

This aerial map shows the Tontitown area. A hatched rectangular area is labeled 'SITE' with an arrow pointing to it. The site is located south of E Henri De Tonti Blvd and east of S Barrington Rd. Other roads shown include S Maestri Rd, E Fletcher Ave, E Fletcher Ave, Peach Tree Ave, Pine Ave, Rural Ave, Fizzo St, and S Barrington Rd. A north arrow and a scale bar (NOT TO SCALE) are in the bottom right corner.

SURVEYOR'S DESCRIPTION

LOT 25A OF THE LOT LINE ADJUSTMENT PLAT OF  
MAESTRI SUBDIVISION AS RECORDED AT  
PLAT#2019-16411, WASHINGTON COUNTY, ARKANSAS.

1. ACCORDING TO THE NATIONAL WETLANDS INVENTORY, NO WETLANDS OR AREAS OF INTEREST ARE LOCATED WITHIN THE PROJECT BOUNDARY.
2. NO KNOWN EROSION PROBLEMS ON-SITE OR WITHIN 100' DOWNSTREAM OF THE PROJECT.
3. AN ABANDONED UNDERGROUND SEPTIC TANK AND FIELD LOCATED ON PROJECT SITE SOUTH OF EXISTING WAREHOUSE AS SHOWN ON SHEET C1.0.
4. EXISTING 50' WIDE PUBLIC ACCESS EASEMENT LOCATED ALONG EASTERN PROPERTY LINE AS SHOWN ON SHEET C1.0. NO OTHER KNOWN GROUND UTILITIES OR PROBLEMS.
5. NO KNOWN DANGEROUS AREAS OR HAZARDS PRESENT ON PROJECT SITE.

The image is a logo for Arkansas 811. It features the word "Arkansas" in a large, red, cursive script. To the right of the word is a white outline of the state of Arkansas, which contains a green and yellow shovel icon and the number "811" in green. Below "Arkansas" is the text "Know what's below." in a bold, black, sans-serif font. Below that is "Call before you dig." in a larger, bold, black, sans-serif font. At the bottom of the logo is a block of text in a small, black, sans-serif font: "THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE BASED ON THE BEST INFORMATION AVAILABLE AND MAY NOT REFLECT ALL EXISTING UTILITIES IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE UTILITY COMPANIES FOR LOCATING EXISTING UTILITIES PRIOR TO CONSTRUCTION AND FOR PROTECTION OF SERVICES DURING CONSTRUCTION."

TONTITOWN, AR

SHEET  
C0.0

**olsson**

302 East Millsap Road  
Fayetteville, AR 72703  
TEL 479.443.3404  
[www.olsson.com](http://www.olsson.com)

Yaffel  
STATE OF  
ARKANSAS  
\*\*\*  
LICENSED  
PROFESSIONAL  
ENGINEER  
No. 19979  
MATTHEW K. LOOS  
08/02/2022

[illegible]

2022

TONTITOWN, AR

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DATE: Aug 02, 2022 10:02am  
XREFS: C\_PTBULK\_02202470

DWG: F:\2022\02001-02500\022-02470\40-Design\AutoCAD\Final Plans\Sheets\C\_GEN01\_02202470.dwg USER: cgsmith  
DATE: Aug 01, 2022 3:02pm XREFS: V\_XTOPO\_02202470 C\_PBASE\_02202470 C\_PBLK\_02202470

GENERAL NOTES:

1. CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (APPROVED BY CITY OF TONTITOWN, AR) AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS & SPECIFICATIONS AT THE SITE AT ALL TIMES.
2. ALL REFERENCES CONTAINED WITHIN THESE PLANS TO THE OWNER'S ENGINEER ARE HEREBY REFERENCED OLSSON, INC.
3. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL 811 OR 1-800-482-8998, AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !STOP!! CALL BEFORE YOU DIG!!
4. UTILITIES AS SHOWN WERE OBTAINED FROM INFORMATION INDICATED ON THE SURVEY OR BY FIELD OBSERVATION. CONTRACTOR SHALL FIELD VERIFY ALL HORIZONTAL AND VERTICAL LINES AND GRADES OF EXISTING UTILITIES PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF A DISCREPANCY BETWEEN THE CONTRACT DRAWINGS AND ACTUAL FIELD CONDITIONS.
5. CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
6. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
7. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
8. ANY ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS TO COMPLETE CONSTRUCTION AS SHOWN ON PLANS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE RIGHT-OF-WAY AND FOR DAMAGED IMPROVEMENTS SUCH AS CURBS, SIDEWALKS, STREET LIGHT AND TRAFFIC SIGNAL JUNCTION BOXES, TRAFFIC SIGNAL LOOP LEAD INS, SIGNAL POLES, ETC. DAMAGED IMPROVEMENTS SHALL BE REPAIRED IN CONFORMANCE WITH THE LATEST CITY STANDARDS AND TO THE CITY'S SATISFACTION.
10. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE ANY EXISTING STREET, CURB AND GUTTER, SIDEWALK, DRIVEWAYS OR STRUCTURE UNLESS SHOWN TO BE REMOVED.
11. ALL WORK WITHIN ROAD RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF TONTITOWN, AR REQUIREMENTS, UNLESS OTHERWISE NOTED.
12. ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
13. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNER DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF ARKANSAS, AT THE CONTRACTORS EXPENSE.
14. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN TO COMPLETE CONSTRUCTION SHOWN ON PLANS.
15. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR TOP OF PAVEMENT, SIDEWALKS, CURBS AND FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.
16. CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
17. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS AT A MIN. OF 1% TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE, UNLESS SPECIFIED OTHERWISE.
18. ALL BACKFILL SHALL BE TAMPED. BACKFILL WITHIN THE RIGHT-OF-WAY SHALL BE COMPACTED TO 95% MAX. DENSITY AS PER ASTM-D698 (STANDARD PROCTOR COMPACTION)
19. THE CONTRACTOR IS RESPONSIBLE FOR ATTENDING TO AND CORRECTING UNSUITABLE SOIL CONDITIONS RELATED TO PLOW ZONES, WET SOILS AND OTHER CONDITIONS. THE UNSUITABLE CONDITIONS MUST BE CORRECTED PER THE GEOTECHNICAL ENGINEER'S REPORT, WHERE REQUIRED, TO MEET PROJECT NEEDS.
20. ALL EXTERIOR CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND BE AIR ENTRAINED. FLY ASH IS NOT A SUITABLE REPLACEMENT FOR PORTLAND CEMENT.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL/MUD AND DEBRIS DURING ALL PHASES OF CONSTRUCTION.
22. CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEWORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND THE CITY OF TONTITOWN, AR.
23. CONTRACTOR SHALL RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT AN OFF-SITE FACILITY. CONTRACTOR TO CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF-SITE.
24. CONTRACTOR IS RESPONSIBLE FOR PROVIDING BERMS, SILT FENCES, OR OTHER MEANS TO PREVENT ERODED MATERIALS FROM REACHING THE PUBLIC RIGHT-OF-WAY AND ADJACENT PROPERTIES. IN THE EVENT THE PREVENTION MEASURES ARE NOT EFFECTIVE, THE CONTRACTOR SHALL REMOVE ANY DEBRIS, SILT, OR MUD AND RESTORE THE RIGHT-OF-WAY TO ORIGINAL OR BETTER CONDITION.
25. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION. EROSION CONTROL PROCEDURES SHALL BE IN PLACE PRIOR TO BEGINNING GRADING ACTIVITIES.
26. CONSTRUCTION ACCESS TO THE SITE SHALL BE LIMITED TO THE APPROVED TEMPORARY CONSTRUCTION ENTRANCE(S) AS SHOWN ON SHEET C4.0 – EROSION CONTROL PLAN – PHASE 1.
27. TEMPORARY CONSTRUCTION ENTRANCE SHALL HAVE SHOT ROCK FOR ITS SURFACE.
28. EROSION CONTROL DEVICES SHALL BE MAINTAINED DURING THE WHOLE CONSTRUCTION PERIOD BY THE CONTRACTOR.
29. CONTRACTOR SHALL PROTECT ANY STORM INLETS FROM SEDIMENT THAT TAKE STORM WATER FROM THE AREA OF CONSTRUCTION.
30. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN.

EROSION CONTROL NOTES:

1. PROVIDE EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
2. LIMITS OF EROSION AND SEDIMENT CONTROL STRUCTURES SHOWN ARE SCHEMATIC. NECESSARY EROSION AND SEDIMENT CONTROL MEASURES DEPEND HEAVILY ON CONTRACTOR SCHEDULING AS WELL AS MEANS AND METHODS. ANY ADDITIONAL TYPE OR QUANTITY OF STRUCTURES NOT SHOWN THAT ARE NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE ARE THE CONTRACTOR'S RESPONSIBILITY.
3. CONSTRUCT EROSION CONTROL IMPROVEMENTS PRIOR TO BEGINNING OF ANY OTHER WORK.
4. FREQUENTLY INSPECT AND REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL MEASURES PROMPTLY AS NEEDED.
5. DISPOSE OF SEDIMENT TRAPPED BY THESE PRACTICES IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
6. REMOVE ACCUMULATED SILT WHEN IT REACHES A DEPTH OF 6 INCHES AND DISPOSE OF IN AN APPROVED SPOIL SITE OR AS ABOVE.
7. DO NOT ALLOW SILT FENCES TO OBSTRUCT SIDEWALKS, BUILDING ENTRANCES OR DRIVEWAYS
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES THROUGHOUT THE PROJECT. ANY AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
9. EROSION CONTROL IS THE CONTRACTOR'S RESPONSIBILITY. THIS PLAN SHOULD BE USED AS A GUIDE AND REPRESENTS THE MINIMUM EROSION CONTROL DEVICES REQUIRED.
10. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
11. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL EROSION & SEDIMENT CONTROL DEVICES AFTER EACH RAINFALL EVENT.
12. THE CONTRACTOR SHALL PROVIDE ANY FURTHER EROSION CONTROL MEASURES IN ADDITION TO THOSE LISTED TO ENSURE THAT SILT WILL NOT LEAVE THE PROJECT CONFINES.
13. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION & SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED WITH A HEALTHY STAND OF PERMANENT VEGETATION.
14. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
15. THE CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
16. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY STABILIZATION AS REQUIRED.
17. THE CONTRACTOR SHALL PROVIDE A TEMPORARY CONSTRUCTION ENTRANCE FOR VEHICULAR TRAFFIC AT LOCATION SHOWN.
18. ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE ENGINEERING DIVISION, DEPARTMENT OF PUBLIC WORKS, CITY OF SPRINGDALE, ARKANSAS.
19. REFERENCE DETAILS ON SHEET C4.2 – EROSION CONTROL DETAILS FOR TYPICAL EROSION CONTROL DEVICE INSTALLATION.
20. THE CONTRACTOR WILL BE REQUIRED TO CLEAN THE STREETS OF DEPOSITED MUD AS FREQUENTLY AS NEEDED AS DETERMINED BY THE ENGINEER IN ORDER TO KEEP THEM USABLE AND TO CONTROL DUST.
21. SEE TEMPORARY VEGETATION REQUIREMENT NOTES ON THIS SHEET FOR EXPOSED SOIL WHERE NO ACTIVITY WILL OCCUR FOR MORE THAN 14 DAYS.
22. CONTRACTOR IS RESPONSIBLE FOR PHASED INSTALLATION OF EROSION CONTROL BMP'S IN ORDER TO PREVENT SEDIMENT FROM BREACHING THE LIMITS OF DISTURBANCE.

DEMOLITION NOTES:

1. PROTECT EXISTING FEATURES OUTSIDE LIMITS OF DEMOLITION.
2. PROTECT EXISTING BUILDINGS, APPURTENANCES AND DRIVE ENTRANCES AS NOTED.
3. PROTECT EXISTING WATER LINES, GAS LINES, ELECTRIC LINES, LIGHT POLES, POWER POLES, TELEPHONE LINES, SEWER LINES AND RELATED COMPONENTS AND ALL OTHER EXISTING UTILITIES DESIGNATED TO REMAIN.
4. PROTECT OR HAVE A REGISTERED SURVEYOR REESTABLISH EXISTING IRON PINS.
5. DEMOLITION OR EXCAVATION BY BLASTING WILL NOT BE PERMITTED ON THIS PROJECT.
6. DEMOLITION INCLUDES REMOVAL OF ALL EXISTING IMPROVEMENTS AND TREES WITHIN LIMITS SHOWN EXCEPT THOSE ITEMS NOTED TO BE PROTECTED.
7. CAREFULLY REMOVE EXISTING LIGHT POLES, PARKING METERS, SIGN POSTS AND PANELS INDICATED. STORE THEM OFFSITE AT LOCATION PROVIDED BY OWNER. THESE ITEMS SHALL BE DISPOSED OF BY CONTRACTOR (EXCEPT FOR REMAINING EXISTING SIGNS)
8. DEMOLISH EXISTING DRIVEWAY APRONS NOTED. SAW CUT AND REMOVE EXISTING CURB AND GUTTER 5 FEET EACH WAY FROM DRIVEWAY APRON.
9. DEMOLITION AND REMOVAL OF TREES SHALL OCCUR ONLY ON SATURDAYS OR SUNDAYS, WITH ENTIRE REMOVAL PROCESS BEING COMPLETED ON THE SAME DAY. NO DEBRIS SHALL BE LEFT ON SITE. TREE REMOVAL INCLUDES THE STUMP AND ROOT BALL.
10. FOR CLEANUP SEE SPECIFICATIONS.
11. BACKFILL REMOVED STRUCTURES WITH AGGREGATE BASE PER SPECIFICATIONS.
12. WHERE PARTIAL REMOVAL OF PAVING, CONCRETE, SIDEWALK, CURB & GUTTER, OR OTHER IMPROVEMENT IS NOTED, SAWCUT THE MATERIAL AT THE REMOVAL LINE. ROUGH OR RAGGED EDGES AT LIMITS OF REMOVAL WILL NOT BE ACCEPTABLE.

PAVEMENT MARKING NOTES:

1. DO NOT APPLY PAVEMENT MARKING PAINT UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT.
2. ALLOW CONCRETE PAVING TO AGE FOR 28 DAYS BEFORE MARKING.
3. ALL PAVEMENT SURFACES SHALL BE CLEANED/CLEARED OF ANY DEBRIS OR CURING COMPOUNDS IN ACCORDANCE WITH MANUFACTURES REQUIREMENTS PRIOR TO ANY MARKING APPLICATIONS.
4. DETAILS NOT SHOWN SHALL BE IN CONFORMITY WITH THE STATE STANDARDS FOR TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND SIMILAR REQUIREMENTS ESTABLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
5. ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE AS PER THE SITE PLANS.
6. PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS. USE SHERWIN WILLIAMS PROFESSIONAL FAST DRY ACRYLIC LATEX TRAFFIC MARKING PAINT OR EQUAL, USE WHITE, BLUE OR YELLOW, WHERE APPROPRIATE. UNLESS OTHERWISE DIRECTED, USE THE FOLLOWING:  
A. BLACKTOP OR BITUMINOUS ASPHALT PAVING: USE WHITE COLOR.  
B. PORTLAND CEMENT CONCRETE PAVING: USE WHITE COLOR.  
C. ADA ACCESSIBLE PARKING AND ENTRYWAYS: USE BLUE COLOR.  
D. PROVIDE PAINTED CURBS AT FIRE LANE DESIGNATIONS PER FIRE MARSHAL REQUIREMENTS.
7. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN. PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.
8. DETAIL PAVEMENT MARKINGS SHALL BE THAT MARKING, EXCLUSIVE OF ACTUAL TRAFFIC LANE MARKING, AT EXIT AND ENTRANCE ISLANDS AND TURNOUTS, ON CURBS, AT CROSSWALKS, AT PARKING BAYS AND AT SUCH OTHER LOCATIONS AS SHOWN. ADA ACCESSIBLE PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL ACCESSIBLE SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH TRUE, SHARP EDGES AND ENDS.

olsson

302 East Millap Road  
Fayetteville, AR 72703  
TEL 479.443.3404  
www.olsson.com

Matthew K. Loos

STATE OF ARKANSAS

LICENSED PROFESSIONAL ENGINEER

No. 19979

MATTHEW K. LOOS

08/02/2022

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

2022

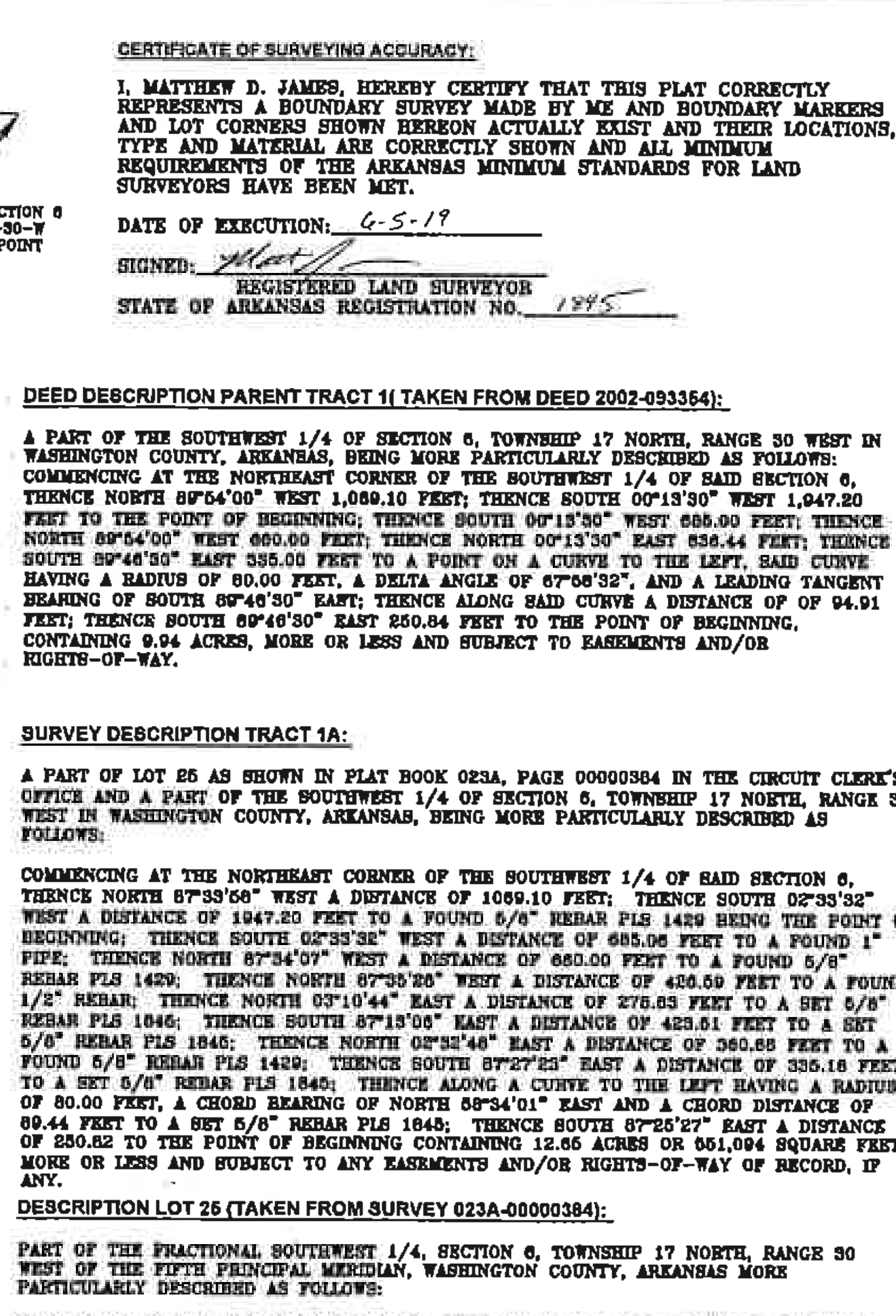
GENERAL NOTES

LAURA LANE WAREHOUSE ADDITION  
LARGE SCALE DEVELOPMENT PLANS

TONTITOWN, AR

drawn by: CGS  
checked by: MKL  
approved by: MKL  
QA/QC by: MKL  
project no.: 022-02470  
drawing no.: ABC.DWG  
date: 08.02.22

SHEET  
C0.1



CERTIFICATE OF APPROVAL

PURSUANT TO THE CITY OF TONTITOWN SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVALS HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF SAID RULES AND REGULATIONS.

THIS APPROVAL DOES NOT GUARANTEE ANY OF THE FOLLOWING:

1. DELIVERY OF PUBLIC WATER OR SEWER SERVICE.
2. DELIVERY OF ANY OTHER UTILITY SERVICE.
3. IMPROVEMENTS TO ANY AFFECTED CITY STREETS OR COUNTY ROADS.
4. APPROVAL FROM THE ARKANSAS DEPARTMENT OF HEALTH.
5. ACCESS TO THE PROPERTY VIA EASEMENTS OR OTHERWISE EITHER KNOWN OR UNKNOWN.

DATE OF EXECUTION: MAY 06 2019

SIGNED: [Signature]  
CHAIRMAN, TONTITOWN PLANNING COMMISSION

SIGNED: [Signature]  
MAYOR, CITY OF TONTITOWN

SIGNED: Rhonda Williams  
RECORDER/TREASURER, CITY OF TONTITOWN

CERTIFICATE OF OWNERSHIP:

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, AND EASEMENTS AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: 10/5/19

SIGNED: C. Elder

NAME AND ADDRESS: Chris Elder 4902 S. Thompson  
Springdale, TN 72761

SIGNED: John K. Liboniere  
NAME AND ADDRESS: John K. Liboniere 507 Fairview Ave.  
Springdale, AR 72761

SIGNED: Melissa S. Lipschitz  
NAME AND ADDRESS: Melissa S. Lipschitz Same

State Filing Code:  
500-17N-30W-0-04-330-72-1840

Nearby Streets: E. FLAUSHER AVE., E. MAIN ST., E. BROADWAY AVE., E. 1ST ST., E. 2ND ST., E. 3RD ST., E. 4TH ST., E. 5TH ST., E. 6TH ST., E. 7TH ST., E. 8TH ST., E. 9TH ST., E. 10TH ST., E. 11TH ST., E. 12TH ST., E. 13TH ST., E. 14TH ST., E. 15TH ST., E. 16TH ST., E. 17TH ST., E. 18TH ST., E. 19TH ST., E. 20TH ST., E. 21ST ST., E. 22ND ST., E. 23RD ST., E. 24TH ST., E. 25TH ST., E. 26TH ST., E. 27TH ST., E. 28TH ST., E. 29TH ST., E. 30TH ST., E. 31ST ST., E. 32ND ST., E. 33RD ST., E. 34TH ST., E. 35TH ST., E. 36TH ST., E. 37TH ST., E. 38TH ST., E. 39TH ST., E. 40TH ST., E. 41ST ST., E. 42ND ST., E. 43RD ST., E. 44TH ST., E. 45TH ST., E. 46TH ST., E. 47TH ST., E. 48TH ST., E. 49TH ST., E. 50TH ST., E. 51ST ST., E. 52ND ST., E. 53RD ST., E. 54TH ST., E. 55TH ST., E. 56TH ST., E. 57TH ST., E. 58TH ST., E. 59TH ST., E. 60TH ST., E. 61ST ST., E. 62ND ST., E. 63RD ST., E. 64TH ST., E. 65TH ST., E. 66TH ST., E. 67TH ST., E. 68TH ST., E. 69TH ST., E. 70TH ST., E. 71ST ST., E. 72ND ST., E. 73RD ST., E. 74TH ST., E. 75TH ST., E. 76TH ST., E. 77TH ST., E. 78TH ST., E. 79TH ST., E. 80TH ST., E. 81ST ST., E. 82ND ST., E. 83RD ST., E. 84TH ST., E. 85TH ST., E. 86TH ST., E. 87TH ST., E. 88TH ST., E. 89TH ST., E. 90TH ST., E. 91ST ST., E. 92ND ST., E. 93RD ST., E. 94TH ST., E. 95TH ST., E. 96TH ST., E. 97TH ST., E. 98TH ST., E. 99TH ST., E. 100TH ST.

Project Location

Vicinity Map  
N.T.S.

Notes:

1. Except as specifically stated or shown on this plat, the survey does not purport to reflect any of the following which may be applicable to the subject real estate:  
  
Easements, other than possible easements which were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations, or any other facts which an accurate and current title search may disclose.
2. Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied to the surveyor.
3. This plat represents a boundary survey of the parcel recorded in Deed Records, Book 0121, Page 00000804 and Book 0002, Page 03254 at the courthouse in Washington County, Arkansas.
4. This survey is valid only if the drawing includes the seal and signature of the surveyor.
5. This survey meets current "Arkansas Minimum Standards for Property Boundary Surveys and Plats."
6. No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record which would affect this parcel.
7. Declaration is made to the original purchaser of the survey and is not transferable to any additional institutions or subsequent owners.
8. Building setbacks for zones I-1 are as follows:  

Front	100 Feet
Side(Rear)	25 Feet
Future Road	50 Feet
Rear	25 Feet
9. Subsurface and environmental conditions were not examined nor considered a part of this survey.
10. Not all physical features are not shown on survey.
11. (BY GRAPHICAL PLOTTING ONLY)  
This property is not located within any presently established 100-year flood plain as determined by the National Flood Insurance Program, flood insurance rate map for Washington County, Arkansas. Map Number 0614SC00687. Revised date 06/16/2008.
12. Vertical Datum NAVD 83.
13. Wetlands area: N/A
14. Existing or abandoned water wells, pumps, cesspools, springs, water impediments, and underground structures: None observed at the time of survey
15. No geologic control problems were observed at the time of the survey.

NORTH, RANGE 30 WEST; THENCE NORTH 87°34'07" WEST 1069.10 FEET; THENCE SOUTH 02°33'23" WEST 2632.20 FEET TO A FOUND 1" PIPE; THENCE NORTH 87°34'07" WEST 800.01 FEET TO A FOUND 1 1/2" REBAR WITH CAP (PLS 1428) ALSO BEING THE POINT OF BEGINNING THENCE NORTH 87°34'07" WEST 428.27 FEET TO A FOUND 1 1/2" REBAR; THENCE NORTH 03°08'53" EAST 687.40 FEET TO A FOUND 1 1/2" REBAR WITH CAP (PLS 1429); THENCE SOUTH 07°26'37" EAST 225.90 FEET TO A 1 1/2" REBAR WITH CAP (PLS 1429); THENCE IN A SOUTHEASTERLY DIRECTION WITH A NON TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 50.00 FEET, HAVING A CHORD BEARING OF SOUTH 50°36'36" EAST AND A CHORD DISTANCE OF 99.31 FEET AND AN ARC LENGTH OF 145.35 FEET TO A SET 5/8" REBAR WITH CAP (PLS 1855); THENCE IN A EASTERLY DIRECTION WITH A NON TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 30.00 FEET, HAVING A CHORD BEARING OF NORTH 59°05'37" EAST AND A CHORD DISTANCE OF 23.70 FEET AND AN ARC LENGTH OF 24.40 FEET TO A SET 5/8" REBAR WITH CAP (PLS1858); THENCE SOUTH 87°25'37" EAST 91.91 FEET TO A FOUND 1 1/2" REBAR WITH CAP (PLS 1429); THENCE SOUTH 02°33'22" WEST 636.44 FEET TO THE POINT OF BEGINNING, CONTAINING 276,805 SQUARE FEET OR 6.40 ACRES MORE OR LESS AND SUBJECT TO ANY EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD, IF ANY.

**SURVEY DESCRIPTION LOT 26A:**

A PART OF LOT 25 AS SHOWN IN PLAT BOOK 023A, PAGE 00000384 IN THE CIRCUIT CLERK'S OFFICE, WASHINGTON COUNTY, ARKANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

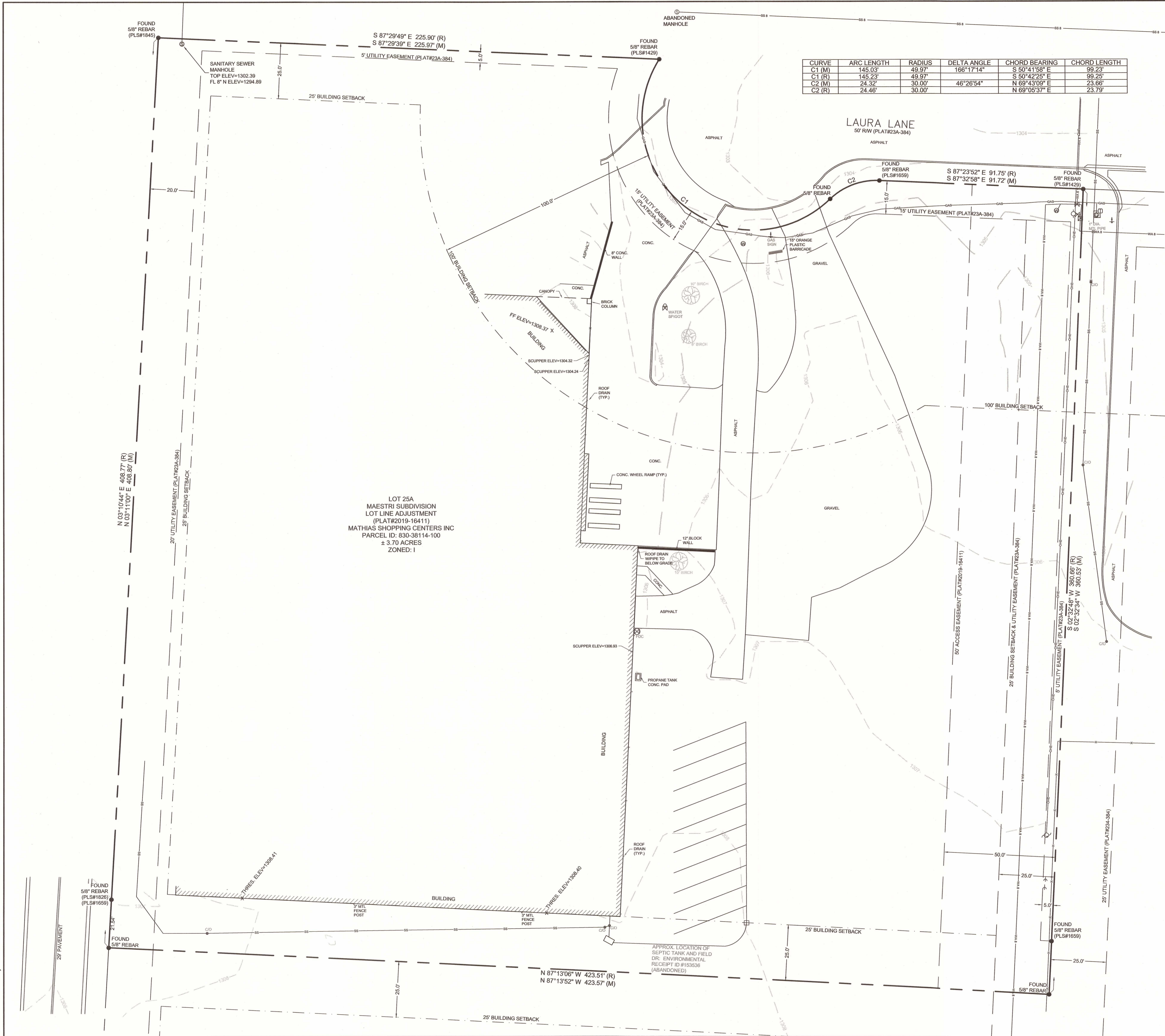
BEGINNING AT THE NORTHEAST CORNER OF LOT 25 BEING A 6/8" REBAR PLS 1429; THENCE SOUTH 02°32'48" WEST A DISTANCE OF 380.56 FEET TO A SET 5/8" REBAR; THENCE NORTH 87°13'06" WEST A DISTANCE OF 493.51 FEET TO A SET 5/8" REBAR PLS 1840; THENCE NORTH 03°10'44" EAST A DISTANCE OF 406.77 FEET TO A SET 5/8" REBAR; THENCE SOUTH 87°29'49" EAST A DISTANCE OF 225.90 FEET TO A FOUND 5/8" REBAR PLS 1429; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 49.97 FEET A CHORD BEARING OF SOUTH 60°42'26" EAST AND A CHORD DISTANCE OF 99.25 FEET TO A SET 5/8" REBAR PLS 1845; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET A CHORD BEARING OF NORTH 59°05'37" EAST AND A CHORD DISTANCE OF 23.70 FEET TO A SET 5/8" REBAR PLS 1845; THENCE SOUTH 87°23'52" EAST A DISTANCE OF 91.76 FEET TO THE POINT OF BEGINNING CONTAINING 3.70 ACRES OR 161,171 SQUARE FEET MORE OR LESS AND SUBJECT TO ANY EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD, IF ANY.

**LIPSPACESS, LLC/ELDER-CONWAY LLC  
LOT LINE ADJUSTMENT**

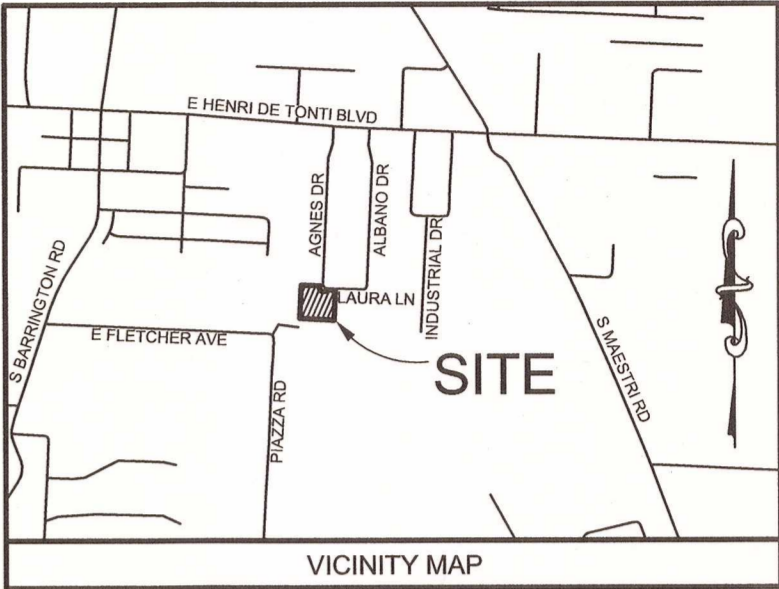
James Layout Services, LLC  
P.O. Box 611  
Farmington, Arkansas 72730  
Telephone: (479) 439-9929  
survey@jlsnwa.com

**JLS**

**REGISTERED**  
STATE OF  
ARKANSAS  
NO. 1845  
*Matthew D. James*  
MATTHEW D. JAMES  
**PROFESSIONAL LAND SURVEYOR**



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1 (M)	145.03'	49.97'	166°17'14"	S 50°41'58" E	99.23'
C1 (R)	145.23'	49.97'	S 50°42'25" E	S 50°42'25" E	99.25'
C2 (M)	24.32'	30.00'	46°26'54"	N 69°43'09" E	23.56'
C2 (R)	24.46'	30.00'	N 69°05'37" E	N 69°05'37" E	23.79'



LEGEND	
●	FOUND MONUMENT
○	FIRE HYDRANT
⊗	WATER VALVE
⊗	WATER METER
⊗	GAS METER
⊗	POWER POLE
⊗	GUY WIRE
⊗	TELEPHONE PEDESTAL
⊗	SIGN
—WA—	WATER LINE
—SS—	SANITARY SEWER
—OHE—	OVERHEAD ELECTRIC
—GAS—	GAS LINE

Property Description:

Lot 25A of the Lot Line Adjustment Plat of Maestri Subdivision as recorded at Plat#2019-16411, Washington County, Arkansas.

NOTES:

Based on scaled map location and graphic plotting only, the subject property is in Flood Zone X, which is an area determined to be outside the 0.2% Annual Chance Floodplain, according to Flood Insurance Rate Map, Washington County, Arkansas, Map Number 05143C0065f, map revised May 16, 2008.

Bearings are based on Arkansas State Plane Coordinates - North Zone, NAD83 (NSRS2011), per GPS observation.

Contour interval = 1'. Elevation basis is NAVD88, per GPS observation.

Rights of way and Easements are shown hereon as per documents provided to the surveyor. Additional Rights of way and Easements recorded or not a part of the public record, may or may not exist that affect the subject property.

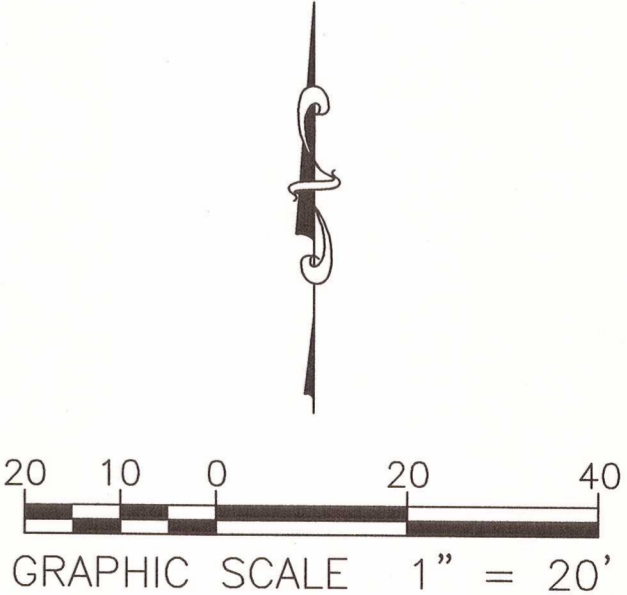
The locations of utilities as shown hereon are based on aboveground structures, markings by Arkansas one-call (Ticket#220509-0794) and record documents. Locations of underground utilities may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities/structures.

Certification

I, Allen J. Young, certify that a Boundary/Topographic Survey was performed on the Property shown hereon by a D.C.I. Field Crew under my supervision and this drawing is an accurate representation of the Survey results. All property corners not found are set in accordance with existing found monuments in the area.

Allen J. Young  
Arkansas Registered Professional  
Land Surveyor No. 1441

5-23-22  
Date



INCORPORATED

CONSULTANTS

DEVELOPMENT

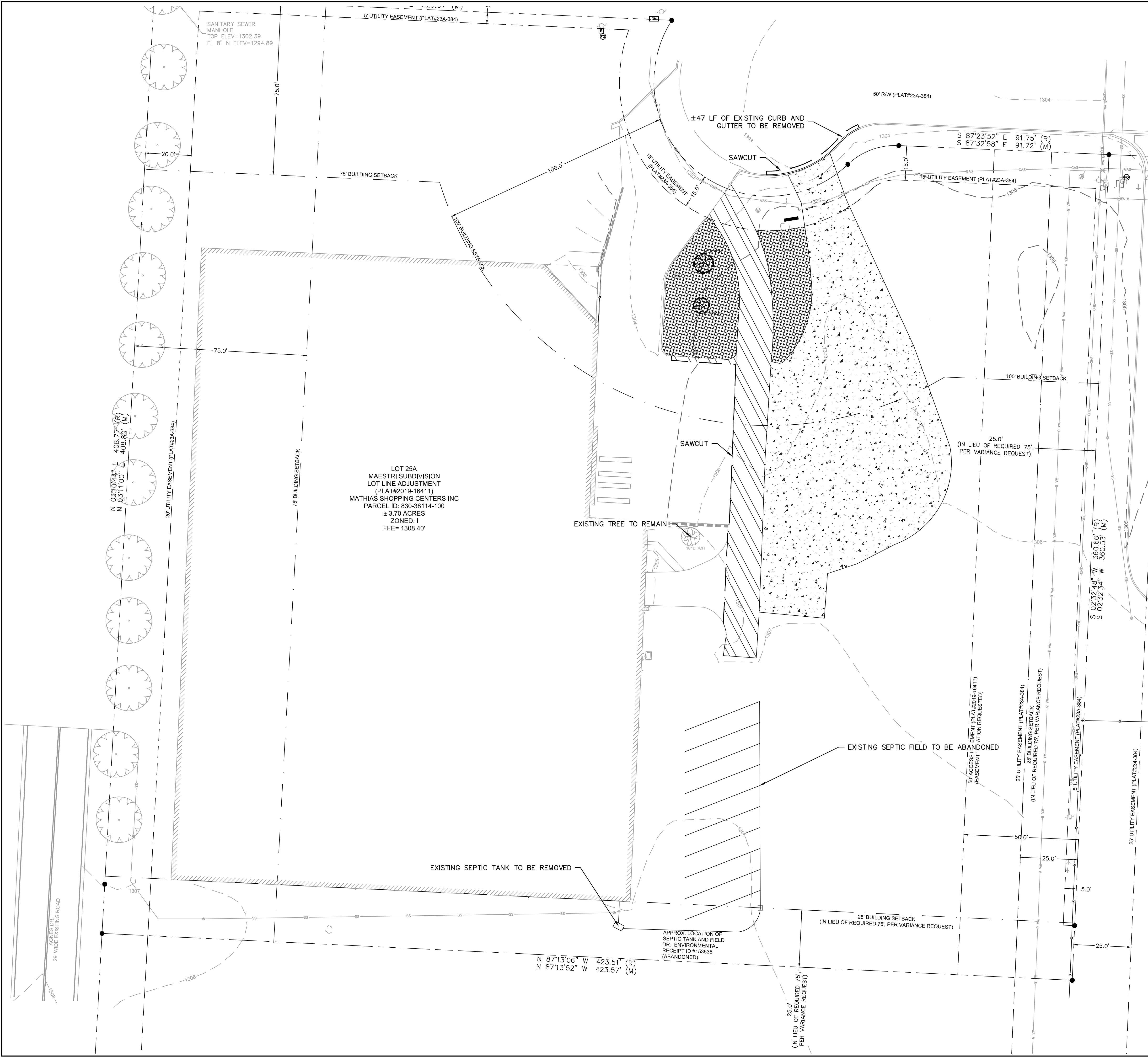
LAURA LANE, TONTITOWN TOPO - MATHAIS

BOUNDARY/TOPOGRAPHIC SURVEY

PROJECT TITLE: 22-159  
SHEET NO.: C0.3

COPYRIGHT: 2022  
SCALE: 1" = 20'  
DATE: 05-23-2022

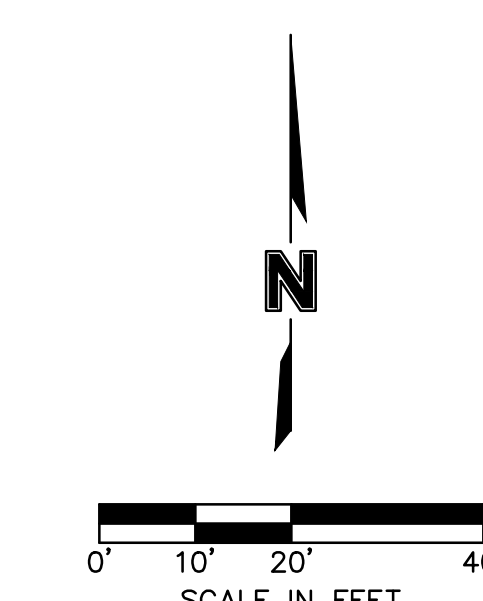
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DATE: Aug 01, 2022 3:02pm XREFS: V\_XTOPO\_02202470 C\_PBLK\_02202470 C\_PBASE\_02202470



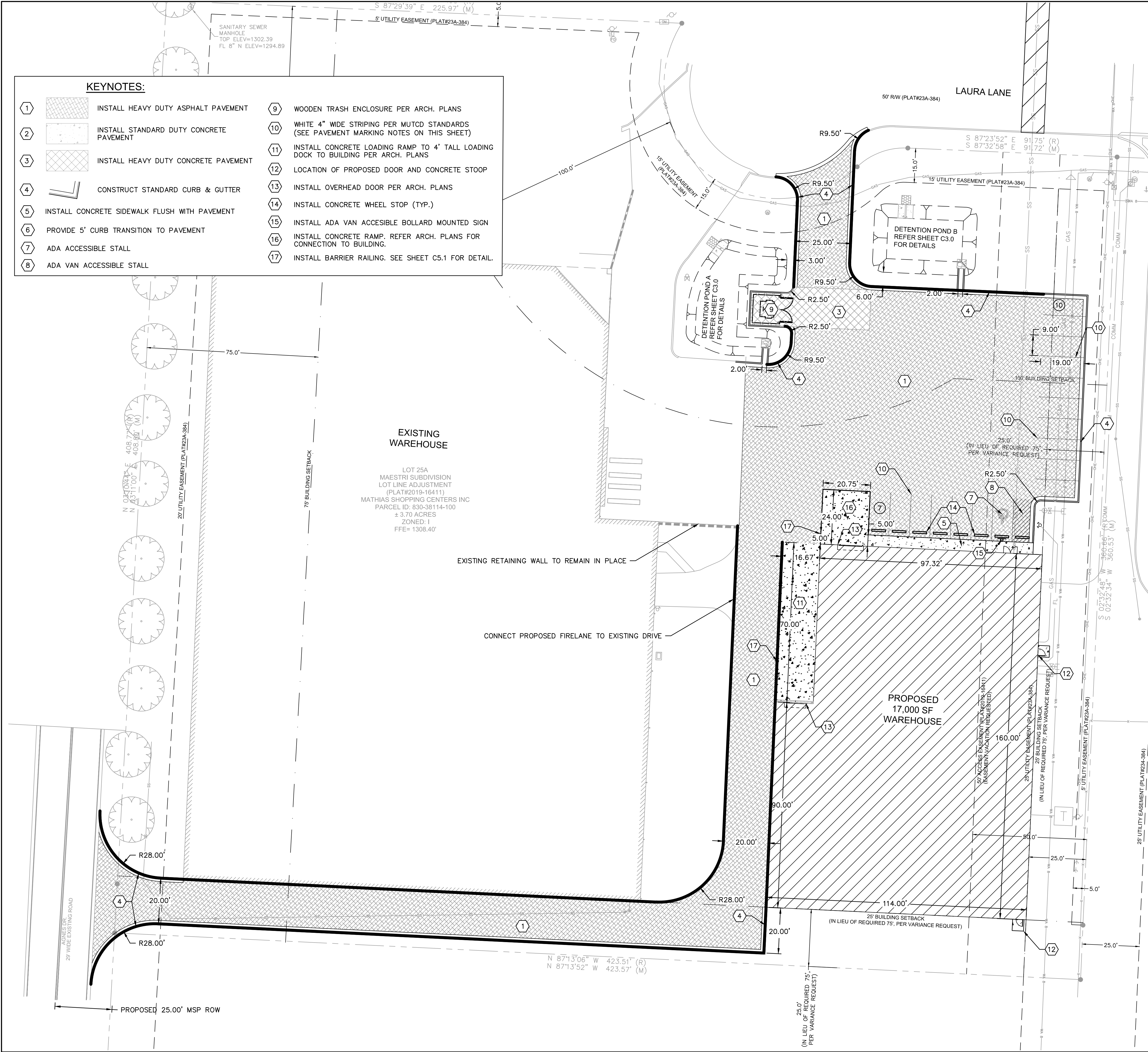
- DEMOLITION NOTES:**
1. ALL REMOVED MATERIAL SHALL BE DISPOSED OF OFF-SITE AT CONTRACTOR'S EXPENSE TO AN APPROVED DUMP SITE UNLESS OTHERWISE NOTED.
  2. SAWCUT OF EXISTING PAVEMENT SHALL BE TO NEAREST JOINT LINE.
  3. CRUSHED STONE FILL CAN BE STOCKPILED AND REUSED, IF IT HAS PROPER GRADATION CHARACTERISTICS AS DETERMINED BY GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
  4. UPON REMOVAL OF SURFACE MATERIALS, THE EXPOSED SUBGRADE SHOULD BE CAREFULLY OBSERVED BY A GEOTECHNICAL ENGINEER.
  5. ANY SOFT OR UNSTABLE AREAS WHICH ARE DETECTED AT THE EXPOSED GRADE OR DURING THE EXCAVATION FOR THE FOOTINGS SHOULD BE UNDERCUT AND REPLACED WITH LOAD BEARING FILL. REFER TO GEOTECHNICAL REPORT.
  6. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ROUTING AD PLANS FOR THE CONSTRUCTION INCLUDED IN THESE PLANS. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR THE STREET CLOSURES AND COORDINATE THESE CLOSURES WITH THE CITY AS REQUIRED.

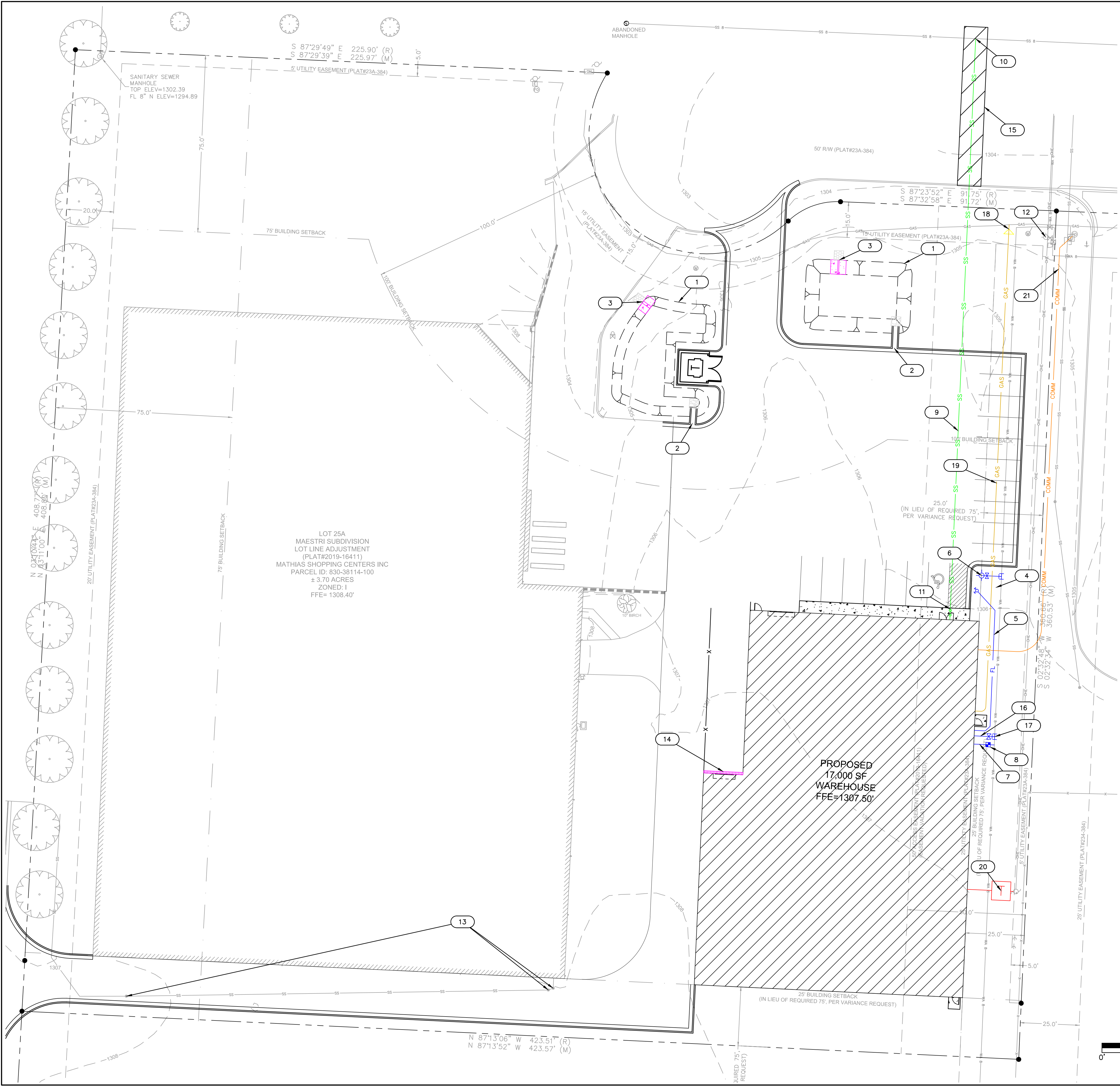
**LEGEND**

	EXISTING GRAVEL DRIVE TO BE REMOVED
	EXISTING ASPHALT PAVEMENT & CONCRETE PAVEMENT TO BE REMOVED
	EXISTING LANDSCAPE AREA, MULCH BED, OR SOD TO BE REMOVED
	EXISTING CONCRETE SIDEWALK TO BE REMOVED
	EXISTING TREE TO BE REMOVED
	SAW CUT EXISTING CONCRETE, CURB AND GUTTER, ASPHALT, OR SIDEWALK.
	RIGHT-OF-WAY LINE
	PROPERTY LINE
	BUILDING SETBACK
	UTILITY EASEMENT
	EXIST. STORM LINE
	EXIST. WATER LINE
	EXIST. GAS LINE
	EXIST. CONTOUR BENCHMARK
	EXIST. LIGHT POLE
	EXIST. TRANSFORMER
	EXIST. WATER METER
	EXIST. GRATE INLET
	EXIST. POWER POLE W/ LIGHT
	EXIST. STEEL POST
	EXIST. WATER VALVE



		302 East Millap Road Fayetteville, AR 72703 TEL 479.443.3404 www.olsson.com	
		08/02/2022	
BY		REVISIONS DESCRIPTION	
DATE			
REV. NO.			
DEMOLITION PLAN		2022	
LAURA LANE WAREHOUSE ADDITION LARGE SCALE DEVELOPMENT PLANS		TONTITOWN, AR	
drawn by: CGS		checked by: MKL	
approved by: MKL		QA/QC by: MKL	
project no.: 022-02470		drawing no.: ABC.DWG	
date: 08.02.22			
SHEET C1.0			

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**DOMESTIC WATER & FIRE PROTECTION LINE GENERAL NOTES:**

1. CONTRACTOR TO VERIFY WITH ARCHITECTURAL/MEP PLANS FOR SIZE AND LOCATION OF UTILITY SERVICE TO BUILDING BEFORE CONSTRUCTION.
2. WHERE THE WATER SERVICE IS TO BE CONSTRUCTED BELOW OR WITHIN 18 INCHES OF ANY SEWER PIPE, THE CONTRACTOR SHALL LAY A FULL LENGTH OF WATER SERVICE PIPE CENTERED ON THE SEWER OR SUCH LENGTH AS WILL PROVIDE THE MAXIMUM POSSIBLE SEPARATION OF THE JOINTS IN THE WATER SERVICE FROM THE SEWER LINE. IF NOT ALREADY SO, THE CONTRACTOR SHALL CONSTRUCT SANITARY SEWER WITH ONE 20 FOOT NOMINAL LENGTH OF PRESSURE PIPE MATERIAL CENTERED ON THE WATER SERVICE, SUCH THAT THE MAXIMUM POSSIBLE SEPARATION BETWEEN THE WATER SERVICE AND THE SEWER PIPE JOINTS WILL RESULT. THE BACKFILL MATERIAL SHALL BE SELECT, LOW PERMEABILITY SOIL.
3. REMOVE SPOIL MATERIAL FROM SITE.
4. THE CONTRACTOR SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS FOR MAXIMUM PIPE JOINT DEFLECTIONS.
5. PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DO A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
6. PRIOR TO FINAL ACCEPTANCE ALL WATER SERVICE PIPE SHALL BE PRESSURE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF TONTITOWN REQUIREMENTS.
7. PRIOR TO FINAL ACCEPTANCE ALL WATER SERVICE PIPE SHALL BE DISINFECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF TONTITOWN REQUIREMENTS.
8. LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER OR CITY INSPECTOR ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
9. ALL WATER SERVICE CONSTRUCTION SHALL BE DONE UNDER A PLUMBERS PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
10. MAINTAIN 42" MINIMUM COVER OVER TOP OF WATER SERVICE PIPE.
11. WATER SERVICE PIPE MATERIALS SHALL BE SDR 13.5 PVC FOR IRRIGATION WATER LINE & DOMESTIC SERVICE UNDER 4" AND AWWA C900 PVC FOR FIRE PROTECTION, DOMESTIC & SERVICE MAINS OVER 4".
12. INSTALLATION OF FIRE SERVICE SHALL BE IN ACCORDANCE WITH CURRENT NFPA 24 GUIDELINES.
13. CONTRACTOR SHALL BE RESPONSIBLE TO DEFLECT PIPE OR ADD FITTINGS AS NECESSARY TO MAINTAIN A MINIMUM 18" OF CLEARANCE BETWEEN FIRE/WATER LINES AND ALL OTHER UNDERGROUND UTILITIES.

**SANITARY SEWER GENERAL NOTE:**

SANITARY SERVICE LATERAL SHALL BE SCH40 PVC.  
MINIMUM SLOPE FOR SANITARY SEWER LATERALS:  
4" SEWER LATERAL SLOPE = 2.08% MIN.  
6" SEWER LATERAL SLOPE = 1.04% MIN.

**LEGEND**

---	RIGHT-OF-WAY LINE
---	PROPERTY LINE
---	BUILDING SETBACK
---	UTILITY EASEMENT
---	EXIST. WATER PIPE
---	PROP. WATER LINE
---	PROP. FIRE LINE
---	PROP. SANITARY SEWER LINE
---	PROP. UNDERGROUND ELECTRIC LINE
---	PROP. GAS LINE
---	PROP. COMMUNICATION LINE
---	PROP. TRENCH DRAIN. REFER MEP PLANS

**KEYNOTES:**

1. PROPOSED DETENTION BASIN. SEE SHEET C3.0 FOR DETAILS.
2. INSTALL 2' WIDE CONCRETE FLUME
3. INSTALL 1' WIDE RECTANGULAR WEIR OUTFALL STRUCTURE. SEE SHEET C5.2 FOR DETAIL.
4. INSTALL REMOTE FDC
5. INSTALL 67 LF 2" PVC DOMESTIC FIRE LINE
6. INSTALL FIRE HYDRANT, VALVE, AND 6" TAPPING SLEEVE
7. INSTALL 9 LF 2" PVC DOMESTIC WATER LINE
8. INSTALL 2" WATER METER
9. INSTALL 246 LF 4" PVC SANITARY SERVICE LINE
10. INSTALL SANITARY WYE, CONNECT TO EXISTING SANITARY SEWER MAIN. FL = 1295.45'
11. INSTALL DOUBLE SANITARY SEWER CLEANOUT AT BUILDING. REFER MEP FOR CONTINUATION. FL = 1300.61'
12. EXISTING FIRE HYDRANT: STATIC PRESSURE= 98 PSI FLOW= 1,313 GPM
13. ADJUST CLEANOUT LIDS AND ADD TRAFFIC RATED LIDS
14. INSTALL STORM TRENCH DRAIN WITH SUMP PUMP TO DAYLIGHT. REFER MEP FOR DETAIL.
15. OPEN-CUT ROADWAY FOR SANITARY SEWER INSTALLATION. SEE SHEET C5.1 FOR DETAIL
16. INSTALL 9 LF 6" DIP DOMESTIC FIRE LINE
17. INSTALL 6" TAPPING SLEEVE AND VALVE
18. INSTALL GAS METER AND CONNECT TO EXISTING GAS LINE
19. INSTALL 211 LF GAS SERVICE LINE
20. INSTALL TRANSFORMER, PRIMARY, AND SECONDARY ELECTRIC SERVICES
21. COORD. COMMUNICATION SERVICE CONNECTION POINT WITHIN UTILITY EASEMENT PER SERVICE EXTENSION PERFORMED BY AT&T

**TOTAL GREEN SPACE:**

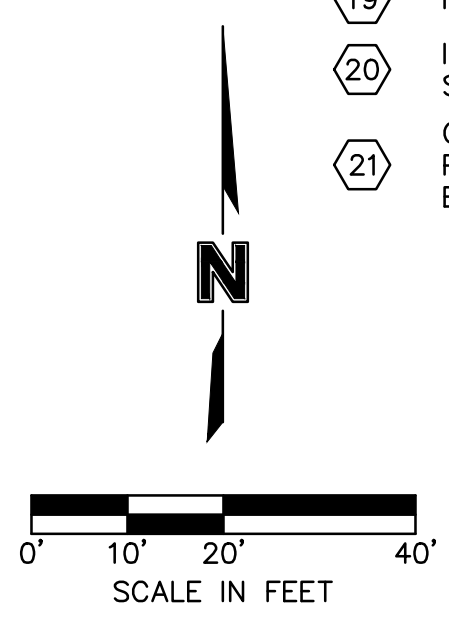
SITE AREA = 3.70 AC. (161,222 S.F.)  
TOTAL GREEN SPACE/ PERVIOUS AREA PROVIDED = 40,470 S.F. (25.10%)

**IMPERVIOUS AREA:**

PROVIDED IMPERVIOUS AREA = 120,752 S.F. (74.90%)

**BENCHMARK:**

BENCHMARK #1  
TOP OF SANITARY  
MANHOLE AT NW CORNER  
OF SITE  
RIM ELEV. = 1302.39



302 East Millisap Road  
Fayetteville, AR 72703  
TEL 479.443.3404  
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08/02/2022

BY

REV. NO.

DATE

REVISIONS DESCRIPTION

UTILITY PLAN

LAURA LANE WAREHOUSE ADDITION  
LARGE SCALE DEVELOPMENT PLANS

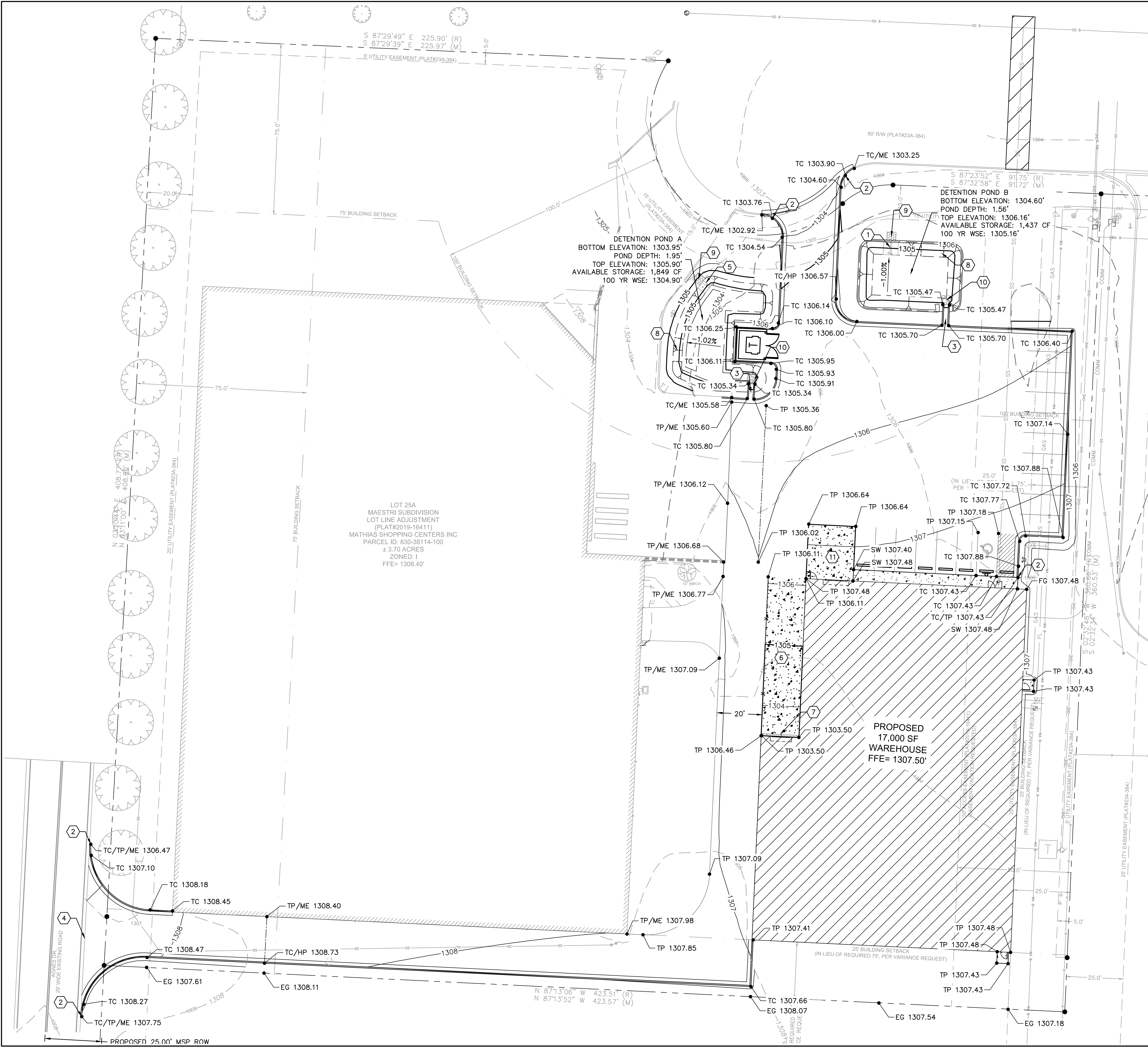
TONTITOWN, AR

2022

drawn by: CGS  
checked by: MKL  
approved by: MKL  
QA/QC by: MKL  
project no.: 022-02470  
drawing no.: ABC.DWG  
date: 08.02.22

SHEET  
C2.0

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DATE: Aug 01, 2022 3:03pm XREFS: V\_XTOPO\_02202470 C\_PBASE\_02202470 C\_PBLK\_02202470



#### GRADING NOTES:

1. ALL ELEVATIONS ARE TO NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
2. STRIPPINGS ARE TO BE STOCKPILED ON-SITE AS DIRECTED BY THE ENGINEER. FOLLOWING THE COMPLETION OF THE GRADING, THIS TOPSOIL SHALL BE USED AS FILL MATERIAL ON ALL LANDSCAPED AREAS. IF STOCKPILE IS INACTIVE FOR MORE THAN 14 DAYS, STABILIZE OR PROTECT THE PERIMETER AS SHOWN ON SHEET C4.1.
3. ALL HERBACEOUS VEGETATION SHALL BE REMOVED FROM WITHIN THE LIMITS OF THE GRADING AND REDISTRIBUTED WITH THE TOPSOIL AS OUTLINED IN NOTE #2.
4. CONTRACTOR SHALL USE CAUTION AROUND ANY EXISTING UTILITIES LOCATED ONSITE. THEY SHALL BE RESPONSIBLE FOR THE REPAIRS OF SUCH STRUCTURES WHEN BROKEN OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
5. THE PROPOSED CONTOURS REPRESENT TOP OF SLAB IN PAVEMENT AREAS AND FINISHED GRADE IN ALL OTHER AREAS. QUANTITIES DO NOT TAKE INTO ACCOUNT CORE-OUT OR ANY OVER-EXCAVATION.
6. CONTRACTOR SHALL ADDRESS ANY GRADING RECOMMENDATIONS IDENTIFIED IN THE GEOTECHNICAL INVESTIGATION. PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DO A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
7. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES, PIPES AND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS AND TO THE BEST OF OUR KNOWLEDGE CONSTITUTES ALL KNOWN FACILITIES. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT AN UNDERGROUND LOCATE SERVICE IN ADVANCE OF ANY EXCAVATION FOR THE MARK-OUT OF THE LOCATION OF UTILITIES AND NOTIFICATION OF COMMENCEMENT OF WORK.
8. BEFORE EXCAVATING FOR THIS CONTRACT, THE CONTRACTOR SHALL FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SEDIMENT CONTROL BARRIERS FOR A PERIOD OF 1 YEAR OR UNTIL THEY ARE RELEASED FROM THIS RESPONSIBILITY BY THE ENGINEER, WHICHEVER PERIOD IS SHORTER.
10. ALL ITEMS REMOVED SHALL BE DISPOSED OFF SITE BY THE CONTRACTOR AS PER CITY OF TONTITOWN REQUIREMENTS.
11. IN ALL LOCATIONS WHERE NEW PAVEMENT ABUTS EXISTING, SAW CUT EXISTING PAVEMENT AS NECESSARY TO PROVIDE A SMOOTH TRANSITION AT THE JOINT. MATCH EXISTING GRADES AT THE JOINT IN ALL LOCATIONS.
12. CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
13. IN ALL LOCATIONS WHERE NEW PAVEMENT ABUTS EXISTING, SAW CUT EXISTING PAVEMENT AS NECESSARY TO PROVIDE A SMOOTH TRANSITION AT THE JOINT. MATCH EXISTING GRADES AT THE JOINT IN ALL LOCATIONS.

#### LEGEND

---	EXIST. UTILITY EASEMENT
---	PROPERTY LINE
---	EXIST. CONTOUR
---	FINISH GRADE CONTOUR
---	ROW
---	RIGHT-OF-WAY LINE
---	BUILDING SETBACK
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	TP=1300.00 TOP OF PAVEMENT
---	TC=1300.00 TOP OF CURB
---	TW=1300.00 TOP OF WALL
---	HP=1300.00 HIGH POINT
---	LP=1300.00 LOW POINT
---	FG=1300.00 FINISH GRADE
---	EG=1300.00 EXISTING GRADE
---	ME=1300.00 MATCH EXISTING

#### KEYNOTES:

1. INSTALL 0.5' WIDE RECTANGULAR WEIR OUTFALL STRUCTURE. SEE SHEET C5.2 FOR DETAIL.
2. INSTALL 5' CURB TRANSITION TO PAVEMENT
3. INSTALL 2' WIDE CONCRETE FLUME TO POND. SEE SHEET C5.0 FOR DETAIL.
4. CONNECT TO EXISTING ROAD
5. INSTALL 1' WIDE RECTANGULAR WEIR OUTFALL STRUCTURE. SEE SHEET C5.2 FOR DETAIL.
6. INSTALL CONCRETE LOADING RAMP WITH 4' TALL LOADING DOCK TO BUILDING PER ARCH. PLANS
7. INSTALL 1' TRENCH GRATE WITH SUMP PUMP TO DAYLIGHT. REFER MEP FOR DETAIL.
8. LOCATION OF EMERGENCY OUTFALL STRUCTURE. SEE SHEET C5.2 FOR DETAIL.
9. INSTALL 4' X 4' SCOURSTOP MAT. SEE SHEET C5.2 FOR DETAIL.
10. INSTALL 4' X 4' GRAVEL FOREBAY
11. INSTALL CONCRETE RAMP. REFER ARCH. PLANS FOR CONNECTION TO BUILDING.

#### BENCHMARK:

BENCHMARK #1  
TOP OF SANITARY  
MANHOLE AT NW CORNER  
OF SITE  
RIM ELEV. = 1302.39

#### TOTAL GREEN SPACE:

SITE AREA = 3.70 AC. (161,222 S.F.)  
TOTAL GREEN SPACE/ PERVIOUS AREA  
PROVIDED = 40,470 S.F. (25.10%)

#### IMPERVIOUS AREA:

PROVIDED IMPERVIOUS AREA  
= 120,752 S.F. (74.90%)

#### GRADING & DRAINAGE PLAN

#### LAURA LANE WAREHOUSE ADDITION LARGE SCALE DEVELOPMENT PLANS

TONTITOWN, AR

drawn by: CGS  
checked by: MKL  
approved by: MKL  
QA/QC by: MKL  
project no.: 022-02470  
drawing no.: ABC.DWG  
date: 08.02.22

SHEET  
C3.0

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2022

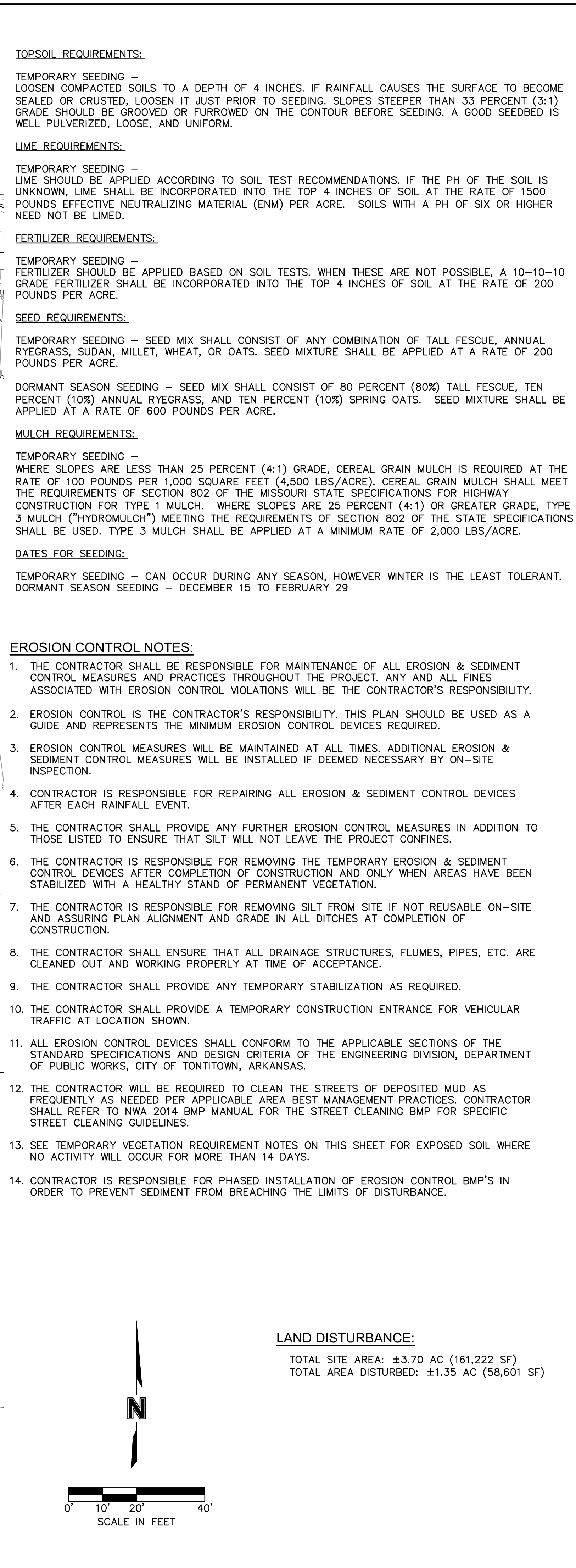


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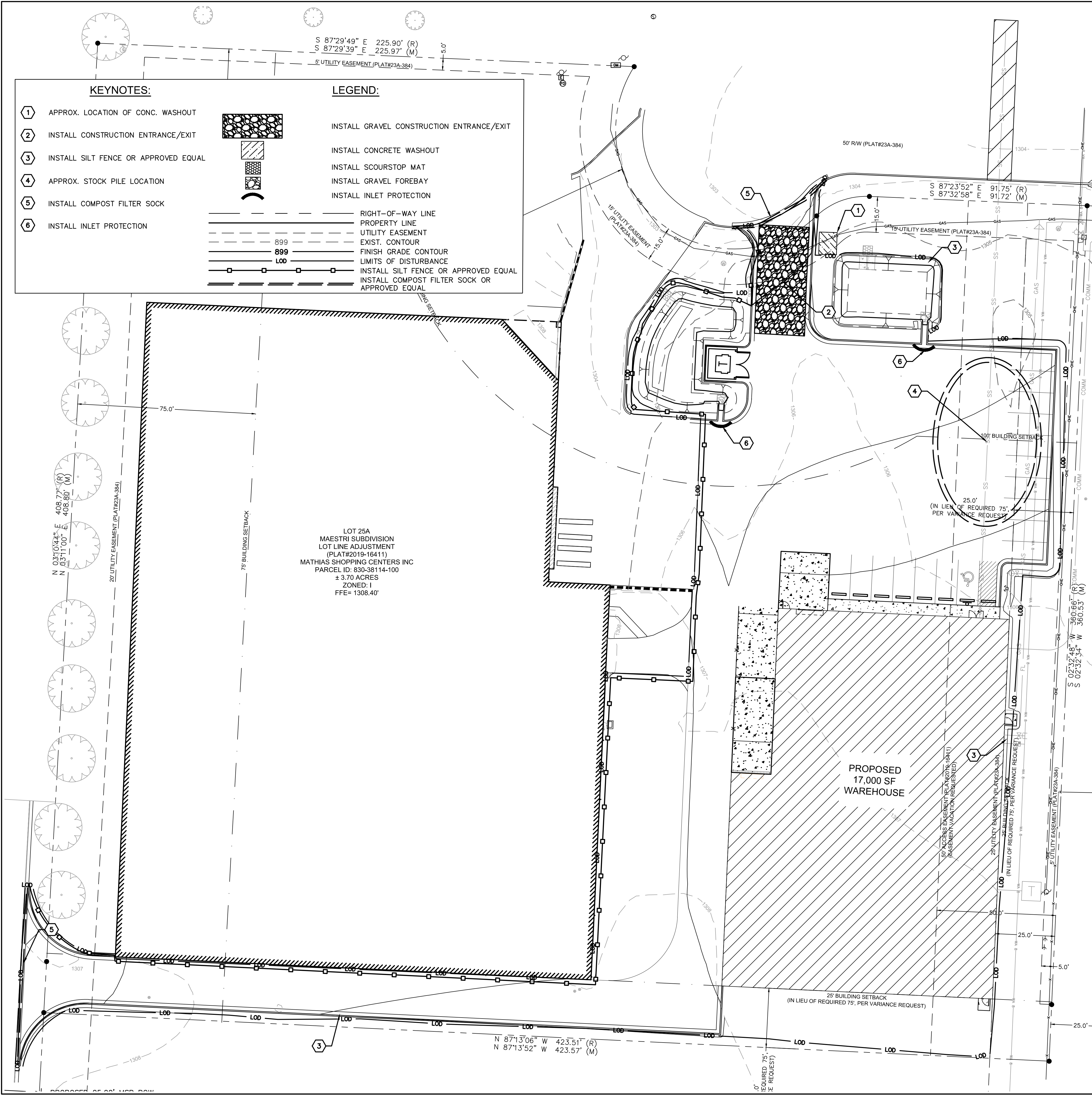
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DATE: Aug 01, 2022 3:03pm XREFS: V\_XTOPO\_02202470 C\_PTBULK\_02202470 USER: cgsmith



**KEYNOTES:**

- 1 APPROX. LOCATION OF CONC. WASHOUT
- 2 INSTALL CONSTRUCTION ENTRANCE/EXIT
- 3 INSTALL SILT FENCE OR APPROVED EQUAL
- 4 APPROX. STOCK PILE LOCATION
- 5 INSTALL COMPOST FILTER SOCK
- 6 INSTALL INLET PROTECTION

**LEGEND:**

- |  |   |
|--|---|
|  | INSTALL GRAVEL CONSTRUCTION ENTRANCE/EXIT     |
|  | INSTALL CONCRETE WASHOUT                      |
|  | INSTALL SCOURSTOP MAT                         |
|  | INSTALL GRAVEL FOREBAY                        |
|  | INSTALL INLET PROTECTION                      |
|  | RIGHT-OF-WAY LINE                             |
|  | PROPERTY LINE                                 |
|  | UTILITY EASEMENT                              |
|  | EXIST. CONTOUR                                |
|  | FINISH GRADE CONTOUR                          |
|  | LIMITS OF DISTURBANCE                         |
|  | INSTALL SILT FENCE OR APPROVED EQUAL          |
|  | INSTALL COMPOST FILTER SOCK OR APPROVED EQUAL |

**TOPSOIL REQUIREMENTS:**

TEMPORARY SEEDING – LOOSEN COMPACTED SOILS TO A DEPTH OF 4 INCHES. IF RAINFALL CAUSES THE SURFACE TO BECOME SEALED OR CRUSTED, LOOSEN IT JUST PRIOR TO SEEDING. SLOPES STEEPER THAN 33 PERCENT (3:1) GRADE SHOULD BE GROOVED OR FURROWED ON THE CONTOUR BEFORE SEEDING. A GOOD SEEDBED IS WELL PULVERIZED, LOOSE, AND UNIFORM.

**LIME REQUIREMENTS:**

TEMPORARY SEEDING – LIME SHOULD BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS. IF THE PH OF THE SOIL IS UNKNOWN, LIME SHALL BE INCORPORATED INTO THE TOP 4 INCHES OF SOIL AT THE RATE OF 1500 POUNDS EFFECTIVE NEUTRALIZING MATERIAL (ENM) PER ACRE. SOILS WITH A PH OF SIX OR HIGHER NEED NOT BE LIMED.

**FERTILIZER REQUIREMENTS:**

TEMPORARY SEEDING – FERTILIZER SHOULD BE APPLIED BASED ON SOIL TESTS. WHEN THESE ARE NOT POSSIBLE, A 10–10–10 GRADE FERTILIZER SHALL BE INCORPORATED INTO THE TOP 4 INCHES OF SOIL AT THE RATE OF 200 POUNDS PER ACRE.

**SEED REQUIREMENTS:**

TEMPORARY SEEDING – SEED MIX SHALL CONSIST OF ANY COMBINATION OF TALL FESCUE, ANNUAL RYEGRASS, SUDAN, MILLET, WHEAT, OR OATS. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE.

DORMANT SEASON SEEDING – SEED MIX SHALL CONSIST OF 80 PERCENT (80%) TALL FESCUE, TEN PERCENT (10%) ANNUAL RYEGRASS, AND TEN PERCENT (10%) SPRING OATS. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 600 POUNDS PER ACRE.

**MULCH REQUIREMENTS:**

TEMPORARY SEEDING – WHERE SLOPES ARE LESS THAN 25 PERCENT (4:1) GRADE, CEREAL GRAIN MULCH IS REQUIRED AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET (4,500 LBS/ACRE). CEREAL GRAIN MULCH SHALL MEET THE REQUIREMENTS OF SECTION 802 OF THE MISSOURI STATE SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR TYPE 1 MULCH. WHERE SLOPES ARE 25 PERCENT (4:1) OR GREATER GRADE, TYPE 3 MULCH ("HYDROMULCH") MEETING THE REQUIREMENTS OF SECTION 802 OF THE STATE SPECIFICATIONS SHALL BE USED. TYPE 3 MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2,000 LBS/ACRE.

**DATES FOR SEEDING:**

TEMPORARY SEEDING – CAN OCCUR DURING ANY SEASON, HOWEVER WINTER IS THE LEAST TOLERANT. DORMANT SEASON SEEDING – DECEMBER 15 TO FEBRUARY 29

**EROSION CONTROL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES THROUGHOUT THE PROJECT. ANY AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
2. EROSION CONTROL IS THE CONTRACTOR'S RESPONSIBILITY. THIS PLAN SHOULD BE USED AS A GUIDE AND REPRESENTS THE MINIMUM EROSION CONTROL DEVICES REQUIRED.
3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL EROSION & SEDIMENT CONTROL DEVICES AFTER EACH RAINFALL EVENT.
5. THE CONTRACTOR SHALL PROVIDE ANY FURTHER EROSION CONTROL MEASURES IN ADDITION TO THOSE LISTED TO ENSURE THAT SILT WILL NOT LEAVE THE PROJECT CONFINES.
6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION & SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED WITH A HEALTHY STAND OF PERMANENT VEGETATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
8. THE CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
9. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY STABILIZATION AS REQUIRED.
10. THE CONTRACTOR SHALL PROVIDE A TEMPORARY CONSTRUCTION ENTRANCE FOR VEHICULAR TRAFFIC AT LOCATION SHOWN.
11. ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE ENGINEERING DIVISION, DEPARTMENT OF PUBLIC WORKS, CITY OF TONTITOWN, ARKANSAS.
12. THE CONTRACTOR WILL BE REQUIRED TO CLEAN THE STREETS OF DEPOSITED MUD AS FREQUENTLY AS NEEDED PER APPLICABLE AREA BEST MANAGEMENT PRACTICES. CONTRACTOR SHALL REFER TO NWA 2014 BMP MANUAL FOR THE STREET CLEANING BMP FOR SPECIFIC STREET CLEANING GUIDELINES.
13. SEE TEMPORARY VEGETATION REQUIREMENT NOTES ON THIS SHEET FOR EXPOSED SOIL WHERE NO ACTIVITY WILL OCCUR FOR MORE THAN 14 DAYS.
14. CONTRACTOR IS RESPONSIBLE FOR PHASED INSTALLATION OF EROSION CONTROL BMP'S IN ORDER TO PREVENT SEDIMENT FROM BREACHING THE LIMITS OF DISTURBANCE.

**LAND DISTURBANCE:**

TOTAL SITE AREA: ±3.70 AC (161,222 SF)  
TOTAL AREA DISTURBED: ±1.35 AC (58,601 SF)

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08/02/2022

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

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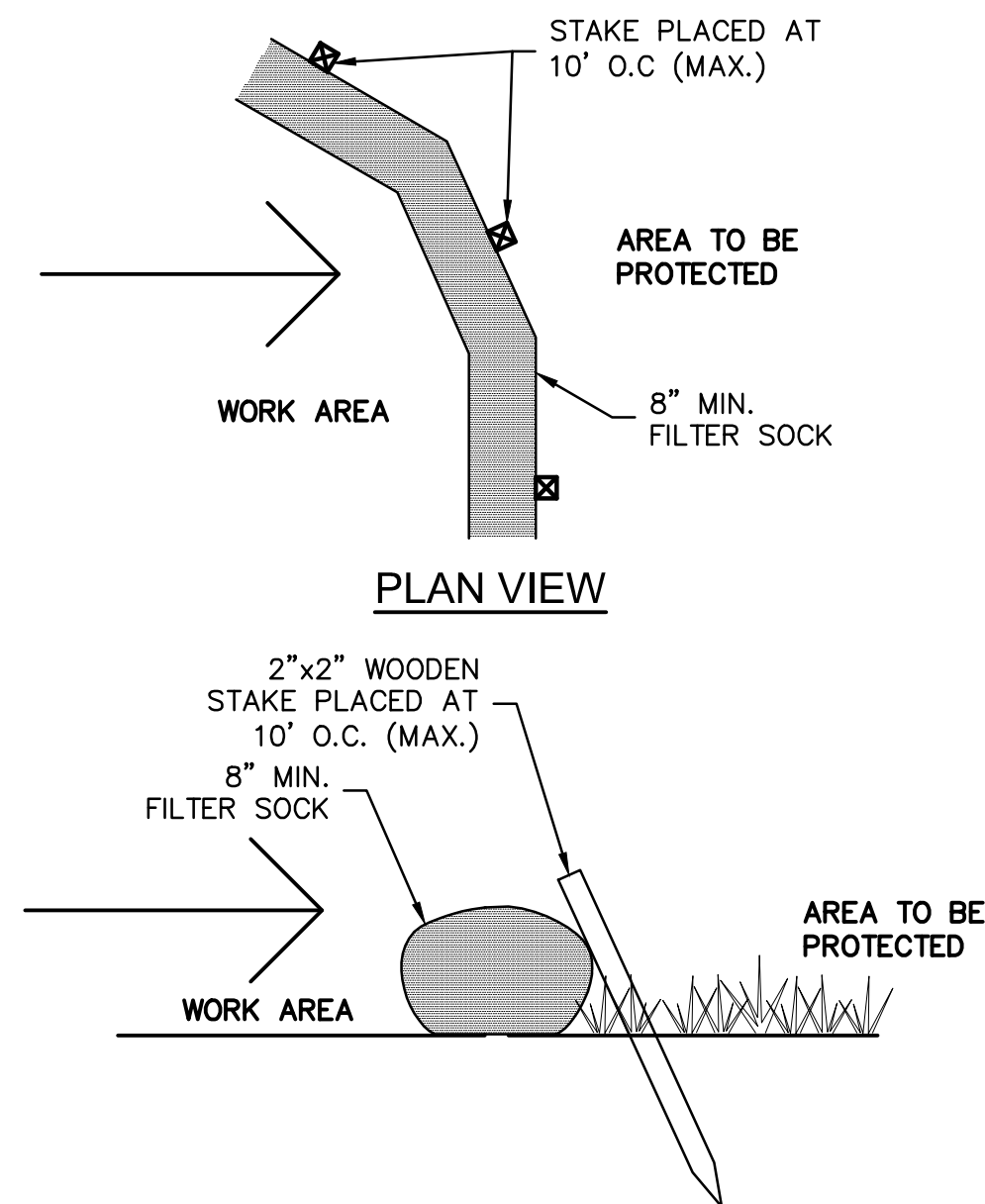
EROSION CONTROL PLAN - PHASE 2

LAURA LANE WAREHOUSE ADDITION  
LARGE SCALE DEVELOPMENT PLANS

TONTITOWN, AR

drawn by: CGS  
checked by: MKL  
approved by: MKL  
QA/QC by: MKL  
project no.: 022-02470  
drawing no.: ABC.DWG  
date: 08.02.22

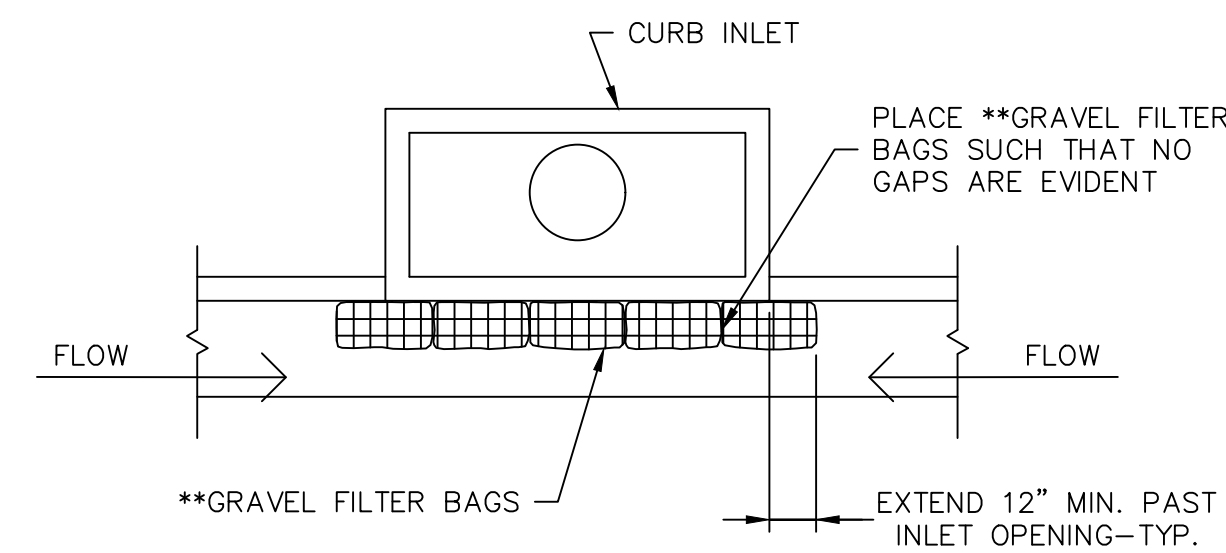
SHEET  
C4.1



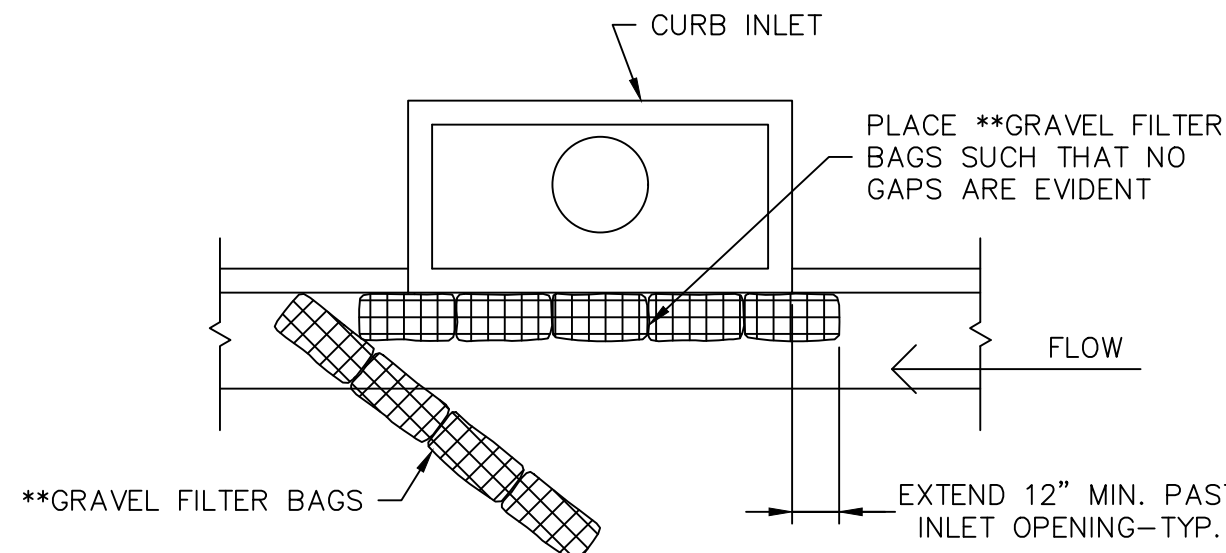
- NOTES:

1. COMPOST FILTER SOCK SHALL MEET THE REQUIREMENTS OF ARDOT SECTION 621. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL BEFORE INSTALLING SOCK.
2. FILTER SOCK DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER ENGINEER.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

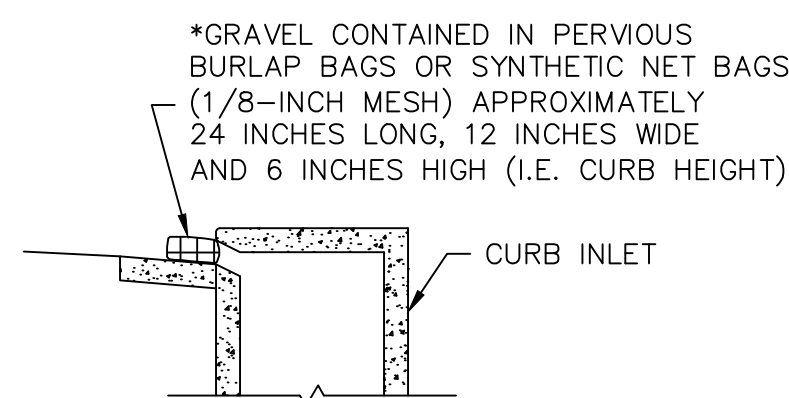
### COMPOST FILTER SOCK DETAILS



PLAN VIEW ON GRADE OR @ SUMP



### PLAN VIEW @ END OF DRIVE



### SECTION VIEW

\* 5/8 - 1 1/2" CRUSHED LIMESTONE

\*\* COMPOST FILTER SOCKS MAY  
BE USED IN LIEU OF GRAVEL BAGS

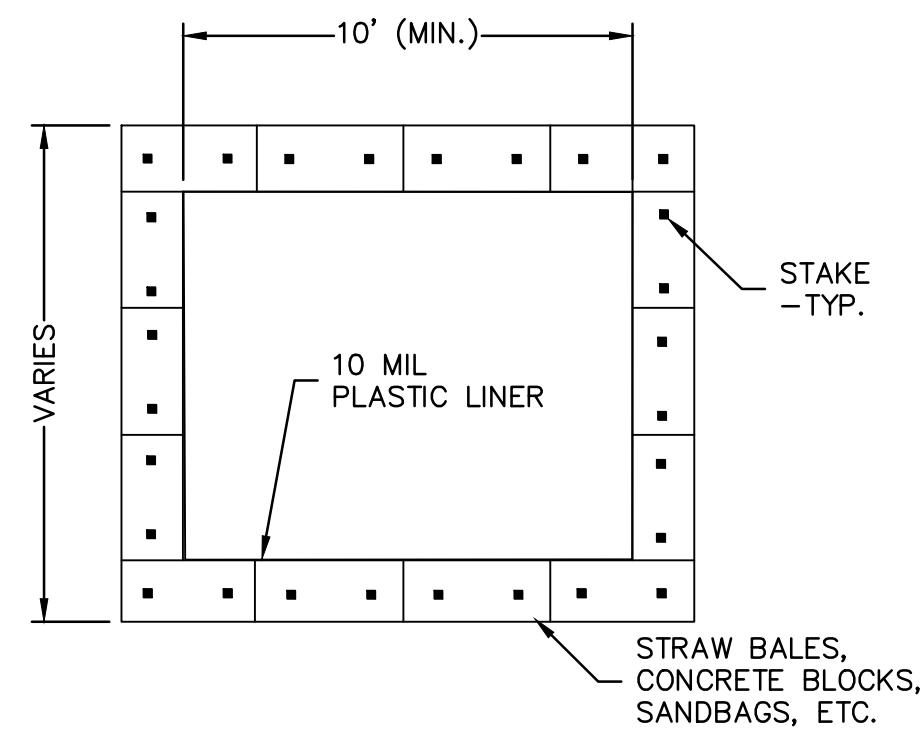
**CURB INLET SEDIMENT TRAP DETAILS**  
NOT TO SCALE

NOTE:

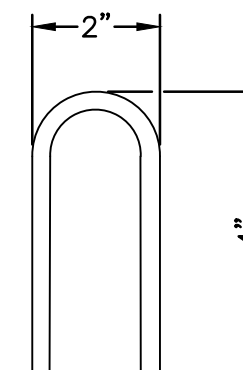
GRAVEL BAGS (\*\*FILTER SOCKS)  
SHALL BE INSPECTED AND  
REPLACED AS NEEDED

- NOTES:

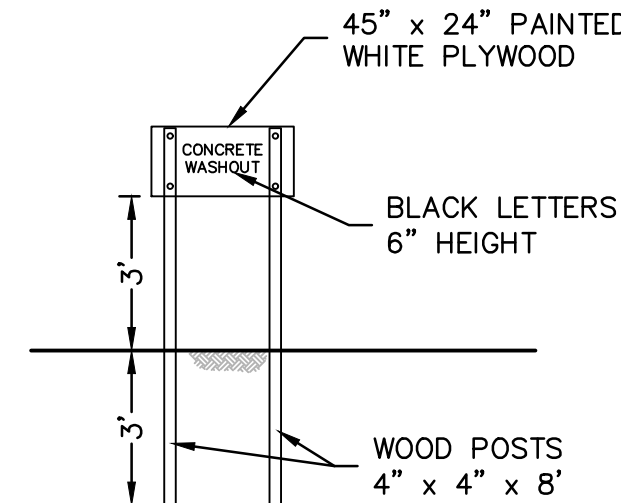
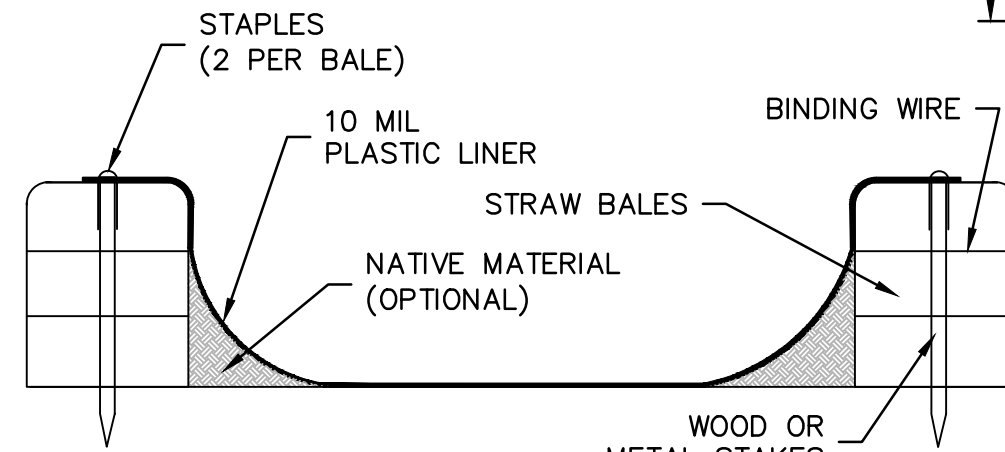
1. ACTUAL LAYOUT LOCATIONS & NUMBER OF WASH-OUTS TO BE DETERMINED BY CONTRACTOR IN FIELD.
2. THE CONCRETE WASH-OUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. WASH-OUTS SHALL BE LOCATED A MINIMUM OF 50 FT. FROM STORM DRAINS, OPEN DRAINAGE FACILITIES AND WATER COURSES. AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE.
4. INSTALL BEFORE THE START OF ANY CONCRETE ACTIVITIES OR DELIVERIES.
5. INSPECT EVERY WEEK AND AFTER 1/2" STORM EVENT. REMOVE AND DISPOSE OF HARDENED CONCRETE AND RETURN THE FACILITY TO A FUNCTIONAL CONDITION. WASH-OUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASH-OUT IS 75% FULL.



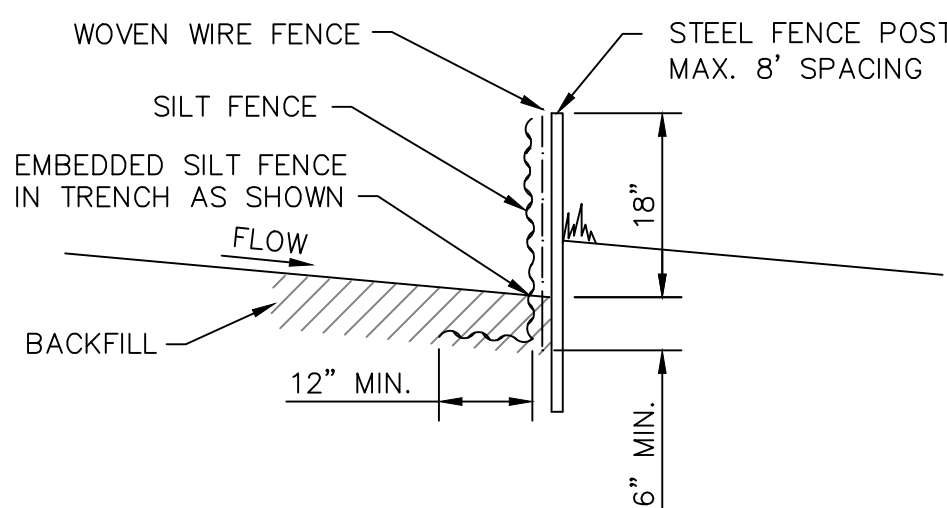
## PLAN



STAPLE

WASHOUT SIGN

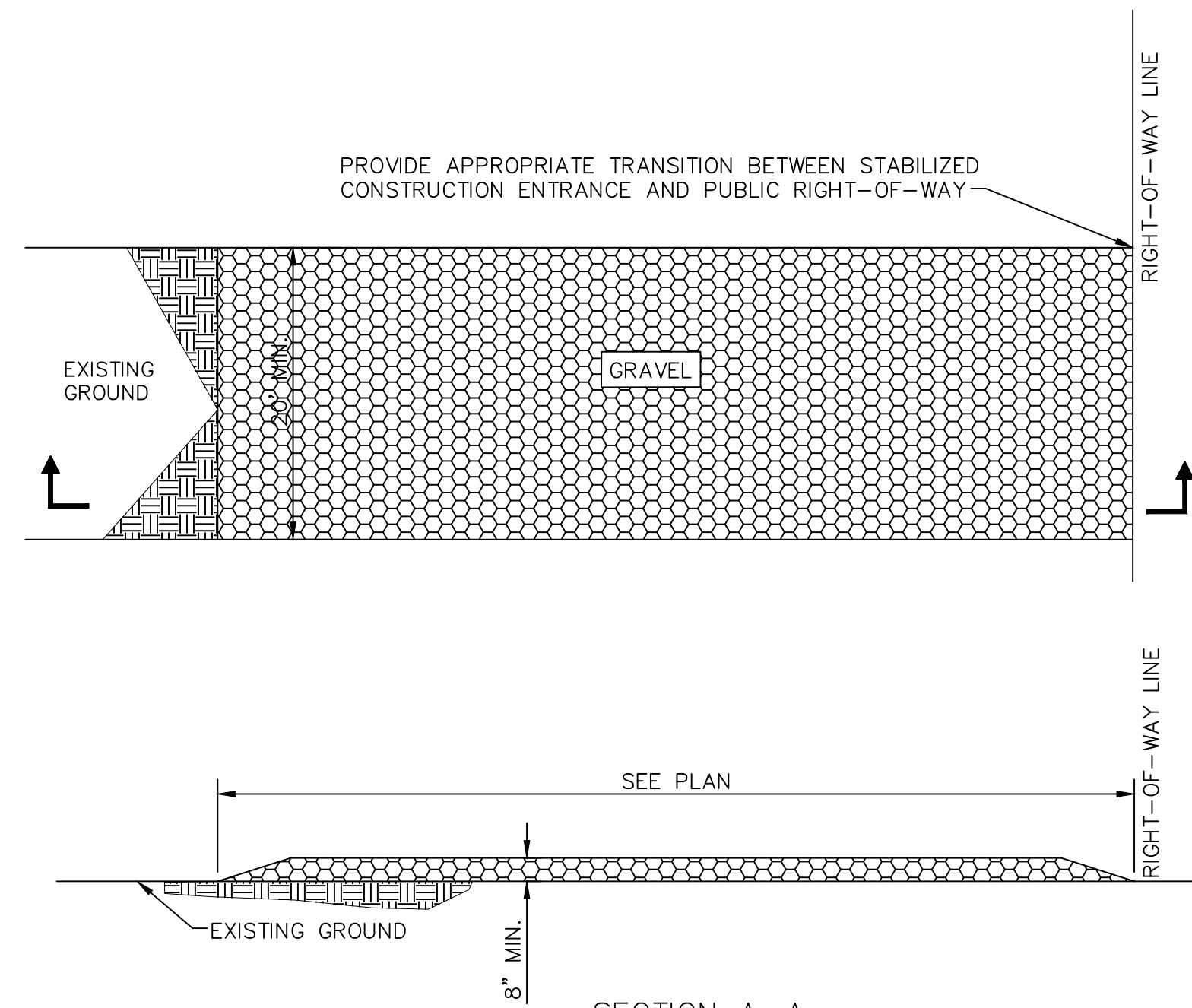
SECTION  
CONCRETE WASH-OUT DETAIL  
NOT TO SCALE



SILT FENCING DETAIL  
NOT TO SCALE

- NOTES:

1. PLACE SILT FENCE AT DOWNSLOPE LIMIT OF AREA TO BE GRADED. CONTINUOUS STRAW BALE DIKE MAY BE SUBSTITUTED FOR SILT FENCING.
2. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POSTS.
3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. INSPECT WITHIN 72 HOURS FOLLOWING RAINFALL.
4. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
5. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
6. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES AND DISPOSED OF IN AN APPROVED SPOIL SITE OR AS IN NO. 5 ABOVE.
7. AT EACH END OF SILT FENCE, TURN FENCE UPSLOPE AND EXTEND UNTIL GRADE SURFACE RISES 18".



SECTION A-A

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOTES:

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT ANY LOCATION WHERE ENTRANCE TO THE CONSTRUCTION SITE IS PERMITTED.
2. THE STONE SIZE SHALL CONSIST OF COARSE AGGREGATE IN ACCORDANCE WITH AASHTO M43 GRADATION 357. THE MATERIAL PLACED SHALL NOT BE LESS THAN THE WIDTH OF THE INGRESS OR EGRESS.
3. MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY.
4. WHEN NECESSARY, CLEAN WHEELS TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. PREVENT SEDIMENT FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
5. NO SEPARATE PAYMENT WILL BE MADE FOR STABILIZED CONSTRUCTION ENTRANCE. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO OTHER ITEMS IN THE CONTRACT.

[illegible]

## EROSION CONTROL DETAILS

LAURA LANE WAREHOUSE ADDITION  
LARGE SCALE DEVELOPMENT PLANS

TONTITOWN, AR

2022

drawn by:	CGS
checked by:	MKL
approved by:	MKL
QA/QC by:	MKL
project no.:	022-02470
drawing no.:	ABC.DWG
date:	08.02.22

SHEET  
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Fayetteville AR 72703

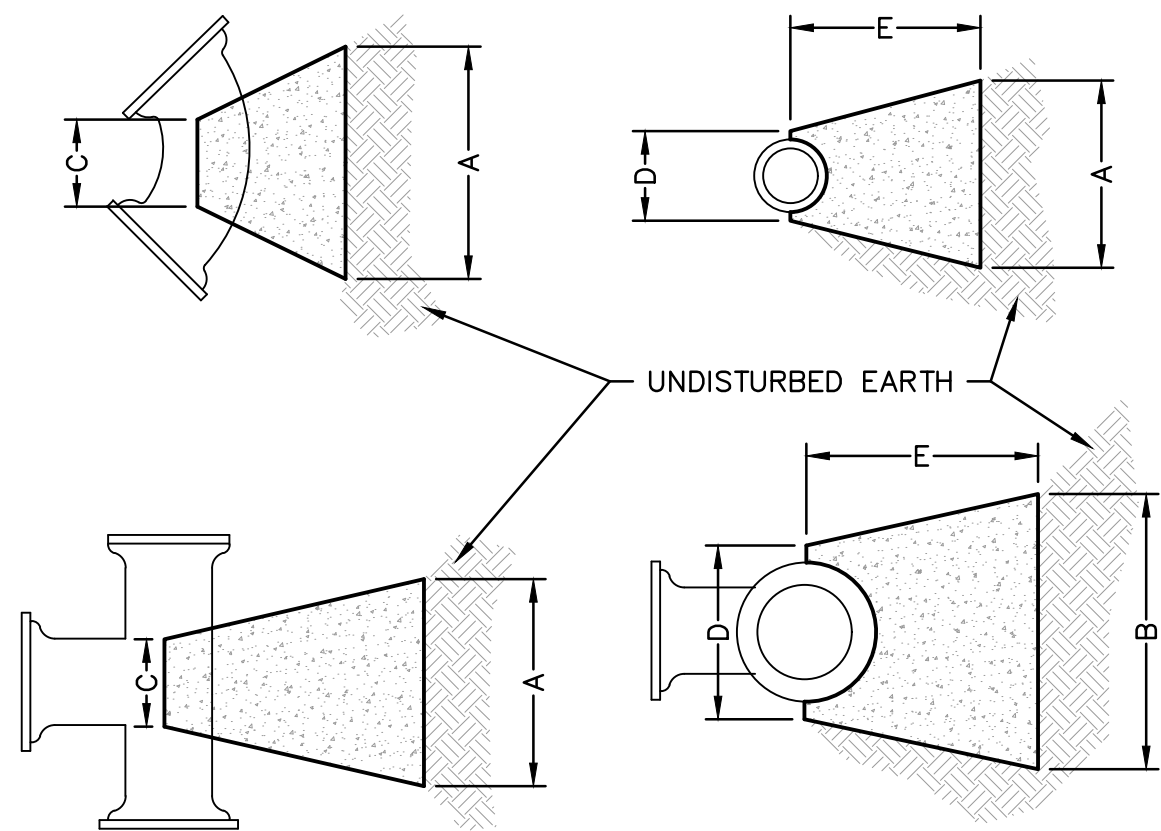
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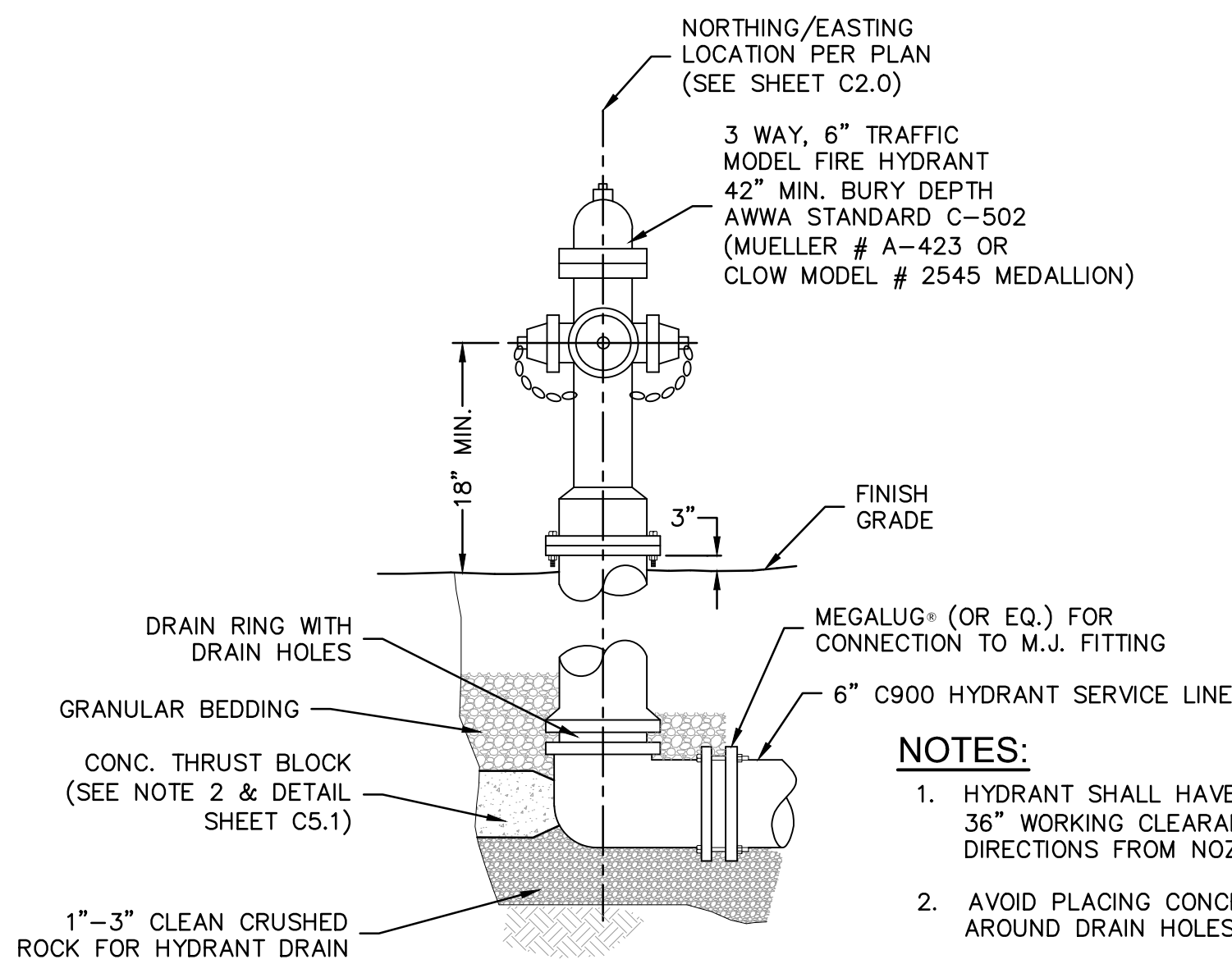


PIPE SIZE	FITTING	DISTANCE IN INCHES				
		A	B	C	D	E
4" AND SMALLER	11.25 & 22.5"	32	28	3	7	14
	45"	32	28	4	7	14
	90"	34	28	6	7	14
6"	TEE/PLUG	36	28	7	7	14
	11.25 & 22.5"	35	29	4	9	15
	45"	36	29	6	9	15
	90"	38	29	7	9	15
8"	TEE/PLUG	40	29	9	9	15

- NOTES:
- THRUST BLOCKS ARE BASED ON A WORKING PRESSURE OF 200 P.S.I. 36" COVER & 2000 P.S.F. ALLOWABLE SOIL BEARING PRESSURE.
  - FOR PIPE SIZES NOT SHOWN USE DIMENSIONS FOR NEXT LARGER SIZE.
  - USE 3/8" PLYWOOD SEPARATOR BETWEEN BLOCKS AND PLUGS TO PROVIDE FOR FUTURE REMOVAL.
  - BENCH UTILITIES AT BENDS WHERE ADJACENT TO OTHER UTILITIES TO MAINTAIN THRUST BLOCKS AGAINST UNDISTURBED EARTH. SEE DETAIL THIS SHEET.

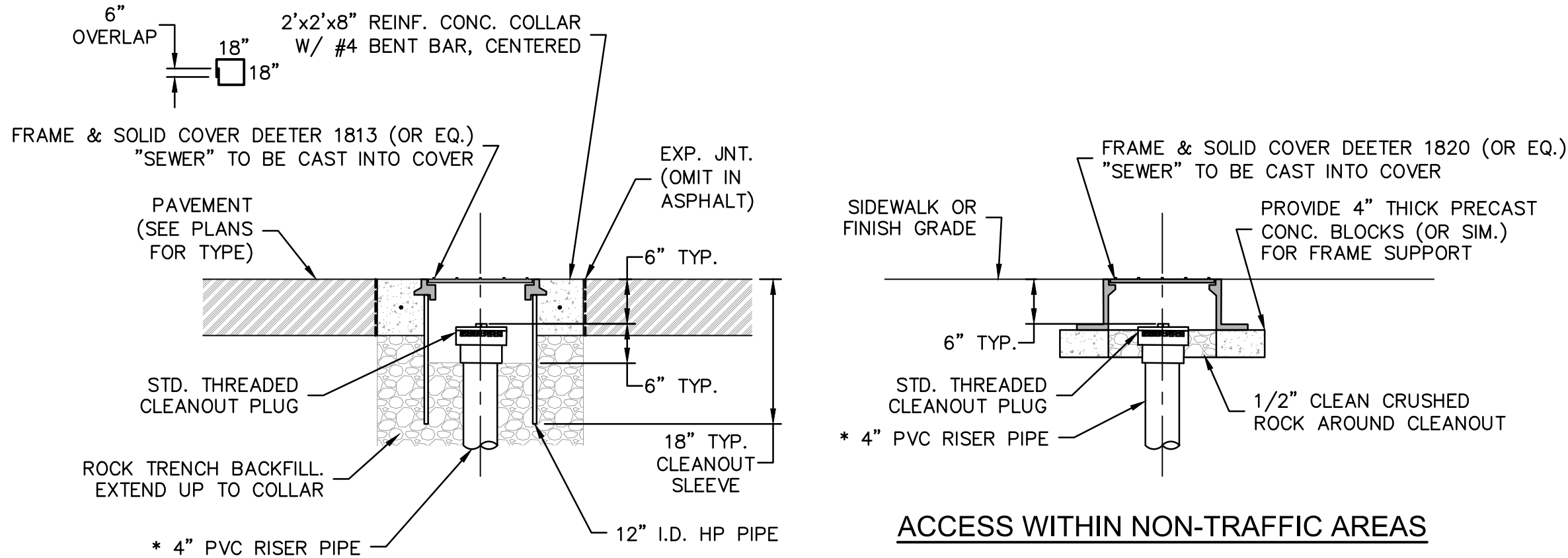


CONCRETE THRUST BLOCK DETAIL  
NOT TO SCALE



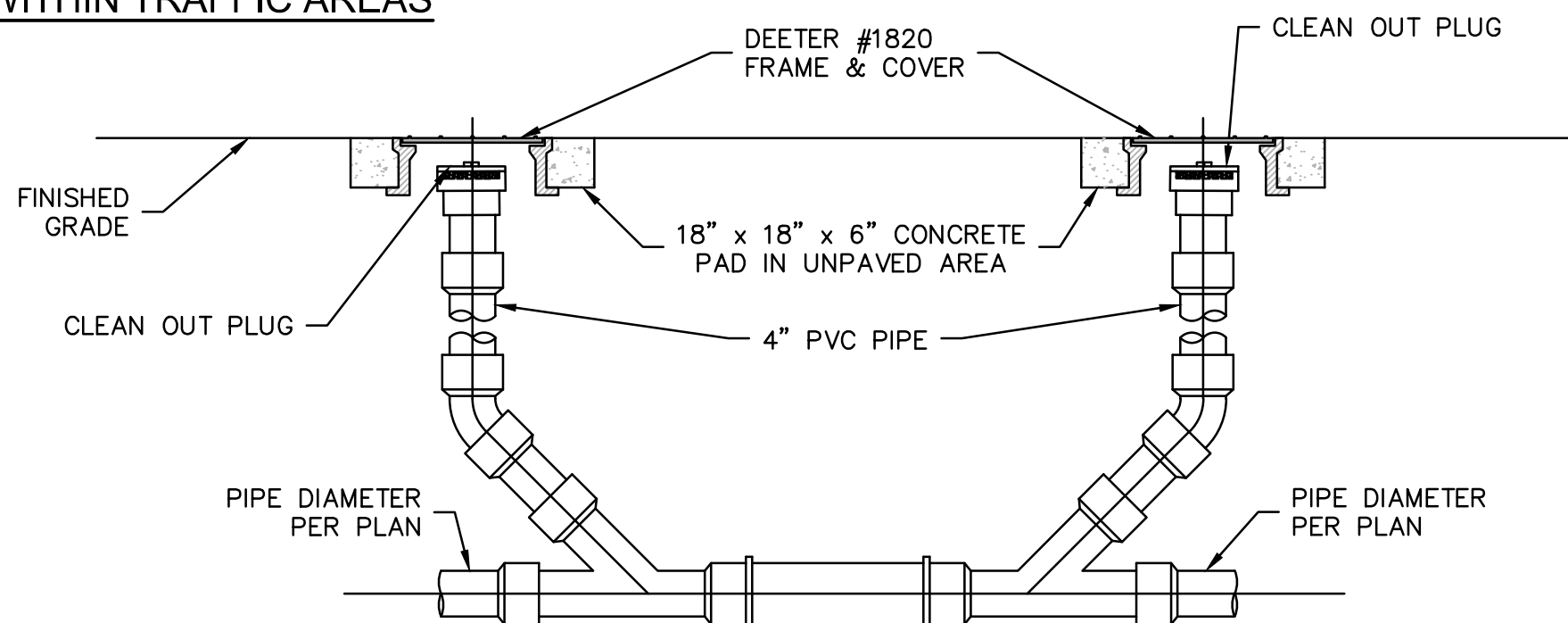
FIRE HYDRANT DETAIL  
NOT TO SCALE

- NOTES:
- HYDRANT SHALL HAVE A MINIMUM 36" WORKING CLEARANCE IN ALL DIRECTIONS FROM NOZZLES
  - AVOID PLACING CONCRETE AROUND DRAIN HOLES
  - FIRE HYDRANT SHALL HAVE A MAIN VALVE OPENING SIZE OF 5-1/4"



ACCESS WITHIN TRAFFIC AREAS

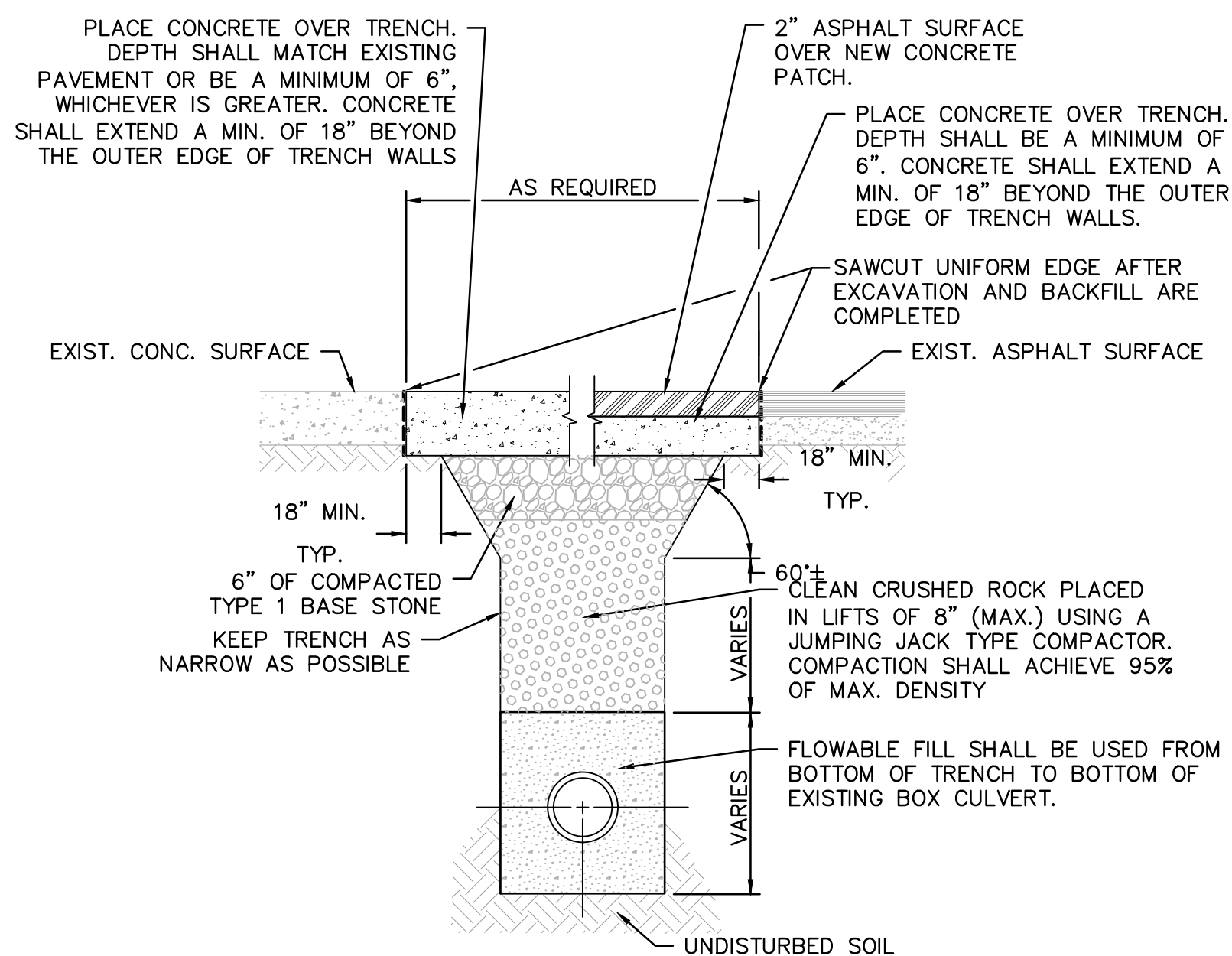
ACCESS WITHIN NON-TRAFFIC AREAS



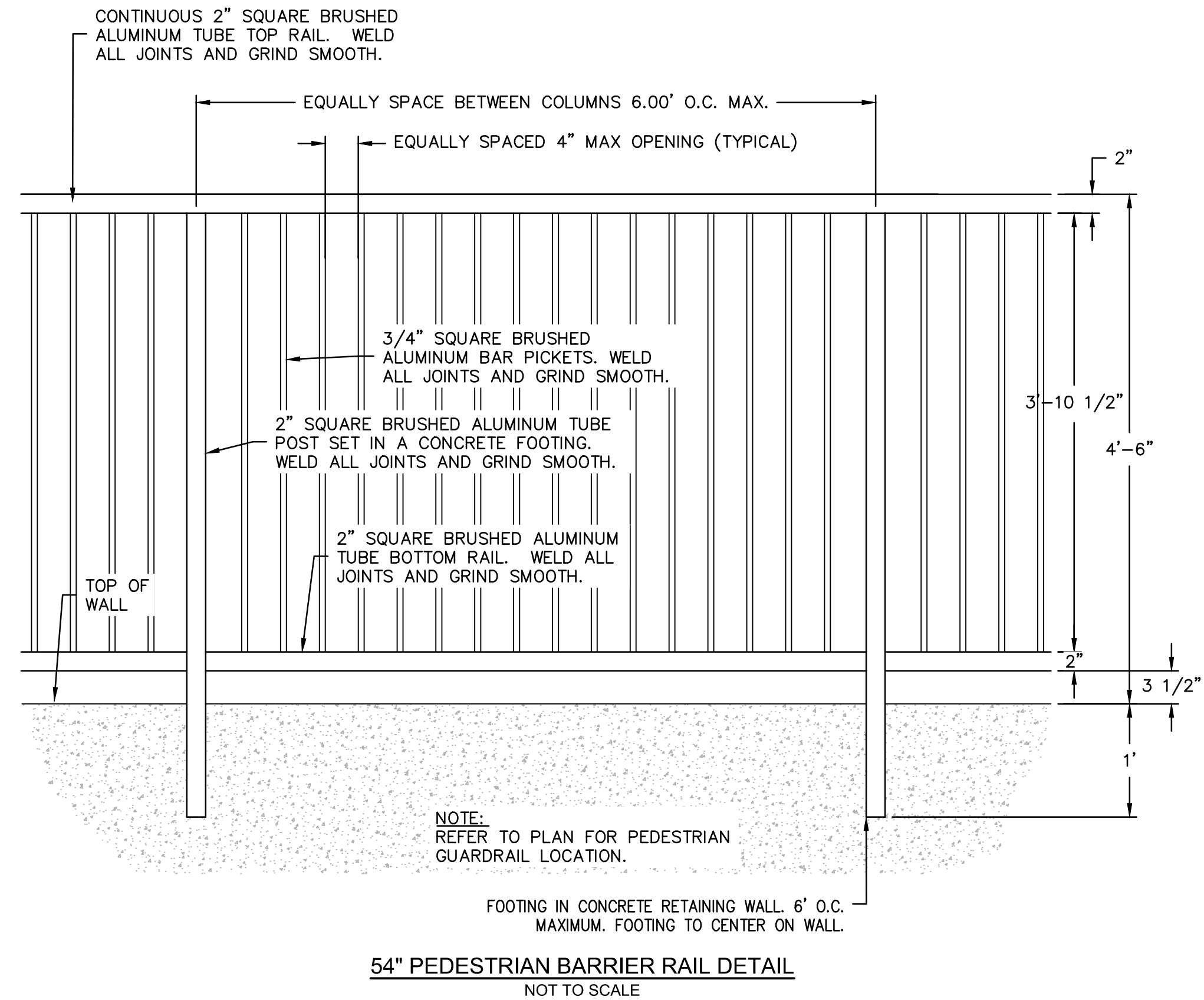
DUAL CLEANOUT DETAIL

SANITARY SEWER CLEANOUT DETAILS  
NOT TO SCALE

- NOTES:
- OPEN CUTTING AND REPAIR OF STREETS (THIS DETAIL), CURB & GUTTER (C.O.S. ST-2), PAVEMENT JOINTING (C.O.S. ST-3) AND SIDEWALK (C.O.S. ST-8) SHALL MEET CITY OF TONTITOWN STANDARDS AND DETAILS NOTED..
  - EXTENTS OF CONCRETE ROAD REPAIR WORK SHALL BE COORDINATED WITH THE CITY INSPECTOR
  - BEFORE CONCRETE IS PLACED, CONTRACTOR MUST CALL THE STREET MAINTENANCE DIVISION (864-1474), AT LEAST 24 HOURS BEFORE PLACING CONCRETE. FAILURE TO DO SO MAY RESULT IN REJECTION OF WORK.



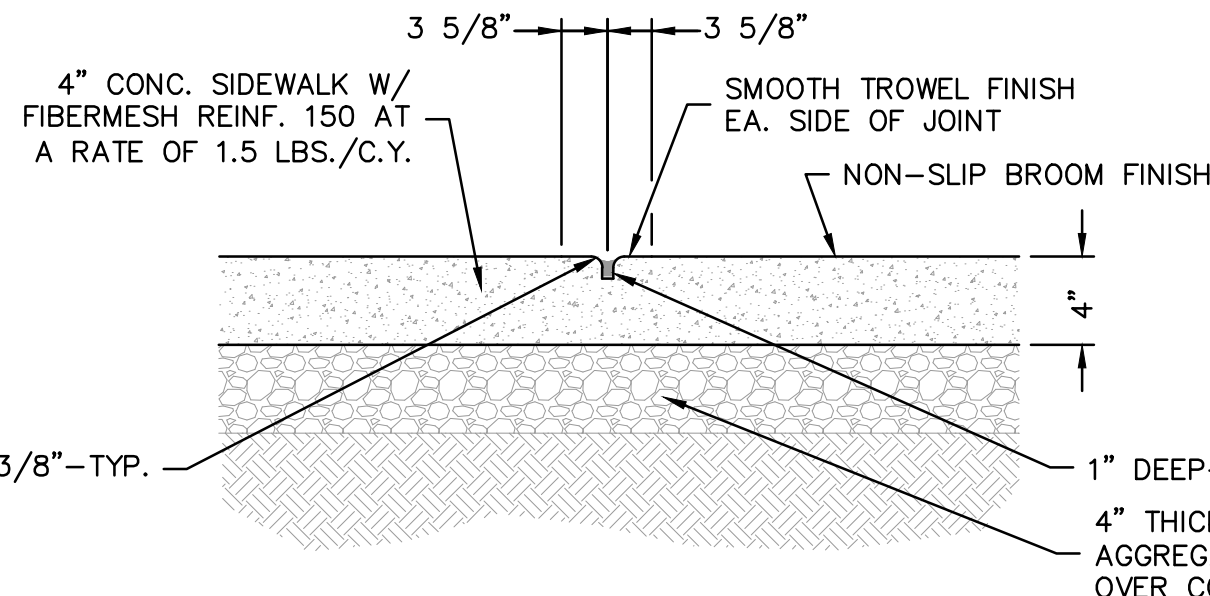
ASPHALT OR CONCRETE STREET REPAIR DETAIL  
NOT TO SCALE



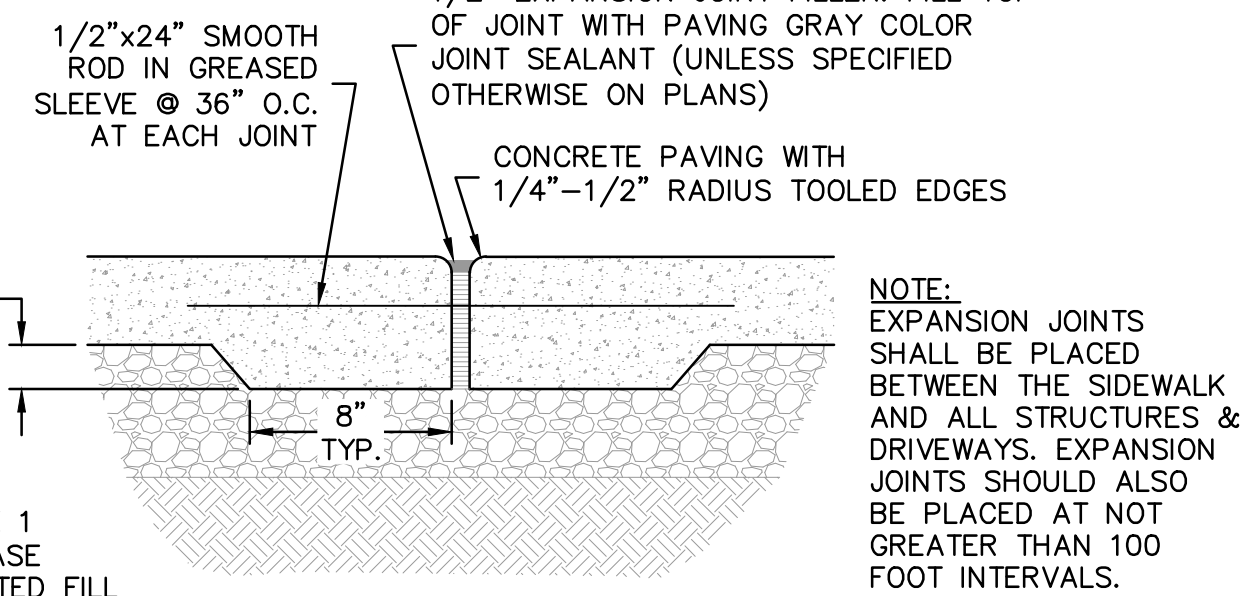
54" PEDESTRIAN BARRIER RAIL DETAIL  
NOT TO SCALE

NOTES:

- EVENLY SPACE TOOLED JOINTS EQUAL TO WIDTH OF SIDEWALKS UP TO 12'-0".
- SEE ARCH. PLANS FOR JOINTING TYPES & PATTERNS

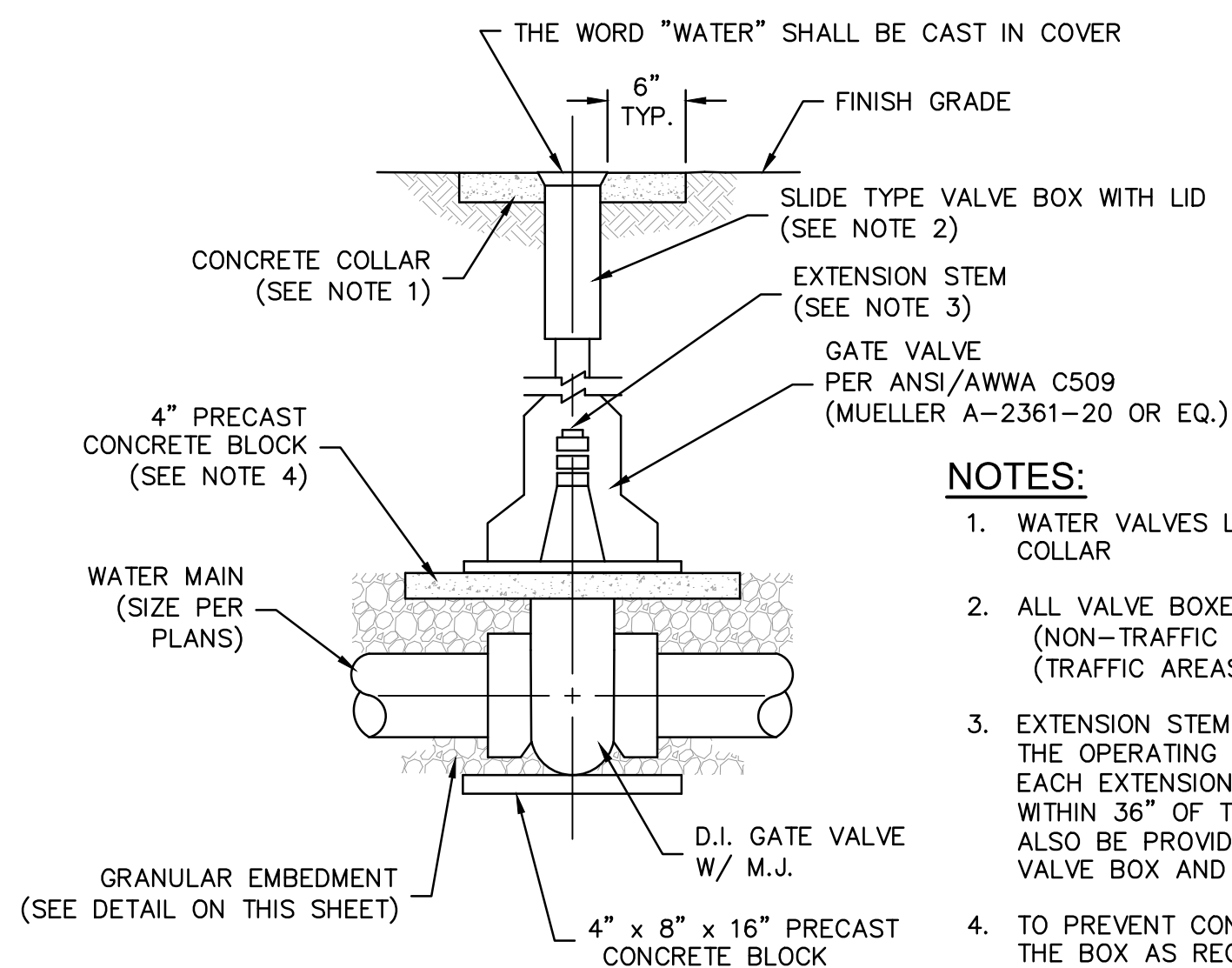


SIDEWALK & TOOLED CONTROL JOINT DETAIL



EXPANSION & CONSTRUCTION JOINT DETAIL

SIDEWALK DETAILS  
NOT TO SCALE



VALVE DETAILS  
NOT TO SCALE

NOTES:

- WATER VALVES LOCATED IN TRAFFICWAYS SHALL HAVE A CONCRETE COLLAR
- ALL VALVE BOXES SHALL BE CAST IRON (NON-TRAFFIC AREAS: STAR PIPE PRODUCTS VB-0003, OR EQ.) (TRAFFIC AREAS: STAR PIPE PRODUCTS VB-0004, OR EQ.)
- EXTENSION STEMS SHALL BE PROVIDED FOR BURIED VALVES WHEN THE OPERATING NUT IS MORE THAN 36" BELOW FINISHED GRADE. EACH EXTENSION STEM FOR A BURIED VALVE SHALL EXTEND TO WITHIN 36" OF THE GROUND SURFACE. EXTENSION STEMS SHALL ALSO BE PROVIDED WITH SPACERS TO CENTER THE STEM IN THE VALVE BOX AND COME EQUIPPED WITH A WRENCH NUT.
- TO PREVENT CONTACT BETWEEN VALVE AND VALVE BOX, SUPPORT THE BOX AS REQUIRED

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Matthew N. Loos  
STATE OF ARKANSAS  
LICENSED PROFESSIONAL ENGINEER  
No. 19979  
08/02/2022

BY  
REVISIONS DESCRIPTION  
DATE  
REV. NO.

DETAILS SHEET 2  
LAURA LANE WAREHOUSE ADDITION  
LARGE SCALE DEVELOPMENT PLANS  
TONTITOWN, AR

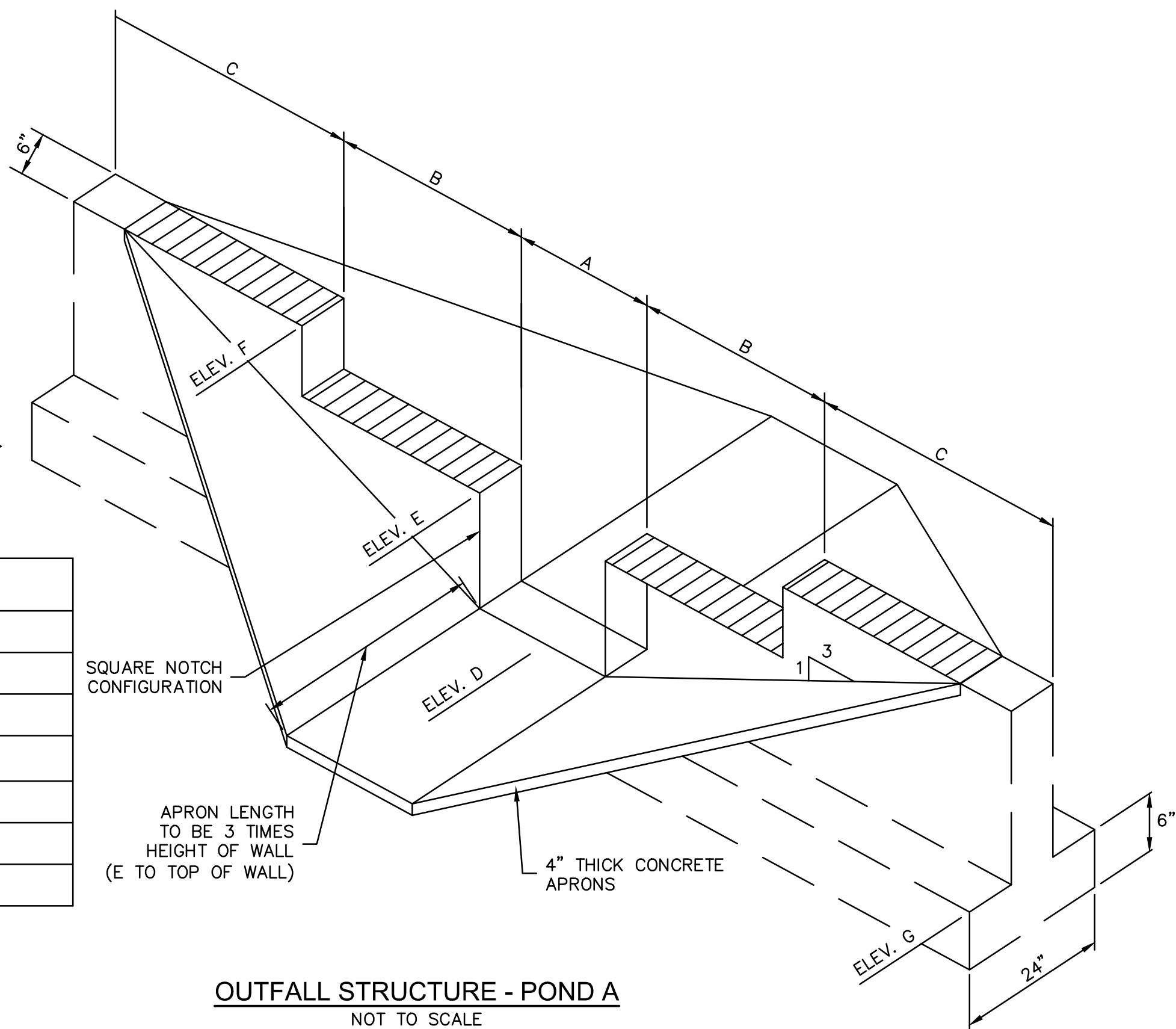
2022

drawn by: CGS  
checked by: MKL  
approved by: MKL  
QA/QC by: MKL  
project no.: 022-02470  
drawing no.: ABC.DWG  
date: 08.02.22

SHEET  
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1. PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES UNLESS ADJACENT TO SIDEWALKS OR OTHER CONCRETE SURFACES.
2. ALL #4 & #5 REINFORCING BARS TO BE GRADE 60 AND HAVE 1-1/2" MINIMUM COVER. >#5, 2" COVER.
3. CONCRETE SHALL BE CLASS B, 3500#, 4%-7% A.E.
4. REINFORCEMENT SHALL BE #4s @ 12" O.C. EACH WAY.

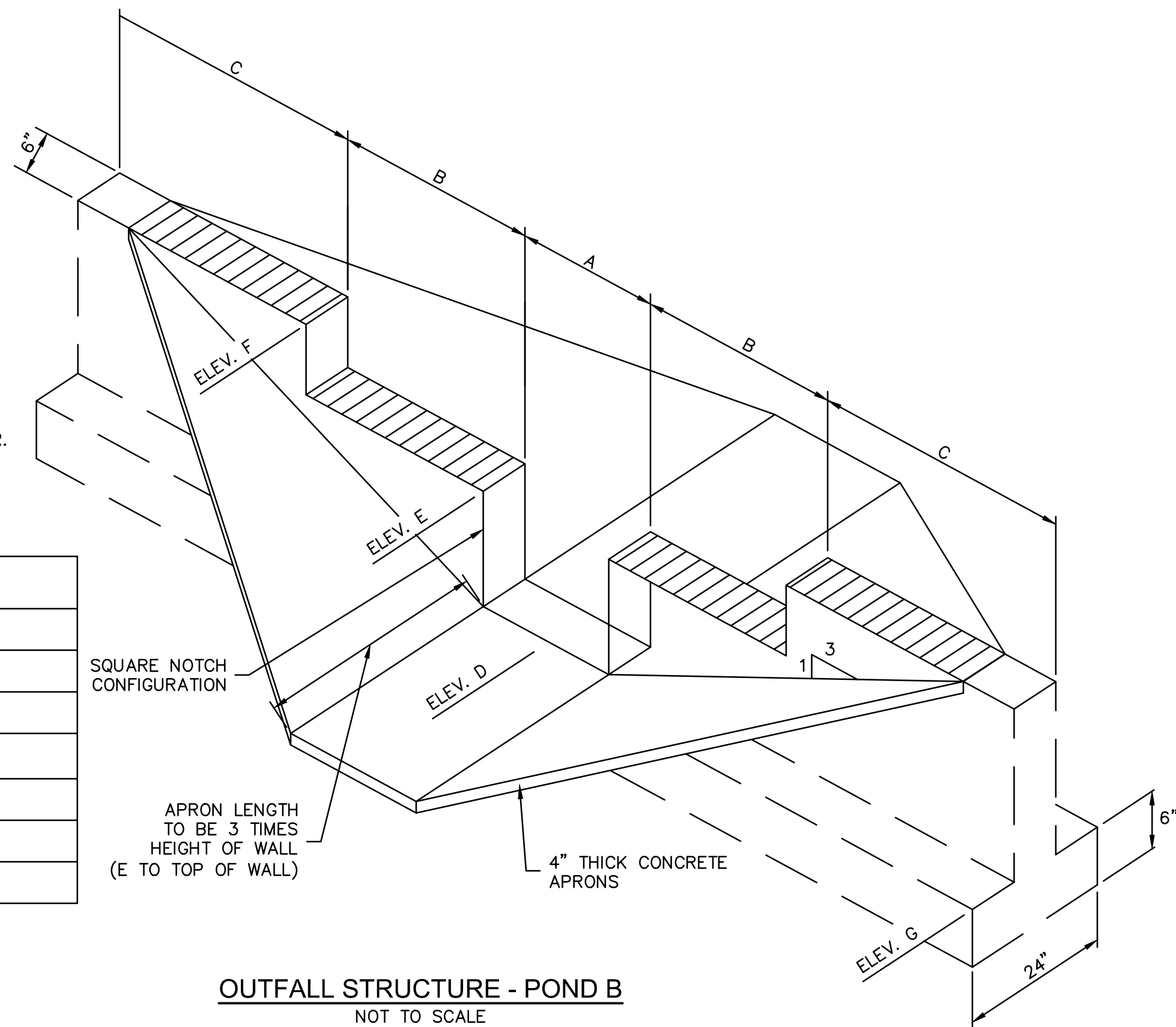
SPECIFICATIONS	
DIM. A	1'
DIM. B	3'
DIM. C	3'
ELEV. D	1303.95'
ELEV. E	1304.90'
ELEV. F	1305.90'
ELEV.G	1303.45'



OUTFALL STRUCTURE - POND A  
NOT TO SCALE

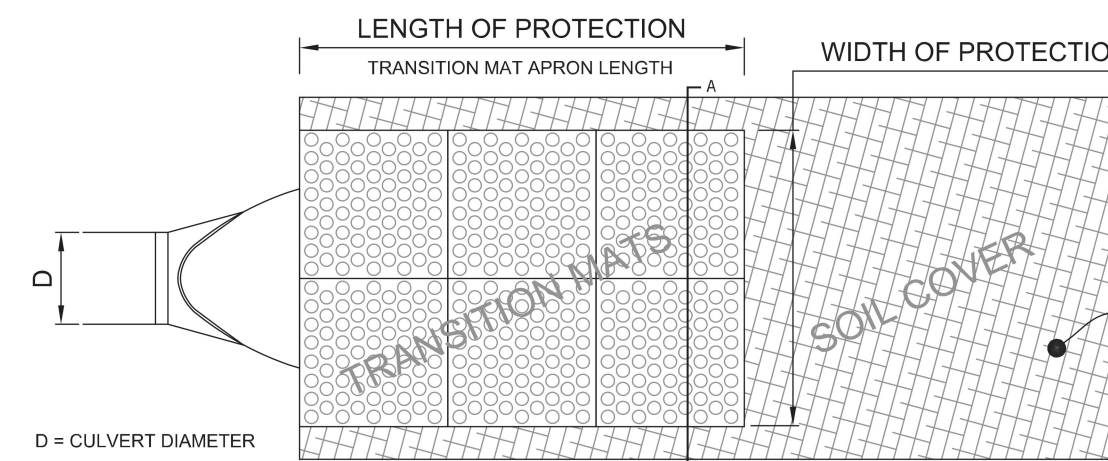
1. PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES UNLESS ADJACENT TO SIDEWALKS OR OTHER CONCRETE SURFACES.
2. ALL #4 & #5 REINFORCING BARS TO BE GRADE 60 AND HAVE 1-1/2" MINIMUM COVER. >#5, 2" COVER.
3. CONCRETE SHALL BE CLASS B, 3500#, 4%-7% A.E.
4. REINFORCEMENT SHALL BE #4s AT 12" O.C. EACH WAY.

SPECIFICATIONS	
DIM. A	0.5'
DIM. B	3'
DIM. C	3'
ELEV. D	1304.60'
ELEV. E	1305.15'
ELEV. F	1306.15'
ELEV.G	1304.10'

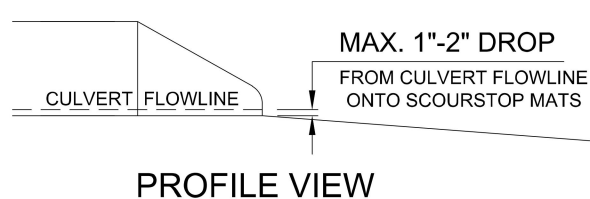


**OUTFALL STRUCTURE - POND B**  
NOT TO SCALE

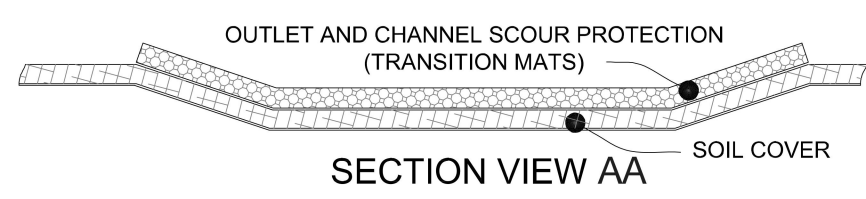
1. **ScoreStop** mats must be installed over a soil cover: sod, seeded turf reinforcement mat (TRM), geotextile, or a combination thereof.
2. For steep slopes (>10%) or higher velocities (>10 ft/sec), use the recommended soil cover.
3. Follow manufacturer's **ScoreStop Installation Guidelines** to ensure proper installation.
4. Install **ScoreStop** mats at maximum 1'-2" below flowline of culvert or culvert apron. (No waterfall impacts onto **ScoreStop** mats.)
5. Performance of protected area assumes stable downstream conditions.



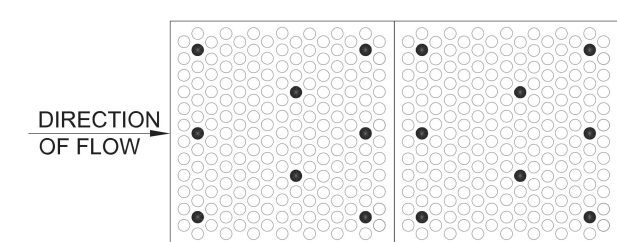
CULVERT OUTLET PROTECTION - PLAN VIEW



### PROFILE VIEW

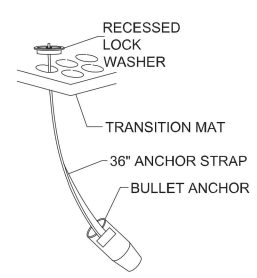


SECTION VIEW AA



## ANCHOR PATTERN

Abut transition mats to end of culvert or culvert apron.  
Adjacent mats abut together laterally and longitudinally  
Minimum 8 anchors per mat.  
Extra anchors as needed for loose or wet soils.  
Extra anchors as needed for uneven soil surface.



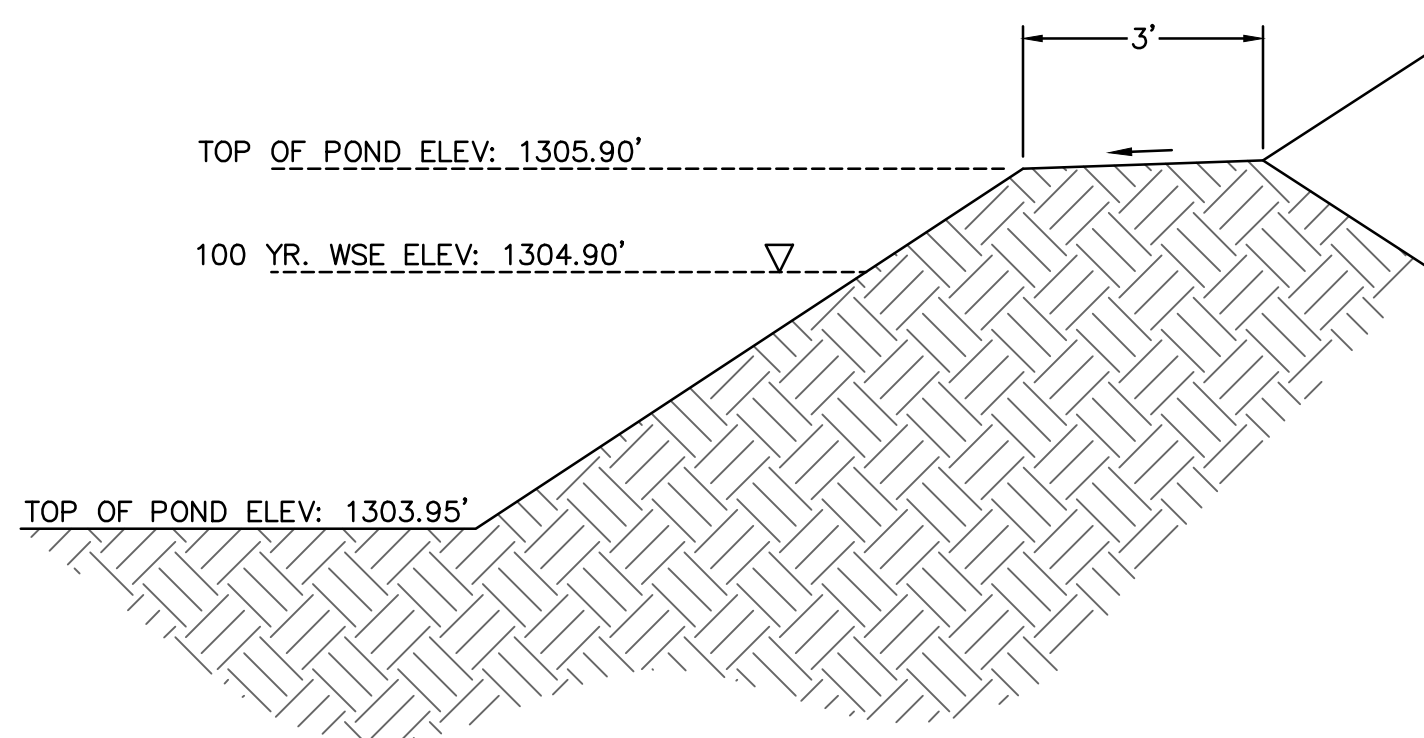
## ANCHOR ILLUSTRATION

Install anchors per **ScourStop Installation Guidelines**.  
Minimum depth 24" in compacted, cohesive soil.  
Minimum depth 30" in loose, sandy, or wet soil.  
Extra anchors as needed to secure mat tightly over

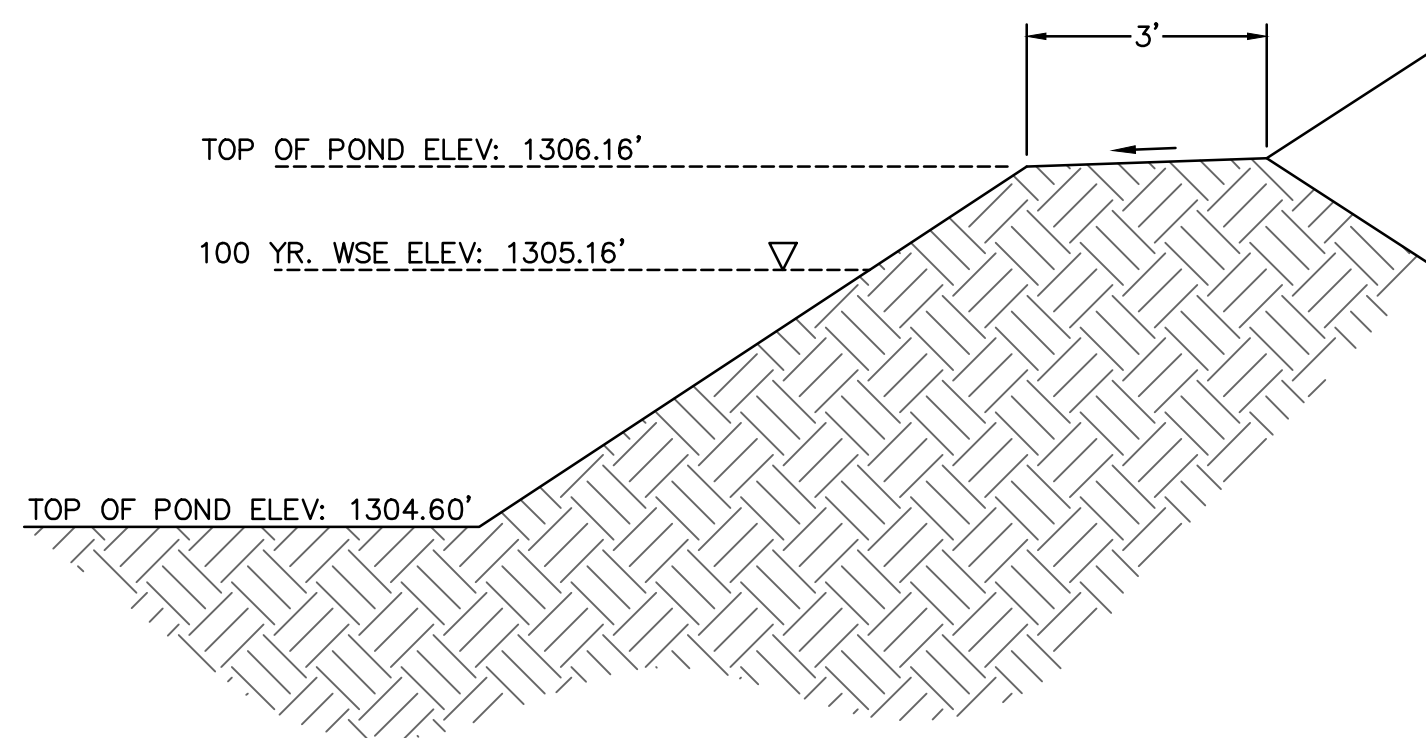


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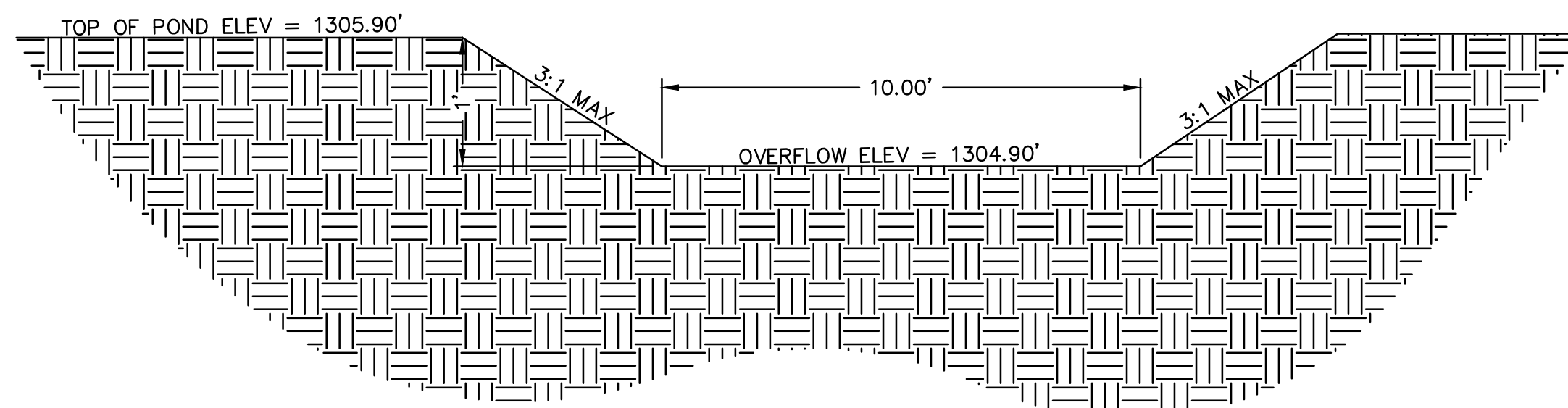
the green solution to riprap



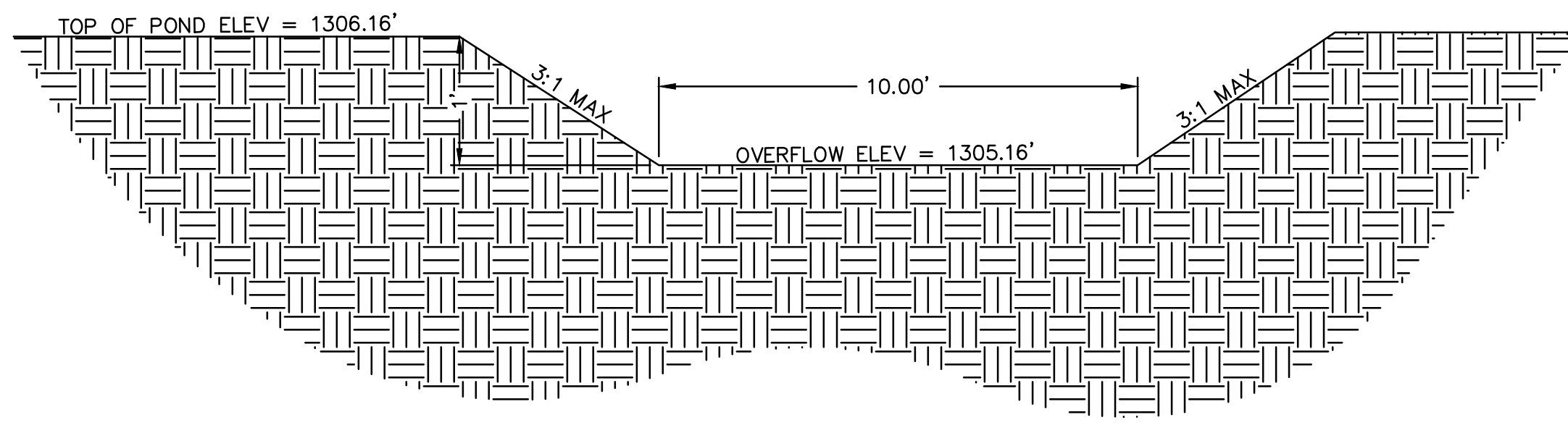
TYPICAL POND SECTION - POND A  
NOT TO SCALE



TYPICAL POND SECTION - POND B  
NOT TO SCALE



EMERGENCY OVERFLOW SECTION - POND A  
NOT TO SCALE



**EMERGENCY OVERFLOW SECTION - POND B**  
NOT TO SCALE

USER: cgsmith

DWG: F:\2022\02001-02500\022-02470\40-Design\AutoCAD\Final Plans\Sheets\C\_DTL01\_02202470.dwg  
DATE: Aug 01, 2022 3:04pm XREFS: C\_PIBLK\_02202470

DWG:  
DATE:

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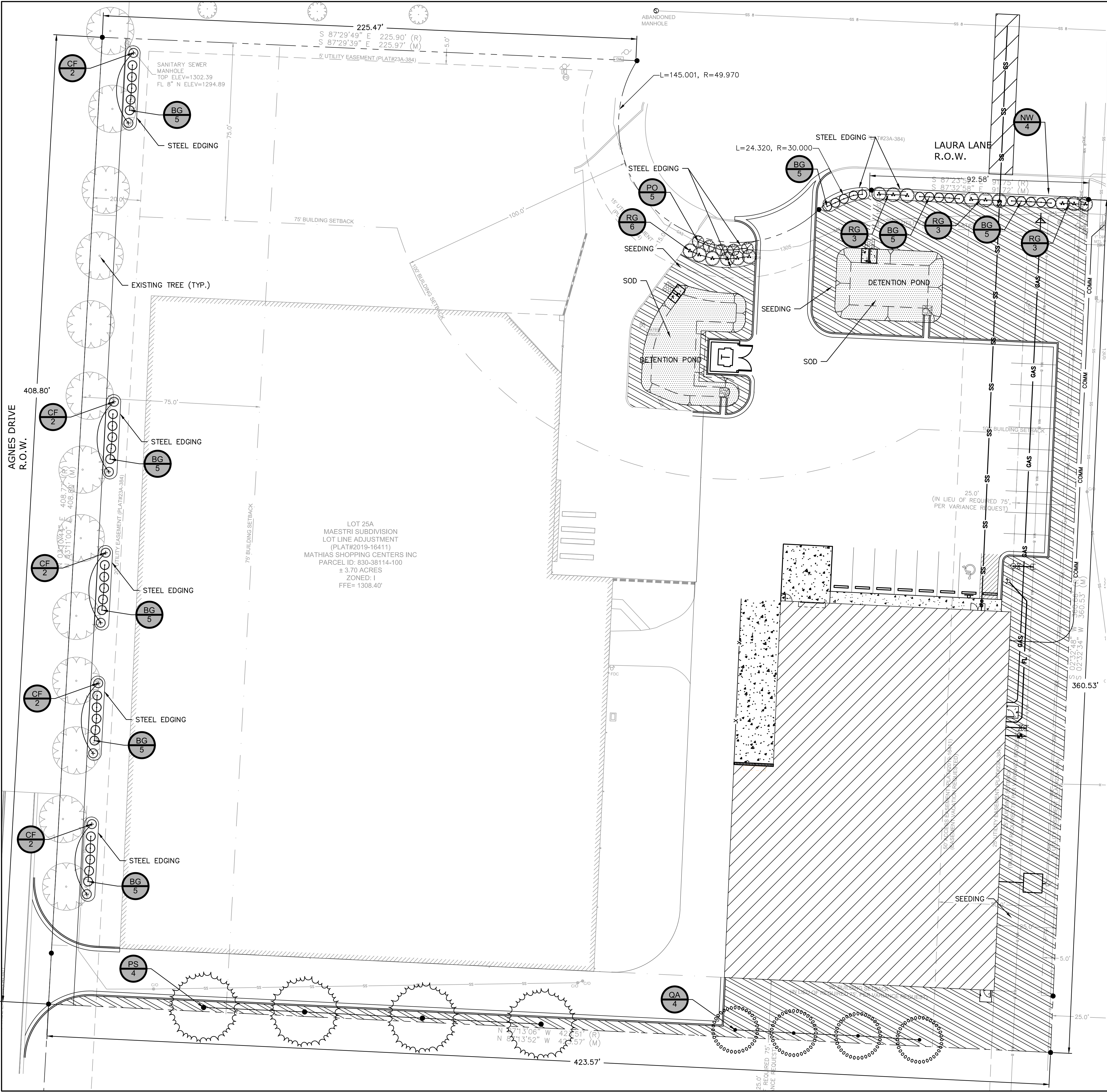
DETAILS SHEET 3

LAURA LANE WAREHOUSE ADDITION  
LARGE SCALE DEVELOPMENT PLANS

ONTITOWN. AR

drawn by:	CGS
checked by:	MKL
approved by:	MKL
QA/QC by:	MKL
project no.:	022-02470
drawing no.:	ABC.DWG
date:	08.02.22

SHEET  
C5.2



LANDSCAPE REQUIREMENTS		
	REQUIRED	PROPOSED
STREET TREES	NOT REQUIRED FOR INDUSTRIAL ZONE	N/A
STREET FRONTAGE BUFFER	WIDTH OF 10', 5 SHRUBS PER 50' FEET. ±669 LF (409 LF ALONG AGNES DR, 260 LF ALONG LAURA LANE) = 70 SHRUBS REQ ALONG LAURA LANE AND AGNES DR.	10'+ GREENSPACE, 70 SHRUBS
INTERIOR PARKING	NOT REQUIRED DUE TO LESS THAN 60 PARKING SPACES	N/A
PERIMETER	5' PERIMETER GREENSPACE STRIP, 1 TREE PER 50 LF ±1010 LF = 21 TREES REQUIRED	5+ GREENSPACE 13 EXISTING TREES (ALONG AGANES DR.), & 8 PROPOSED TREES (ON SOUTHERN PERIMETER DUE TO EASEMENT CONFLICT ON EASTERN AND NORTHERN PERIMETERS, AND OVERHEAD POWER LINE ON EASTERN PERIMETER)



SEE SHEET L1.1 - LANDSCAPE NOTES AND DETAILS  
FOR LANDSCAPE SCHEDULE

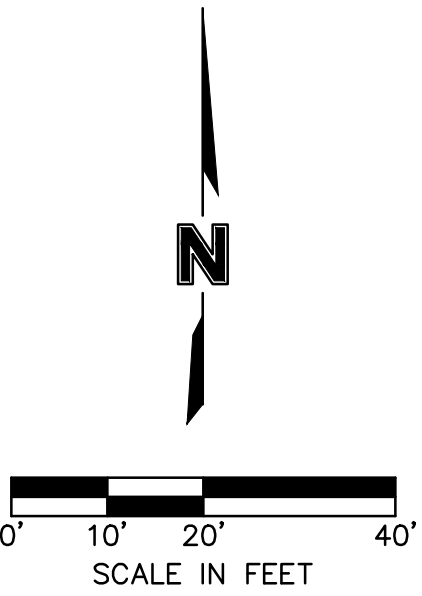
THE DEVELOPER SHALL GUARANTEE THAT ALL PLANT MATERIALS WILL BE WARRANTED FOR A PERIOD OF THREE YEARS FROM THE TIME OF INSTALLATION. IF ANY MATERIAL SHOULD FAIL TO SURVIVE DURING THAT PERIOD, IT WOULD BE REPLACED DURING THE APPROPRIATE PLANTING SEASON.

### EXISTING LEGEND

-----	RIGHT-OF-WAY LINE
=====	PROPERTY LINE
=====	BUILDING SETBACK
-----	UTILITY EASEMENT
----- W	EXIST. WATER PIPE
▲	BENCHMARK
☆	EXIST. LIGHT POLE
□	EXIST. TRANSFORMER
WM	EXIST. WATER METER
■	EXIST. GRATE INLET
⊕	EXIST. POWER POLE
⊕	EXIST. POWER POLE W/ LIGHT
⊙	EXIST. STEEL POST
⊗ W	EXIST. WATER VALVE

### HATCH LEGEND

	SOD
	SEEDING



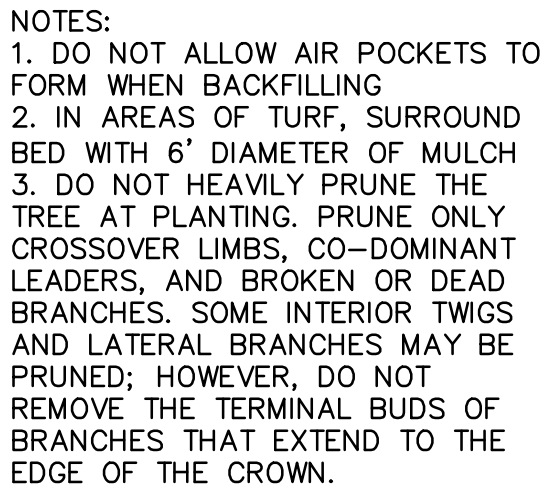
**BENCHMARK:**  
BENCHMARK #1  
TOP OF SANITARY  
MANHOLE AT NW CORNER  
OF SITE  
RIM ELEV. = 1302.39

**TOTAL GREEN SPACE:**

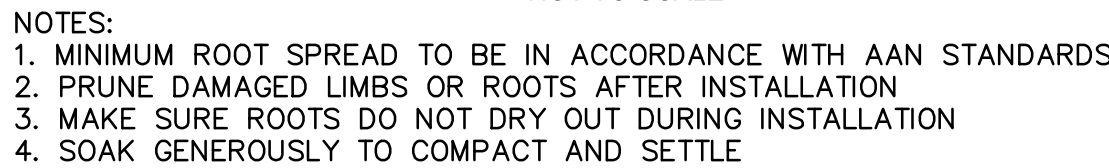
SITE AREA = 3.70 AC. (161,222 S.F.)  
TOTAL GREEN SPACE/ PERVIOUS AREA  
PROVIDED = 40,470 S.F. (25.10%)

**IMPERVIOUS AREA:**  
PROVIDED IMPERVIOUS AREA  
= 120,752 S.F. (74.90%)

F: \2022\02001-02500\022-02470\40-Design\AutoCAD\Final Plans\Sheets\C\_LSC01\_02202470.dwg  
 DWG: XREFS: V\_XTOPO\_02202470 C\_PBASE\_02202470 C\_PTBLK\_02202470  
 DATE: Aug 01, 2022 3:04pm  
 USER: cgsmith



NOT TO SCALE



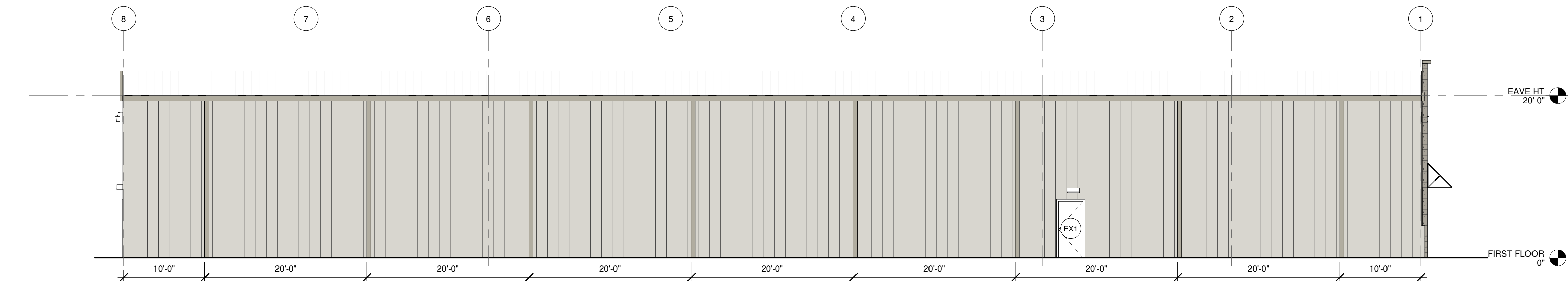
NOT TO SCALE

- ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
2. LOCATE AND FLAG ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL PROTECT EXISTING OVERHEAD AND UNDERGROUND UTILITIES. ANY DAMAGE TO SUCH SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
3. PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
4. PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF TONTOWN, ARKANSAS AND THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIAL SHALL BE NURSERY GROWN TO MEET MINIMUM SIZE AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
6. ALL TREES SHALL BE CALIPERED AND ANY UNDERSIZED TREES SHALL BE REJECTED. SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 4.5' ABOVE THE GRADE.
7. PLANTING OF TREES, SHRUBS, SODDED AND SEEDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (MARCH 15-JUNE 15) OR FALL (SEPTEMBER 1 - OCTOBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
8. CONTRACTOR SHALL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE THE LANDSCAPE ARCHITECT APPROVE ALL STAKING PRIOR TO INSTALLATION. FIELD ADJUSTMENTS MAY BE NECESSARY BASED UPON FIELD CONDITIONS (I.E. ROOT BALL AND DROP INLET CONFLICT). ALL ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
9. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
10. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL SHRUB BEDS PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
11. BACKFILL ALL PLANTING BEDS TO A MINIMUM 12-INCH DEPTH WITH PLANTING SOIL MIX. PLANTING SOIL MIX SHALL CONSIST OF ONE (1) PART PERLITE, ONE (1) PART PEAT MOSS, AND TWO (2) PARTS CLEAN LOAM TOPSOIL. THOROUGHLY MIX PLANTING SOIL COMPONENTS PRIOR TO PLACEMENT.
12. ALL LANDSCAPE PLANTING AREAS, EXCLUDING TURF AREAS SHALL BE MULCHED AS WITH CHOCOLATE COLOR HARDWOOD MULCH. ALL ANNUAL PLANTING AREAS SHALL BE MULCHED WITH HARDWOOD MULCH.
13. ALL MULCHED AREAS SHALL UTILIZE WEED MAT, AND SHALL APPLY AN INITIAL 4" MIN. OF MULCH.
14. ALUMINUM LANDSCAPE EDGING IS TO BE USED ON ALL LANDSCAPE BEDS ABUTTING SODDED AREAS AND TO SEPARATE ROCK MULCH AREAS FROM HARDWOOD MULCH AREAS.
15. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A HIGH-EFFICIENCY, AUTOMATIC IRRIGATION SYSTEM ACHIEVING 100% EVEN COVERAGE OF ALL LANDSCAPE AREAS. IRRIGATION SYSTEM TO BE DESIGNED & INSTALLED BY IRRIGATION CONTRACTOR & SHALL MEET ALL CITY REQUIREMENTS.
16. LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT HAS TAKEN PLACE. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
17. THE CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
18. LANDSCAPING MUST BE GUARANTEED FOR TWO YEARS.
19. LANDSCAPE COMPANY TO INCLUDE THE FIRST 2 MOWS.

3. ALL DISTURBED AREAS SHALL BE SODDED WITH TURF-TYPE TALL FESCUE SOD (WITH A MINIMUM OF 3 CULTIVARS) UNLESS SPECIFICALLY NOTED TO BE SEEDDED.
2. ALL AREAS DESIGNATED TO RECEIVE TEMPORARY OR PERMANENT SEED SHALL REFER TO EROSION CONTROL PLAN.
3. ALL LAWN AREAS SHALL RECEIVE A MINIMUM 6-INCH DEPTH OF TOPSOIL COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
4. THE ENTIRE SURFACE TO BE SODDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
5. SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4-INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, AND SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
6. HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
7. MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE, HARROW OR RAKE FERTILIZER IN THE TOP 1-1/2-INCHES OF TOPSOIL, AT A UNIFORM RATE OF ONE POUND OF NITROGEN PER 1000 S.F.
8. SOD SHALL BE CAREFULLY PLACED IN THE DIRECTION PARALLEL WITH THE SLOPE OF THE AREA TO BE SODDED. SOD STRIPS SHALL BE BUTTED TOGETHER BUT NOT OVERLAPPED WITH THE SEAMS STAGGERED ON EACH ROW.
9. FERTILIZER SHALL BE 20-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE, AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF ARKANSAS DEPT. OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N, P, K, IN THAT ORDER.
10. ALL SOD ON SLOPES GREATER THAN 5:1 AND WITHIN DETENTION AREAS SHALL BE STAKED.
11. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES BELOW SOD.
12. CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR SODDED TURF GRASS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF MUST BE ESTABLISHED. THE TURF GRASS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.



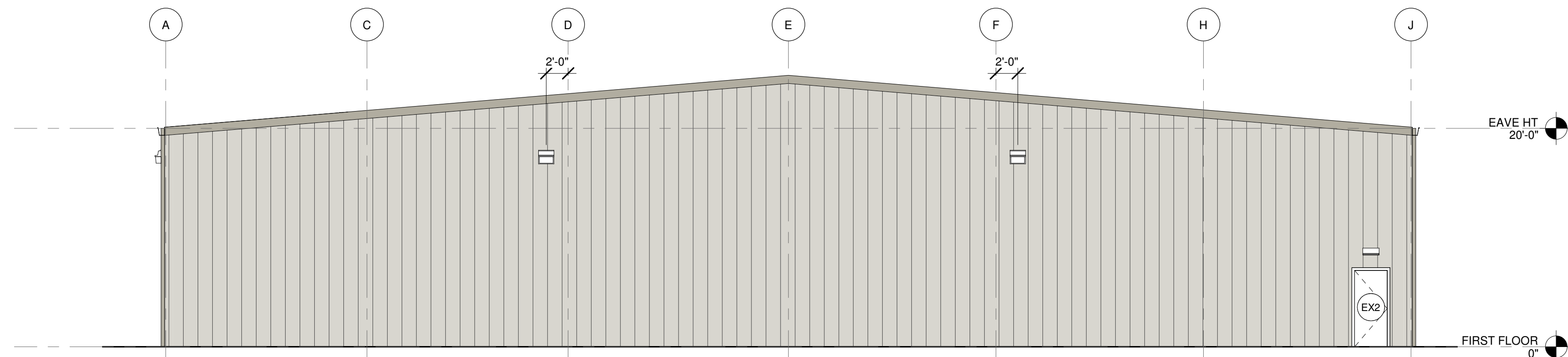
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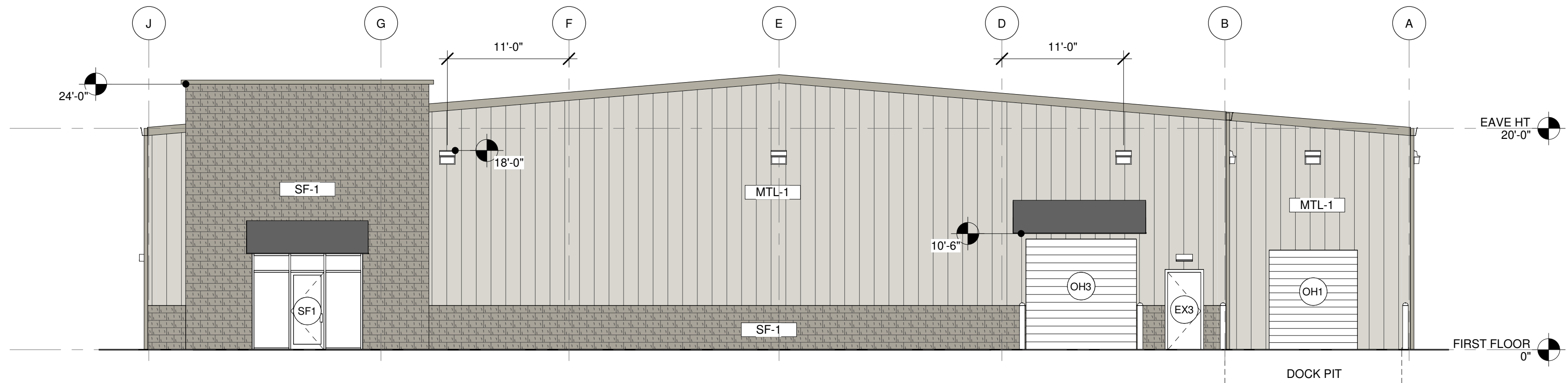
4 EAST ELEVATION  
1/8" = 1'-0"



3 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"

MATERIAL SCHEDULE	
MTL-1	METAL R-PANEL (ASH GRAY)
SF-1	MEDIUM TAN SPLIT FACE BLOCK W/ SEALER
CANOPIES	BLACK FABRIC
TRIM	PREFINISHED METAL (BURNISHED SLATE)
GUTTER	PREFINISHED METAL (BURNISHED SLATE)
DOWNSPOUT	PREFINISHED METAL (BURNISHED SLATE)
STOREFRONT	CLEAR ANODIZED
PLEASE PROVIDE ARCHITECT WITH COLOR SAMPLES TO VERIFY SELECTIONS	
EXTERIOR CMU	
1. 4" SPLITFACE WAINSCOT VENEER AND 8" SPLITFACE FULL WALL TO MATCH IN COLOR AND FINISH.	
2. 8" SPLITFACE WALL WILL REQUIRE A 1HR FIRE RATING. SUBMIT SUPPORTING DOCUMENTATION	
3. INTEGRAL WATER REPELLANT (IWR) TO BE USED IN CMU AND MORTAR. SUBMIT FOR APPROVAL	
4. SEAL BLOCK W/ PROFESSIONAL WATER SEALANT SW15	
ROOFING AND INSULATION	
1. ROOF MATERIAL: 24 GA 24" DOUBLE-LOK PANEL - GALVALUME FINISH	
2. ROOF INSULATION: PERFORMANCE TO EXCEED U-FACTOR: 0.055	
3. WALL INSULATION: R-19 WHITE VINYL FACED	
EXTERIOR DOORS	
1. PAINT EXTERIOR DOORS AND FRAMES TO MATCH METAL TRIM. (BURNISHED SLATE)	

SF-1 SPLITFACE CMU MEDIUM TAN - SUBMIT FOR APPROVAL	MTL-1 R-PANEL ASH GRAY - SUBMIT FOR APPROVAL
STOREFRONT CLEAR ANODIZED	CANOPIES BLACK FABRIC
GUTTERS/DOWNSPOUTS BURNISHED SLATE	

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NIELSEN ARCHITECTURE, LLC.

**LAURA LN WAREHOUSE**  
609 LAURA LANE, TONTOWN, AR

PROJECT NUMBER:  
2022-0063  
DRAWN BY: NJP  
APPROVED BY: EJJN  
ISSUE DATE:  
6-21-2022

REVISIONS		
#	DATE	DESCRIPTION

SHEET CONTENTS:

BUILDING  
ELEVATIONS

**A200**