in the soil a minimum of 13", and placed so that bindings are horizontal.
- 3. Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
- 4. Inspection shall be frequent and repair replacement shall be made promptly as needed.
- 5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

ENGINEER

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Salerno Parking Lot  
LSD  
Typical Erosion Control  
Devices

Anthony Salerno  
1074 E Henri De  
Tonti Blvd

CLIENT:

DESIGNED BY:  
CDG  
APPROVED BY:  
MDD  
DATE PREPARED:  
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10 of 14  
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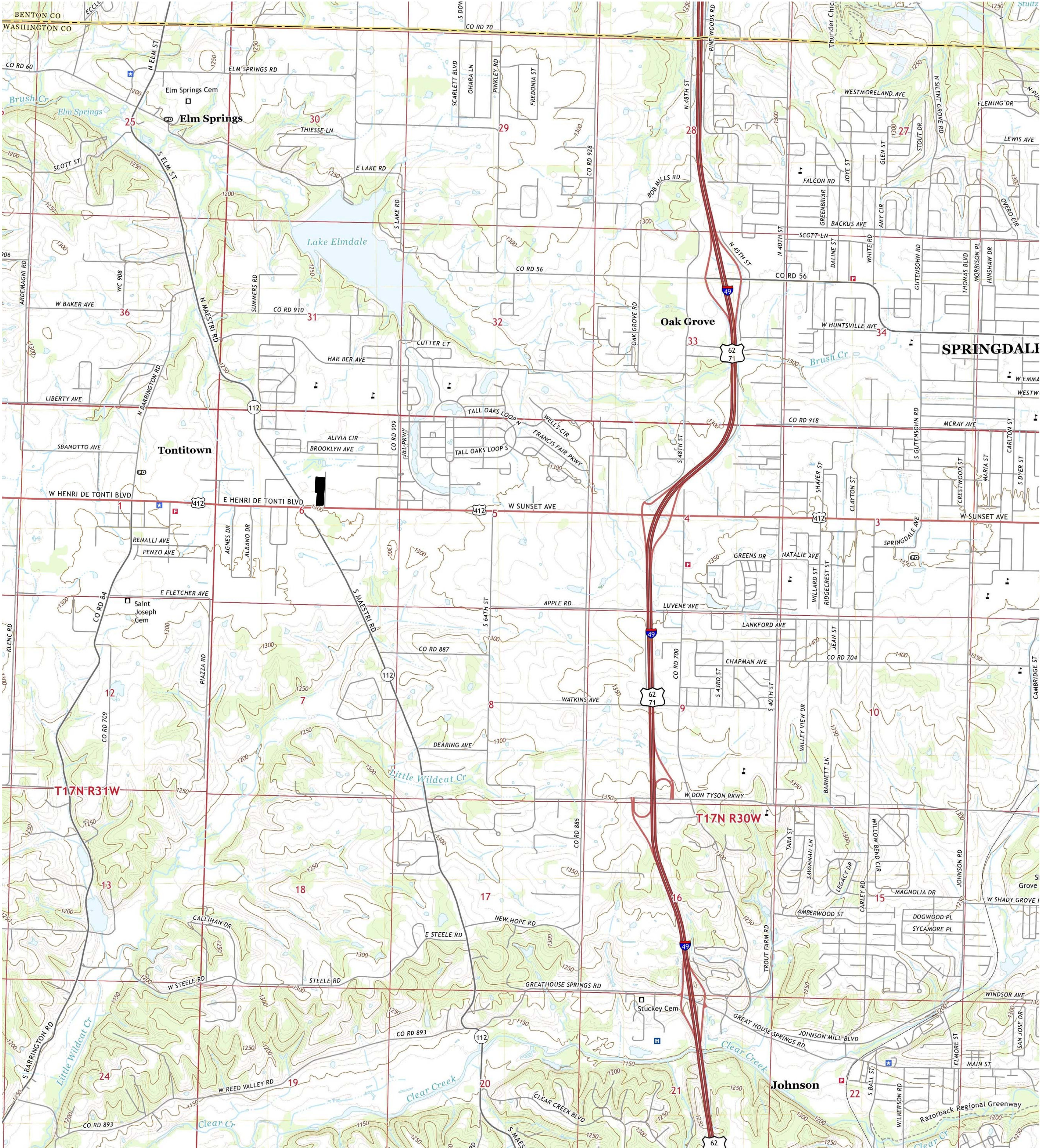












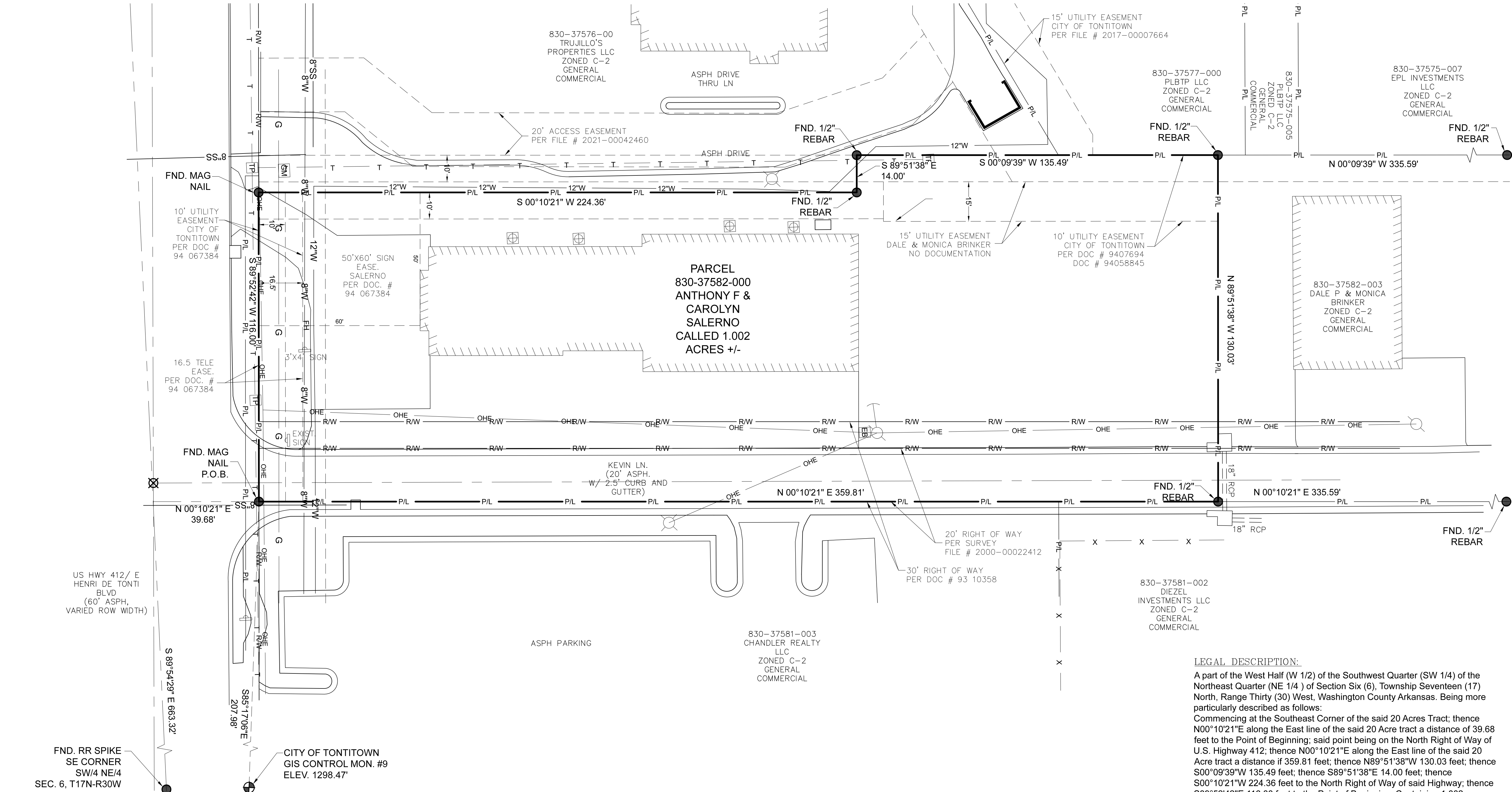
NOT TO SCALE

13 of 14  
SHEET NO.

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
CARL D. GALES  
No. 2763

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A PART OF THE W/2 OF SW/4 OF THE NE/4  
OF SECTION 6, T17N-R30W  
WASHINGTON COUNTY, ARKANSAS

REGISTERED LAND SURVEY NUMBER: \_\_\_\_\_, STATE OF ARKANSAS

FIELD WORK WAS COMPLETED ON JUNE 18, 2022

SS	SS	X	X		Power Pole
Sewer Line (underground) size noted on plans		Fence (Type Noted)			Light Pole
T	T	R/W			Sewer Manhole
Telephone Line (underground)		Right-of-Way Line			Sewer Cleanout
G	G				Water Meter
Gas Line (underground) size unknown		Center Line			Storm Water Manhole
W		P/L			Water Valve
Water Line (underground) size noted on plans		Subject Property Line			Gas Meter
		P/L			Telephone Pedestal
Easement Line		Adjoining Property Line			Firehydrant
					Guy Anchor
					AC Unit
		 Calculated Point			Sign
		 Existing Monument (Type & Size Noted)			Benchmark



Anthony Salerno  
1074 E Henri De  
Tonti Blvd

3	REVISIONS PER CITY PLANNING DEPARTMENT/GARVER'S RED LINES	8/4/22	MDD	DESIGNED BY: APPROVED BY: CDG	
2	REVISIONS PER CITY PLANNING DEPARTMENT	7/14/22	MDD		
1	ADDED DRAINAGE SHEET, AND SWMP 1 SHEET.	6/3/22	MDD		
0	REVISED PARKING LOT TO LESS THAN 12,000 SQUARE FOOT	2/25/22	MDD		
NO.	REVISION	DATE	BY	DRAWN BY: MDD	DATE PREPARED: June 2022

14 of 14  
SHEET NO.

