

# LARGE SCALE DEVELOPMENT

for

## TOTITOWN FIRE DEPARTMENT NEW FIRE STATION

ALL OF BLOCK 43, THE NORTH HALF OF THE ABANDONED RIGHT OF WAY OF COLUMBUS AVENUE & THE ABANDONED ALLEY LESS & EXCEPT LOT 1 AND THE EAST HALF OF LOT 18 ALL BEING A PART OF THE ORIGINAL TOWN PLAT OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS

**LEGAL DESCRIPTION - PARCEL #830-37552-001:**

A PART OF THE NORTHWEST QUARTER OR THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, ALSO BEING DESCRIBED AS ALL OF BLOCK 43, THE NORTH HALF OF THE ABANDONED RIGHT OF WAY OF COLUMBUS AVENUE AND THE ABANDONED ALLEY, LESS AND EXCEPT LOT 1 AND THE EAST HALF OF LOT 18, ALL AS SHOWN ON THE ORIGINAL TOWN PLAT OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF BLOCK 44 OF THE ORIGINAL TOWN PLAT OF TONTITOWN, AND RUNNING S87°05'40"E 325.10 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING LOCATED ON THE SOUTHERN RIGHT OF WAY OF EAST BANDINI AVENUE, AND RUNNING ALONG SAID RIGHT OF WAY THENCE S87°05'40"E 275.20 FEET; THENCE LEAVING SAID RIGHT OF WAY S02°41'44"W 325.14 FEET; THENCE N87°12'21"W 275.20 FEET; THENCE N02°41'44"E 325.68 FEET TO THE POINT OF BEGINNING, CONTAINING IN ALL 2.06 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

**NOTES:**

1. PARCEL #830-37552-001.
2. CURRENT ZONING: C-2 (GENERAL COMMERCIAL).
3. ROTATION BASED ON ARKANSAS STATE PLANE GRID NORTH ZONE (NAD83).
4. THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) IS BEING UTILIZED FOR VERTICAL DATUM OF THIS SITE.
5. BOUNDARY BASED ON:
  - I. ORIGINAL PLAT FOR CITY OF TONTITOWN
  - II. SURVEY FILE #2004-00012215
  - III. SURVEY FILE #2021-00020493
  - IV. WARRANTY DEED, BOOK 2021, PAGE 16375
  - V. WARRANTY DEED, BOOK 2015, PAGE 35370
  - VI. WARRANTY DEED, BOOK 2004, PAGE 24746
6. OWNER: CITY OF TONTITOWN, ARKANSAS, PO BOX 305, TONTITOWN, AR 72770
7. THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FIRM #05143C0065F DATED APRIL 2, 2008.

**CERTIFICATE OF PRELIMINARY SURVEY ACCURACY**

I, DAVID L. JORGENSEN, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.

DATE OF EXECUTION: \_\_\_\_\_

REGISTERED LAND SURVEYOR

STATE OF ARKANSAS REGISTRATION NO. 1118

**CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY**

EACH SET OF STREET AND DRAINAGE PLANS MUST BE SUBMITTED IN ACCORDANCE WITH APPLICABLE STATE STATUTES AND ANY PLANS AND SPECIFICATIONS REQUIRED:

I, JARED S. INMAN, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN PREPARED UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.

DATE OF EXECUTION: \_\_\_\_\_

REGISTERED ENGINEER

STATE OF ARKANSAS REGISTRATION NO. 13842

**CERTIFICATE OF PRELIMINARY PLAT APPROVAL**

THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL EXPIRE ON \_\_\_\_\_ (DATE).

DATE OF EXECUTION: \_\_\_\_\_

CHAIRMAN, CITY OF TONTITOWN PLANNING COMMISSION

INCLUDING

LSD, GRADING, & LANDSCAPE PLAN



**JULY 2022**

**OWNER**

**CITY OF TONTITOWN, AR  
P.O. BOX 305  
TONTITOWN, AR 72770**

**CITY OF TONTITOWN CONTACT LIST:**

235 E. Henri De Tonti Blvd. Tontitown, AR 72770	Ph: (479) 361-2700 Fax: (479) 421-8774
<i>Building and Inspection</i>	Ph: (479) 263-9215
<i>Planning</i>	Ph: (479) 361-2700
<i>Public Works - Emergency/After Hours</i>	Ph: (479) 263-9213
<i>Public Safety</i>	Ph: (479) 361-2700
<i>Solid Waste</i>	Ph: (479) 361-2700
<i>Water &amp; Sewer</i>	Ph: (479) 361-2700
<i>Streets</i>	Ph: (479) 263-9216

**PREPARED BY:**



**JORGENSEN  
+ASSOCIATES**

Civil Engineering • Surveying [www.jorgensenassoc.com](http://www.jorgensenassoc.com)

124 W Sunbridge Drive, Suite 5  
Fayetteville, AR 72703  
Office: 479.442.9127  
Fax: 479.582.4807

## GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION AND/OR DAMAGE TO UTILITIES.
2. ALL PROCEDURES, MATERIAL AND WORKMANSHIP SHALL CONFORM TO SPECIFICATIONS OF THE WATER DEPARTMENT.
3. THERE ARE NUMEROUS PUBLIC AND PRIVATE UTILITIES WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND AN ATTEMPT HAS BEEN MADE TO INDICATE THEIR PRESENCE ON THE PLAN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION THE CONTRACTOR SHALL CONTACT THE VARIOUS UTILITY COMPANIES AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITY ON THE GROUND. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.
4. THERE ARE NO KNOWN GROUND LEASES, ACCESS AGREEMENTS, OR DEEDED MINERAL, GAS AND OIL RIGHTS.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF TONTITOWN'S LATEST WATER & SEWER SPECIFICATIONS.
6. CONTACT ALL UTILITIES PRIOR TO CONSTRUCTION TO INSURE THAT ALL EXISTING UTILITIES ARE LOCATED.
7. RESTORATION AND CLEAN-UP SHALL BE COMPLETE BEFORE ACCEPTANCE OF JOB.
8. SEE DETAILS/SPECIFICATIONS FOR ADDITIONAL INFORMATION.
9. BLASTING WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE FIRE CHIEF.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BMP'S, POSTING SWPPP ON SITE, AND MONITORING/MAINTENANCE OF EROSION CONTROL MEASURES.
11. ANY DAMAGE TO THE EXISTING PUBLIC STREET DUE TO CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE OWNER/DEVELOPERS EXPENSE.
12. FIRE HYDRANT CONSTRUCTION & TAP TO MAIN SHALL BE IN ACCORDANCE WITH THE CITY OF TONTITOWN WATER DEPARTMENT.
13. THIS SITE DOES NOT CONTAIN ANY KNOWN WETLANDS. AN ARMY CORPS OF ENGINEERS DETERMINATION IS NOT CURRENTLY IN PROGRESS AT THIS TIME.
14. THERE ARE NO KNOWN PREVIOUS SANITARY SEWER OVERFLOW PROBLEMS ON-SITE OR IN THE PROXIMITY OF THE SITE.
15. THERE ARE NO KNOWN EXISTING EROSION PROBLEMS ON-SITE OR WITHIN 100' DOWNSTREAM OF THE PROPERTY.
16. THERE ARE KNOWN EXISTING ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPOUNDMENTS, OR UNDERGROUND STRUCTURES WITHIN THE PROJECT. SEPTIC PERMIT ST000667 IS TIED TO THIS PROPERTY.
17. THERE ARE NO KNOWN POTENTIALLY DANGEROUS AREAS, SUCH AS AREAS SUBJECT TO FLOODING, SLOPE STABILITY, SETTLEMENT, EXCESSIVE NOISE, OR PREVIOUSLY FILLED AREAS.
18. THIS SITE WILL NOT CONTAIN ANY PROPOSED PUBLIC AREAS.



## INDEX OF SHEETS

C0.00	COVER SHEET
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C1.02	LARGE SCALE DEVELOPMENT PLAN
C1.03	UTILITY PLAN
C1.04	GRADING & STORM DRAINAGE PLAN
C1.05	PAVING & FIRE LANE STRIPING PLAN
C1.06	EROSION CONTROL PLAN
L1.00	LANDSCAPE PLAN
C5.00	WATER AND SEWER DETAILS I
C5.01	WATER AND SEWER DETAILS II
C5.02	TYPICAL DETAILS
C5.03	GRADING AND EROSION CONTROL DETAILS I
C5.04	GRADING AND EROSION CONTROL DETAILS II

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Established 1985



LEGEND

**PROJECT DETAILS**

**PROJECT TITLE:  
LSD FOR TONTITOWN  
FIRE DEPARTMENT -  
NEW FIRE STATION**

**PROJECT LOCATION:  
TONTITOWN, AR**

**REVISIONS**

DATE: 7/19/2022  
DRAWN BY: DBB  
PROJECT #2022-050  
FILE PATH: Z:\LSD\2022050  
SHEET SIZE: 22" x 34"  
SCALE: N/A

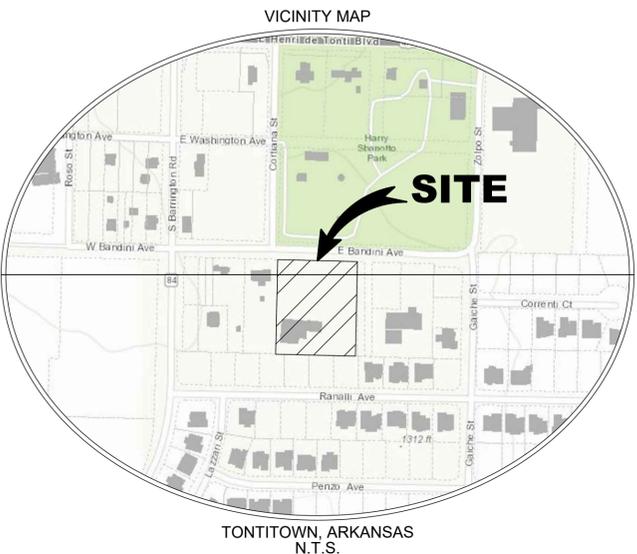
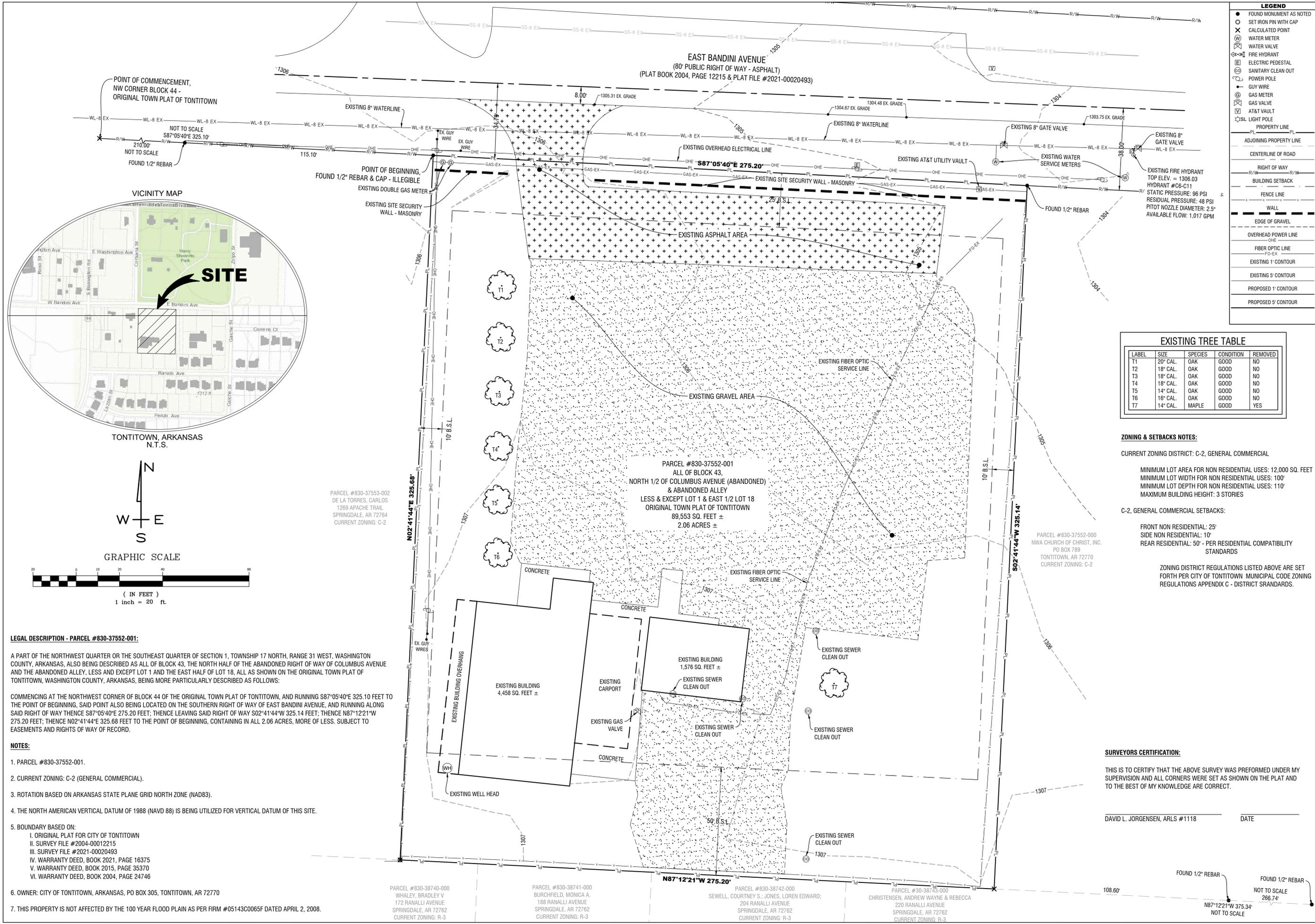


**SHEET TITLE**

**COVER SHEET**

**SHEET NUMBER**

**C0.00**



**LEGEND**

- FOUND MONUMENT AS NOTED
- SET IRON PIN WITH CAP
- CALCULATED POINT
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ ELECTRIC PEDESTAL
- ⊗ SANITARY CLEAN OUT
- ⊗ POWER POLE
- ⊗ GUY WIRE
- ⊗ GAS METER
- ⊗ GAS VALVE
- ⊗ AT&T VAULT
- ⊗ LIGHT POLE
- PL PROPERTY LINE
- ADJ. ADJOINING PROPERTY LINE
- CENTERLINE OF ROAD
- R/W RIGHT OF WAY
- B.S. BUILDING SETBACK
- FENCE LINE
- WALL
- EDGE OF GRAVEL
- OHE OVERHEAD POWER LINE
- FO-EX FIBER OPTIC LINE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR

**EXISTING TREE TABLE**

LABEL	SIZE	SPECIES	CONDITION	REMOVED
T1	20" CAL.	OAK	GOOD	NO
T2	18" CAL.	OAK	GOOD	NO
T3	18" CAL.	OAK	GOOD	NO
T4	18" CAL.	OAK	GOOD	NO
T5	14" CAL.	OAK	GOOD	NO
T6	16" CAL.	OAK	GOOD	NO
T7	14" CAL.	MAPLE	GOOD	YES

**ZONING & SETBACKS NOTES:**

CURRENT ZONING DISTRICT: C-2, GENERAL COMMERCIAL

MINIMUM LOT AREA FOR NON RESIDENTIAL USES: 12,000 SQ. FEET  
 MINIMUM LOT WIDTH FOR NON RESIDENTIAL USES: 100'  
 MINIMUM LOT DEPTH FOR NON RESIDENTIAL USES: 110'  
 MAXIMUM BUILDING HEIGHT: 3 STORIES

C-2, GENERAL COMMERCIAL SETBACKS:

FRONT NON RESIDENTIAL: 25'  
 SIDE NON RESIDENTIAL: 10'  
 REAR RESIDENTIAL: 50' - PER RESIDENTIAL COMPATIBILITY STANDARDS

ZONING DISTRICT REGULATIONS LISTED ABOVE ARE SET FORTH PER CITY OF TONTITOWN MUNICIPAL CODE ZONING REGULATIONS APPENDIX C - DISTRICT STANDARDS.

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7. THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FORM #05143C0065F DATED APRIL 2, 2008.

PARCEL #830-38740-000  
 WHALEY, BRADLEY V  
 172 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

PARCEL #830-38741-000  
 BURCHFIELD, MONICA A.  
 188 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

PARCEL #830-38742-000  
 SEWELL, COURTNEY S.; JONES, LOREN EDWARD;  
 204 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

PARCEL #30-38743-000  
 CHRISTENSEN, ANDREW WAYNE & REBECCA  
 220 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

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 Civil Engineering • Surveying • Established 1985

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**PROJECT DETAILS**

**PROJECT TITLE:** LSD FOR TONTITOWN FIRE DEPARTMENT - NEW FIRE STATION

**PROJECT LOCATION:** TONTITOWN, AR

**REVISIONS**

DATE: 7/19/2022  
 DRAWN BY: DBB  
 PROJECT #2022-050  
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 SCALE: 1" = 20'

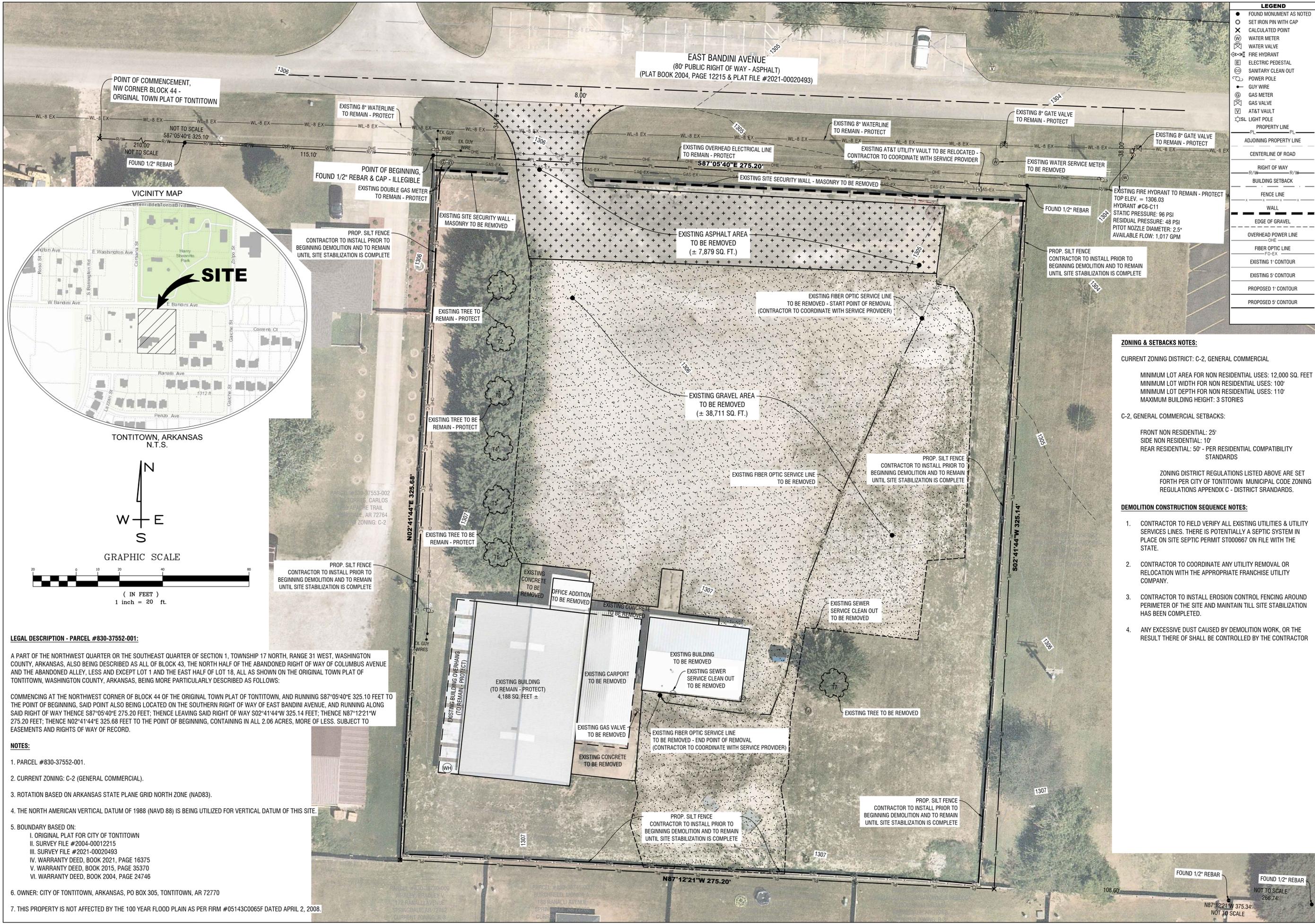
**CERTIFICATE OF AUTHORIZATION**  
 JORGENSEN + ASSOCIATES  
 No. 722  
 ARKANSAS - ENGINEER

**REGISTERED PROFESSIONAL LAND SURVEYOR**  
 DAVID L. JORGENSEN  
 STATE OF ARKANSAS NO. 1118

**SHEET TITLE**  
 BOUNDARY SURVEY

**SHEET NUMBER**  
 C1.00

DAVID L. JORGENSEN, ARLS #1118      DATE

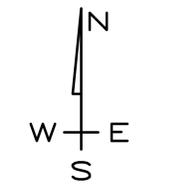


**LEGEND**

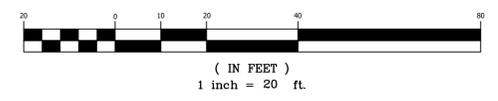
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- PL EXISTING 5' CONTOUR
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- PL PROPOSED 5' CONTOUR



TONTITOWN, ARKANSAS  
N.T.S.



GRAPHIC SCALE



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**DEMOLITION CONSTRUCTION SEQUENCE NOTES:**

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES & UTILITY SERVICES LINES. THERE IS POTENTIALLY A SEPTIC SYSTEM IN PLACE ON SITE SEPTIC PERMIT ST000667 ON FILE WITH THE STATE.
2. CONTRACTOR TO COORDINATE ANY UTILITY REMOVAL OR RELOCATION WITH THE APPROPRIATE FRANCHISE UTILITY COMPANY.
3. CONTRACTOR TO INSTALL EROSION CONTROL FENCING AROUND PERIMETER OF THE SITE AND MAINTAIN TILL SITE STABILIZATION HAS BEEN COMPLETED.
4. ANY EXCESSIVE DUST CAUSED BY DEMOLITION WORK, OR THE RESULT THERE OF SHALL BE CONTROLLED BY THE CONTRACTOR

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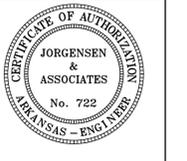
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**PROJECT TITLE:**  
 LSD FOR TONTITOWN  
 FIRE DEPARTMENT -  
 NEW FIRE STATION

**PROJECT LOCATION:**  
 TONTITOWN, AR

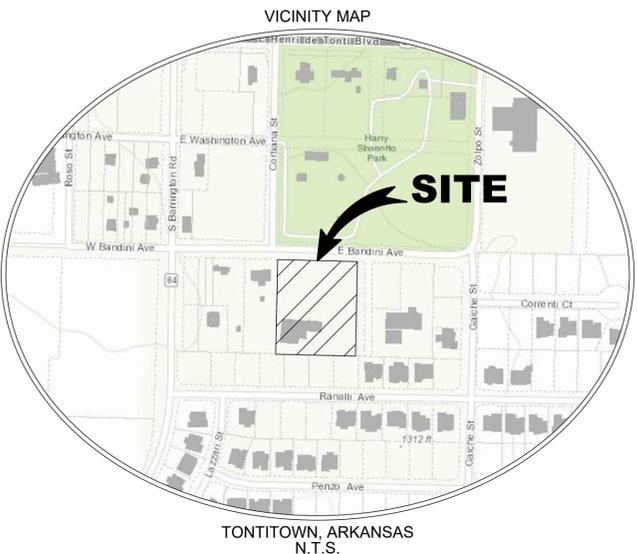
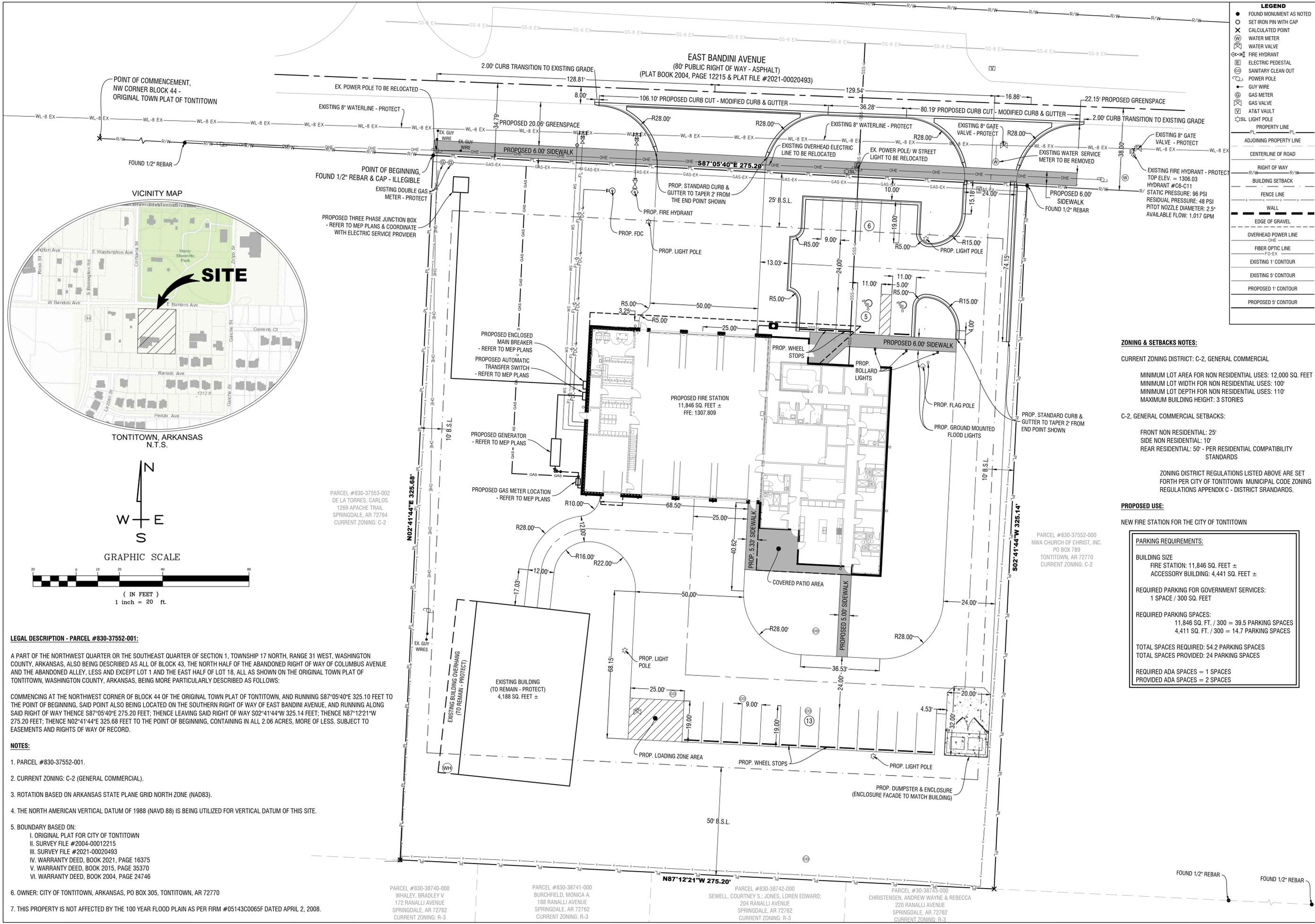
**REVISIONS**

DATE: 7/19/2022  
 DRAWN BY: DBB  
 PROJECT #2022-050  
 FILE PATH: Z:\LSD\2022050  
 SHEET SIZE: 22" x 34"  
 SCALE: 1" = 20'



**SHEET TITLE**  
 SITE DEMOLITION  
 PLAN

**SHEET NUMBER**  
 C1.01



**LEGEND**

- FOUND MONUMENT AS NOTED
- SET IRON PIN WITH CAP
- CALCULATED POINT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC PEDESTAL
- SANITARY CLEAN OUT
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**PROPOSED USE:**

NEW FIRE STATION FOR THE CITY OF TONTITOWN

**PARKING REQUIREMENTS:**

BUILDING SIZE  
 FIRE STATION: 11,846 SQ. FEET ±  
 ACCESSORY BUILDING: 4,441 SQ. FEET ±

REQUIRED PARKING FOR GOVERNMENT SERVICES:  
 1 SPACE / 300 SQ. FEET

REQUIRED PARKING SPACES:  
 11,846 SQ. FT. / 300 = 39.5 PARKING SPACES  
 4,411 SQ. FT. / 300 = 14.7 PARKING SPACES

TOTAL SPACES REQUIRED: 54.2 PARKING SPACES  
 TOTAL SPACES PROVIDED: 24 PARKING SPACES

REQUIRED ADA SPACES = 1 SPACES  
 PROVIDED ADA SPACES = 2 SPACES

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  4. THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) IS BEING UTILIZED FOR VERTICAL DATUM OF THIS SITE.
  5. BOUNDARY BASED ON:
    - I. ORIGINAL PLAT FOR CITY OF TONTITOWN
    - II. SURVEY FILE #2004-00012215
    - III. SURVEY FILE #2021-00020493
    - IV. WARRANTY DEED, BOOK 2021, PAGE 16375
    - V. WARRANTY DEED, BOOK 2015, PAGE 35370
    - VI. WARRANTY DEED, BOOK 2004, PAGE 24746
  6. OWNER: CITY OF TONTITOWN, ARKANSAS, PO BOX 305, TONTITOWN, AR 72770
  7. THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FORM #05143C0065F DATED APRIL 2, 2008.

PARCEL #830-37552-000  
 DE LA TORRES, CARLOS  
 1269 APACHE TRAIL  
 SPRINGDALE, AR 72764  
 CURRENT ZONING: C-2

PARCEL #830-38740-000  
 WHALEY, BRADLEY V  
 172 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

PARCEL #830-38741-000  
 BURCHFIELD, MONICA A.  
 188 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

PARCEL #830-38742-000  
 SEWELL, COURTNEY S.; JONES, LOREN EDWARD;  
 204 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

PARCEL #30-38743-000  
 CHRISTENSEN, ANDREW WAYNE & REBECCA  
 220 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

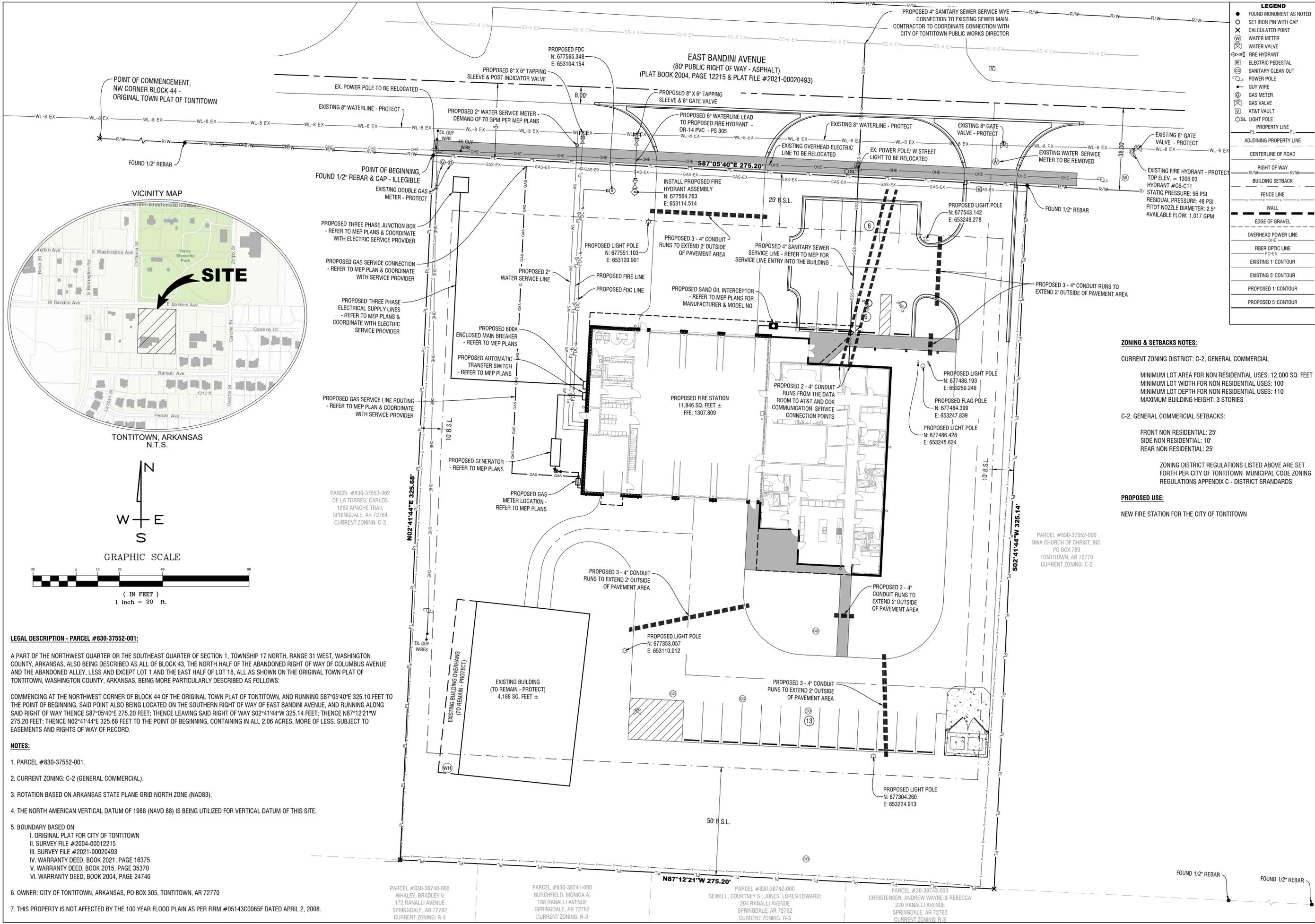
**PROJECT TITLE:**  
 LSD FOR TONTITOWN  
 FIRE DEPARTMENT -  
 NEW FIRE STATION

**PROJECT LOCATION:**  
 TONTITOWN, AR

**REVISIONS**

DATE: 7/19/2022  
 DRAWN BY: DBB  
 PROJECT #2022-050  
 FILE PATH: Z:\LSD\2022050  
 SHEET SIZE: 22" x 34"  
 SCALE: 1" = 20'





**LEGEND**

- FOUND MONUMENT AS NOTED
- SET IRON PIN WITH CAP
- CALCULATED POINT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC PEDESTAL
- SANITARY CLEAN OUT
- POWER POLE
- GUY WIRE
- GAS METER
- GAS VALVE
- AT&T VAULT
- LIGHT POLE
- PL — PROPERTY LINE
- PL — ADJOINING PROPERTY LINE
- — CENTERLINE OF ROAD
- R/W — RIGHT OF WAY
- B/S.L. — BUILDING SETBACK
- — FENCE LINE
- — WALL
- — EDGE OF GRAVEL
- OHE — OVERHEAD POWER LINE
- FO-EX — FIBER OPTIC LINE
- — EXISTING 1' CONTOUR
- — EXISTING 5' CONTOUR
- — PROPOSED 1' CONTOUR
- — PROPOSED 5' CONTOUR

**ZONING & SETBACKS NOTES:**

CURRENT ZONING DISTRICT: C-2, GENERAL COMMERCIAL

MINIMUM LOT AREA FOR NON RESIDENTIAL USES: 12,000 SQ. FEET  
 MINIMUM LOT WIDTH FOR NON RESIDENTIAL USES: 100'  
 MINIMUM LOT DEPTH FOR NON RESIDENTIAL USES: 110'  
 MAXIMUM BUILDING HEIGHT: 3 STORIES

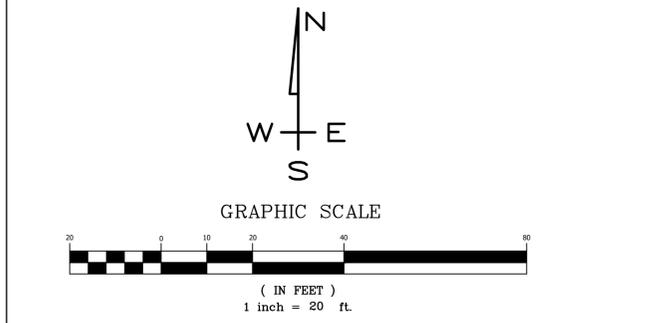
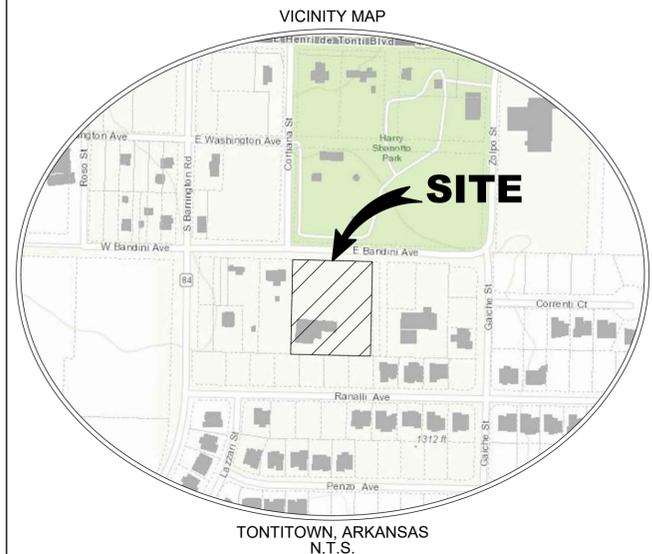
C-2, GENERAL COMMERCIAL SETBACKS:

FRONT NON RESIDENTIAL: 25'  
 SIDE NON RESIDENTIAL: 10'  
 REAR NON RESIDENTIAL: 25'

ZONING DISTRICT REGULATIONS LISTED ABOVE ARE SET FORTH PER CITY OF TONTITOWN MUNICIPAL CODE ZONING REGULATIONS APPENDIX C - DISTRICT STANDARDS.

**PROPOSED USE:**

NEW FIRE STATION FOR THE CITY OF TONTITOWN



**LEGAL DESCRIPTION - PARCEL #830-37552-001:**

A PART OF THE NORTHWEST QUARTER OR THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, ALSO BEING DESCRIBED AS ALL OF BLOCK 43, THE NORTH HALF OF THE ABANDONED RIGHT OF WAY OF COLUMBUS AVENUE AND THE ABANDONED ALLEY, LESS AND EXCEPT LOT 1 AND THE EAST HALF OF LOT 18, ALL AS SHOWN ON THE ORIGINAL TOWN PLAT OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF BLOCK 44 OF THE ORIGINAL TOWN PLAT OF TONTITOWN, AND RUNNING S87°05'40"E 325.10 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING LOCATED ON THE SOUTHERN RIGHT OF WAY OF EAST BANDINI AVENUE, AND RUNNING ALONG SAID RIGHT OF WAY THENCE S87°05'40"E 275.20 FEET; THENCE LEAVING SAID RIGHT OF WAY S02°41'44"W 325.14 FEET; THENCE N87°12'21"W 275.20 FEET; THENCE N02°41'44"E 325.68 FEET TO THE POINT OF BEGINNING, CONTAINING IN ALL 2.06 ACRES, MORE OR LESS, SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

- NOTES:**
1. PARCEL #830-37552-001.
  2. CURRENT ZONING: C-2 (GENERAL COMMERCIAL).
  3. ROTATION BASED ON ARKANSAS STATE PLANE GRID NORTH ZONE (NAD83).
  4. THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) IS BEING UTILIZED FOR VERTICAL DATUM OF THIS SITE.
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    - II. SURVEY FILE #2004-00012215
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    - V. WARRANTY DEED, BOOK 2015, PAGE 35370
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  6. OWNER: CITY OF TONTITOWN, ARKANSAS, PO BOX 305, TONTITOWN, AR 72770
  7. THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FORM #05143C0065F DATED APRIL 2, 2008.

PARCEL #830-38740-000 WHALEY, BRADLEY V 172 RANALLI AVENUE SPRINGDALE, AR 72762 CURRENT ZONING: R-3

PARCEL #830-38741-000 BURCHFIELD, MONICA A. 188 RANALLI AVENUE SPRINGDALE, AR 72762 CURRENT ZONING: R-3

PARCEL #830-38742-000 SEWELL, COURTNEY S.; JONES, LOREN EDWARD; 204 RANALLI AVENUE SPRINGDALE, AR 72762 CURRENT ZONING: R-3

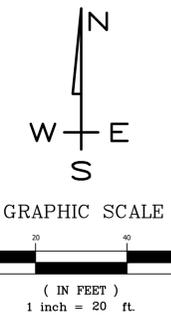
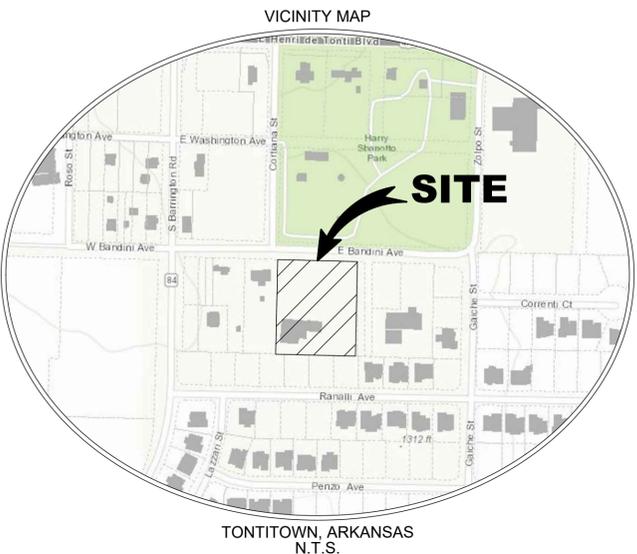
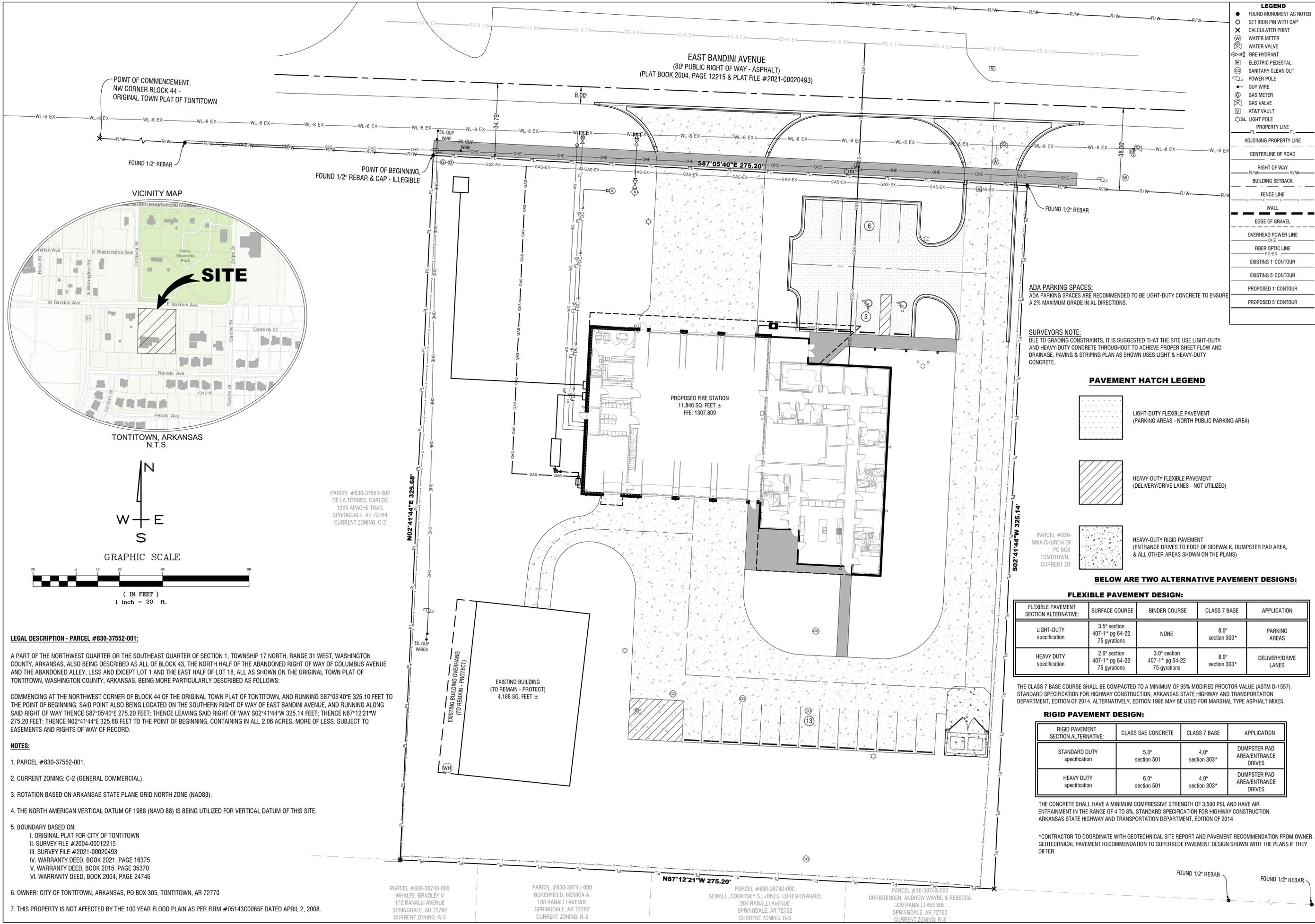
PARCEL #830-38743-000 CHRISTENSEN, ANDREW WAYNE & REBECCA 220 RANALLI AVENUE SPRINGDALE, AR 72762 CURRENT ZONING: R-3

**PROJECT TITLE:**  
 LSD FOR TONTITOWN FIRE DEPARTMENT - NEW FIRE STATION

**PROJECT LOCATION:**  
 TONTITOWN, AR

**DATE:** 7/19/2022  
**DRAWN BY:** DBB  
**PROJECT #:** 2022-050  
**FILE PATH:** Z:\LSD\2022050  
**SHEET SIZE:** 22" x 34"  
**SCALE:** 1" = 20'





**LEGAL DESCRIPTION - PARCEL #830-37552-001:**

A PART OF THE NORTHWEST QUARTER OR THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, ALSO BEING DESCRIBED AS ALL OF BLOCK 43, THE NORTH HALF OF THE ABANDONED RIGHT OF WAY OF COLUMBUS AVENUE AND THE ABANDONED ALLEY, LESS AND EXCEPT LOT 1 AND THE EAST HALF OF LOT 18, ALL AS SHOWN ON THE ORIGINAL TOWN PLAT OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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PARCEL #830-38740-000  
WHALEY, BRADLEY V  
172 RANALLI AVENUE  
SPRINGDALE, AR 72762  
CURRENT ZONING: R-3

PARCEL #830-38741-000  
BURCHFIELD, MONICA A.  
188 RANALLI AVENUE  
SPRINGDALE, AR 72762  
CURRENT ZONING: R-3

PARCEL #830-38742-000  
SEWELL, COURTNEY S.; JONES, LOREN EDWARD;  
204 RANALLI AVENUE  
SPRINGDALE, AR 72762  
CURRENT ZONING: R-3

PARCEL #30-38743-000  
CHRISTENSEN, ANDREW WAYNE & REBECCA  
220 RANALLI AVENUE  
SPRINGDALE, AR 72762  
CURRENT ZONING: R-3

**LEGEND**

- FOUND MONUMENT AS NOTED
- SET IRON PIN WITH CAP
- ⊗ CALCULATED POINT
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ ELECTRIC PEDESTAL
- ⊕ SANITARY CLEAN OUT
- ⊕ POWER POLE
- ⊕ GUY WIRE
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ AT&T VAULT
- ⊕ SL LIGHT POLE
- PL PROPERTY LINE
- ADJOINING PROPERTY LINE
- CENTERLINE OF ROAD
- R/W RIGHT OF WAY
- BUILDING SETBACK
- FENCE LINE
- WALL
- EDGE OF GRAVEL
- OHE OVERHEAD POWER LINE
- FO-EX FIBER OPTIC LINE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR

**ADA PARKING SPACES:**  
ADA PARKING SPACES ARE RECOMMENDED TO BE LIGHT-DUTY CONCRETE TO ENSURE A 2% MAXIMUM GRADE IN ALL DIRECTIONS.

**SURVEYORS NOTE:**  
DUE TO GRADING CONSTRAINTS, IT IS SUGGESTED THAT THE SITE USE LIGHT-DUTY AND HEAVY-DUTY CONCRETE THROUGHOUT TO ACHIEVE PROPER SHEET FLOW AND DRAINAGE. PAVING & STRIPING PLAN AS SHOWN USES LIGHT & HEAVY-DUTY CONCRETE.

**PAVEMENT HATCH LEGEND**

- LIGHT-DUTY FLEXIBLE PAVEMENT (PARKING AREAS - NORTH PUBLIC PARKING AREA)
- HEAVY-DUTY FLEXIBLE PAVEMENT (DELIVERY/DRIVE LANES - NOT UTILIZED)
- HEAVY-DUTY RIGID PAVEMENT (ENTRANCE DRIVES TO EDGE OF SIDEWALK, DUMPSTER PAD AREA, & ALL OTHER AREAS SHOWN ON THE PLANS)

**BELOW ARE TWO ALTERNATIVE PAVEMENT DESIGNS:**

**FLEXIBLE PAVEMENT DESIGN:**

FLEXIBLE PAVEMENT SECTION ALTERNATIVE:	SURFACE COURSE	BINDER COURSE	CLASS 7 BASE	APPLICATION
LIGHT-DUTY specification	3.5" section 407-1" pg 64-22 75 gyrations	NONE	8.0" section 303*	PARKING AREAS
HEAVY DUTY specification	2.0" section 407-1" pg 64-22 75 gyrations	3.0" section 407-1" pg 64-22 75 gyrations	8.0" section 303*	DELIVERY/DRIVE LANES

THE CLASS 7 BASE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR VALUE (ASTM D-1557). STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT, EDITION OF 2014. ALTERNATIVELY, EDITION 1996 MAY BE USED FOR MARSHAL TYPE ASPHALT MIXES.

**RIGID PAVEMENT DESIGN:**

RIGID PAVEMENT SECTION ALTERNATIVE:	CLASS SAE CONCRETE	CLASS 7 BASE	APPLICATION
STANDARD DUTY specification	5.0" section 501	4.0" section 303*	DUMPSTER PAD AREA/ENTRANCE DRIVES
HEAVY DUTY specification	6.0" section 501	4.0" section 303*	DUMPSTER PAD AREA/ENTRANCE DRIVES

THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI, AND HAVE AIR ENTRAINMENT IN THE RANGE OF 4 TO 8%. STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT, EDITION OF 2014

\*CONTRACTOR TO COORDINATE WITH GEOTECHNICAL SITE REPORT AND PAVEMENT RECOMMENDATION FROM OWNER. GEOTECHNICAL PAVEMENT RECOMMENDATION TO SUPERSEDE PAVEMENT DESIGN SHOWN WITH THE PLANS IF THEY DIFFER

**JORGENSEN + ASSOCIATES**  
Civil Engineering • Surveying • Established 1985

124 W. Sunbridge Drive, Suite 5  
Fayetteville, AR 72703  
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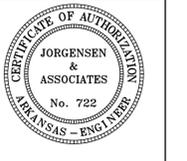
**PROJECT DETAILS**

**PROJECT TITLE:** LSD FOR TONTITOWN FIRE DEPARTMENT - NEW FIRE STATION

**PROJECT LOCATION:** TONTITOWN, AR

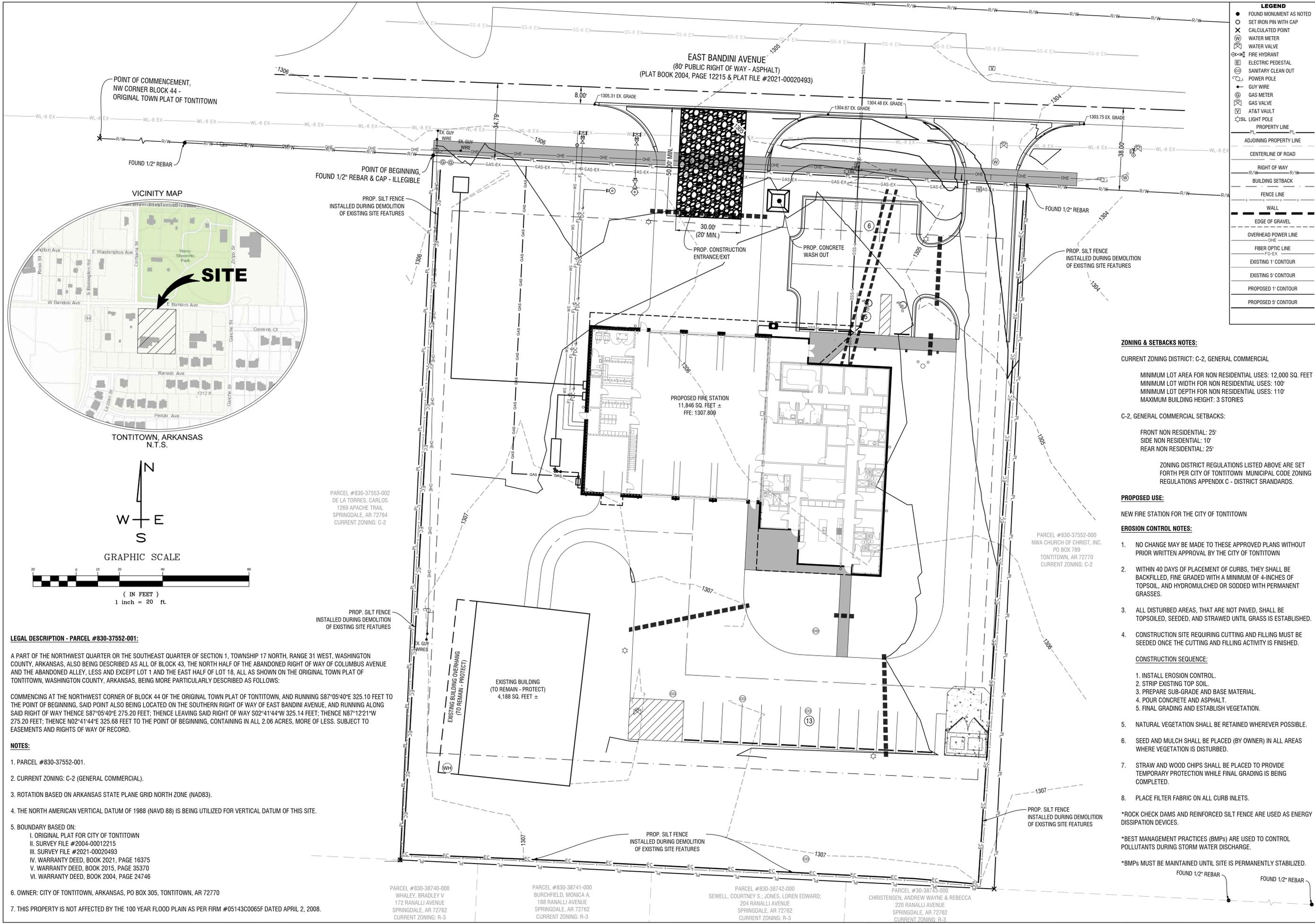
**REVISIONS**

DATE: 7/19/2022  
DRAWN BY: DBB  
PROJECT #2022-050  
FILE PATH: Z:\LSD\2022050  
SHEET SIZE: 22" x 34"  
SCALE: 1" = 20'



**SHEET TITLE**  
**PAVING & STRIPING PLAN**

**SHEET NUMBER**  
**C1.05**



**LEGEND**

- FOUND MONUMENT AS NOTED
- SET IRON PIN WITH CAP
- CALCULATED POINT
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ ELECTRIC PEDESTAL
- ⊗ SANITARY CLEAN OUT
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- ⊗ GAS VALVE
- ⊗ AT&T VAULT
- ⊗ SL LIGHT POLE
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- CENTERLINE OF ROAD
- RIGHT OF WAY
- BUILDING SETBACK
- FENCE LINE
- WALL
- EDGE OF GRAVEL
- OVERHEAD POWER LINE
- FIBER OPTIC LINE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR

**ZONING & SETBACKS NOTES:**

CURRENT ZONING DISTRICT: C-2, GENERAL COMMERCIAL

MINIMUM LOT AREA FOR NON RESIDENTIAL USES: 12,000 SQ. FEET  
 MINIMUM LOT WIDTH FOR NON RESIDENTIAL USES: 100'  
 MINIMUM LOT DEPTH FOR NON RESIDENTIAL USES: 110'  
 MAXIMUM BUILDING HEIGHT: 3 STORIES

C-2, GENERAL COMMERCIAL SETBACKS:

FRONT NON RESIDENTIAL: 25'  
 SIDE NON RESIDENTIAL: 10'  
 REAR NON RESIDENTIAL: 25'

ZONING DISTRICT REGULATIONS LISTED ABOVE ARE SET FORTH PER CITY OF TONTITOWN MUNICIPAL CODE ZONING REGULATIONS APPENDIX C - DISTRICT STANDARDS.

**PROPOSED USE:**

NEW FIRE STATION FOR THE CITY OF TONTITOWN

**EROSION CONTROL NOTES:**

- NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF TONTITOWN
- WITHIN 40 DAYS OF PLACEMENT OF CURBS, THEY SHALL BE BACKFILLED, FINE GRADED WITH A MINIMUM OF 4-INCHES OF TOPSOIL, AND HYDROMULCHED OR SODDED WITH PERMANENT GRASSES.
- ALL DISTURBED AREAS, THAT ARE NOT PAVED, SHALL BE TOPSOILED, SEEDED, AND STRAWED UNTIL GRASS IS ESTABLISHED.
- CONSTRUCTION SITE REQUIRING CUTTING AND FILLING MUST BE SEEDED ONCE THE CUTTING AND FILLING ACTIVITY IS FINISHED.

**CONSTRUCTION SEQUENCE:**

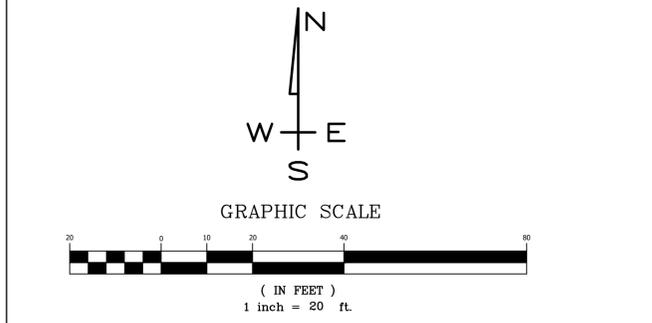
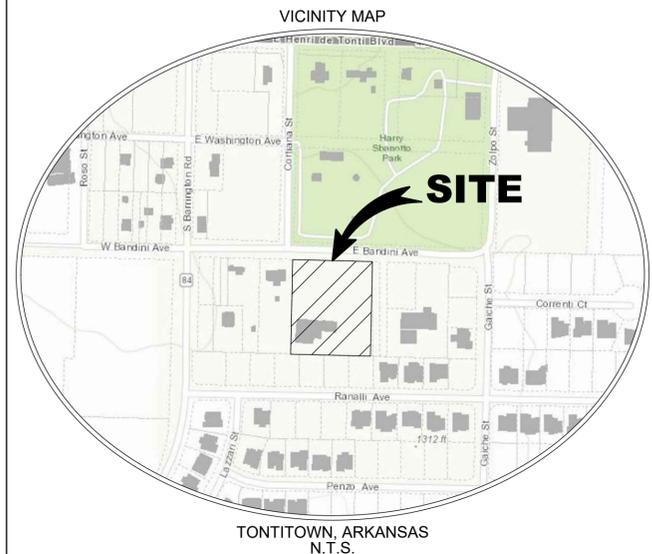
- INSTALL EROSION CONTROL.
- STRIP EXISTING TOP SOIL.
- PREPARE SUB-GRADE AND BASE MATERIAL.
- POUR CONCRETE AND ASPHALT.
- FINAL GRADING AND ESTABLISH VEGETATION.

- NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
- SEED AND MULCH SHALL BE PLACED (BY OWNER) IN ALL AREAS WHERE VEGETATION IS DISTURBED.
- STRAW AND WOOD CHIPS SHALL BE PLACED TO PROVIDE TEMPORARY PROTECTION WHILE FINAL GRADING IS BEING COMPLETED.
- PLACE FILTER FABRIC ON ALL CURB INLETS.

\*ROCK CHECK DAMS AND REINFORCED SILT FENCE ARE USED AS ENERGY DISSIPATION DEVICES.

\*BEST MANAGEMENT PRACTICES (BMPs) ARE USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE.

\*BMPs MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED.



**LEGAL DESCRIPTION - PARCEL #830-37552-001:**

A PART OF THE NORTHWEST QUARTER OR THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, ALSO BEING DESCRIBED AS ALL OF BLOCK 43, THE NORTH HALF OF THE ABANDONED RIGHT OF WAY OF COLUMBUS AVENUE AND THE ABANDONED ALLEY, LESS AND EXCEPT LOT 1 AND THE EAST HALF OF LOT 18, ALL AS SHOWN ON THE ORIGINAL TOWN PLAT OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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**NOTES:**

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- OWNER: CITY OF TONTITOWN, ARKANSAS, PO BOX 305, TONTITOWN, AR 72770
- THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FORM #05143C0065F DATED APRIL 2, 2008.

PARCEL #830-37553-002  
 DE LA TORRES, CARLOS  
 1269 APACHE TRAIL  
 SPRINGDALE, AR 72764  
 CURRENT ZONING: C-2

PROP. SILT FENCE  
 INSTALLED DURING DEMOLITION  
 OF EXISTING SITE FEATURES

PARCEL #830-38740-000  
 WHALEY, BRADLEY V  
 172 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

PARCEL #830-38741-000  
 BURCHFIELD, MONICA A.  
 188 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

PARCEL #830-38742-000  
 SEWELL, COURTNEY S.; JONES, LOREN EDWARD;  
 204 RANALLI AVENUE  
 SPRINGDALE, AR 72762  
 CURRENT ZONING: R-3

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 CHRISTENSEN, ANDREW WAYNE & REBECCA  
 220 RANALLI AVENUE  
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 CURRENT ZONING: R-3

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 www.jorgensenassoc.com  
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**JORGENSEN + ASSOCIATES**  
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**LEGEND**

**PROJECT DETAILS**

**PROJECT TITLE:** LSD FOR TONTITOWN FIRE DEPARTMENT - NEW FIRE STATION

**PROJECT LOCATION:** TONTITOWN, AR

**REVISIONS**

**DATE:** 7/19/2022  
**DRAWN BY:** DBB  
**PROJECT #:** 2022-050  
**FILE PATH:** 2:\LSD\2022050  
**SHEET SIZE:** 22" x 34"  
**SCALE:** 1" = 20'

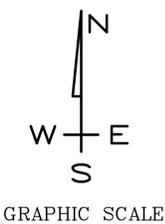
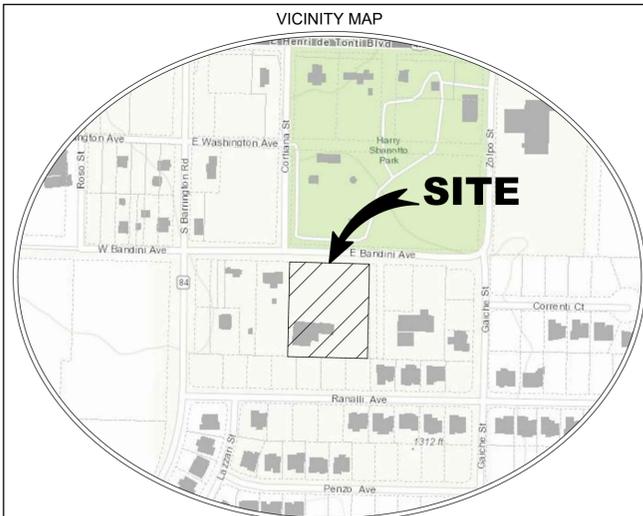
**CERTIFICATE OF AUTHORIZATION**  
 JORGENSEN & ASSOCIATES  
 No. 722  
 ARKANSAS - ENGINEER

**SHEET TITLE**

**EROSION CONTROL PLAN**

**SHEET NUMBER**

**C1.06**



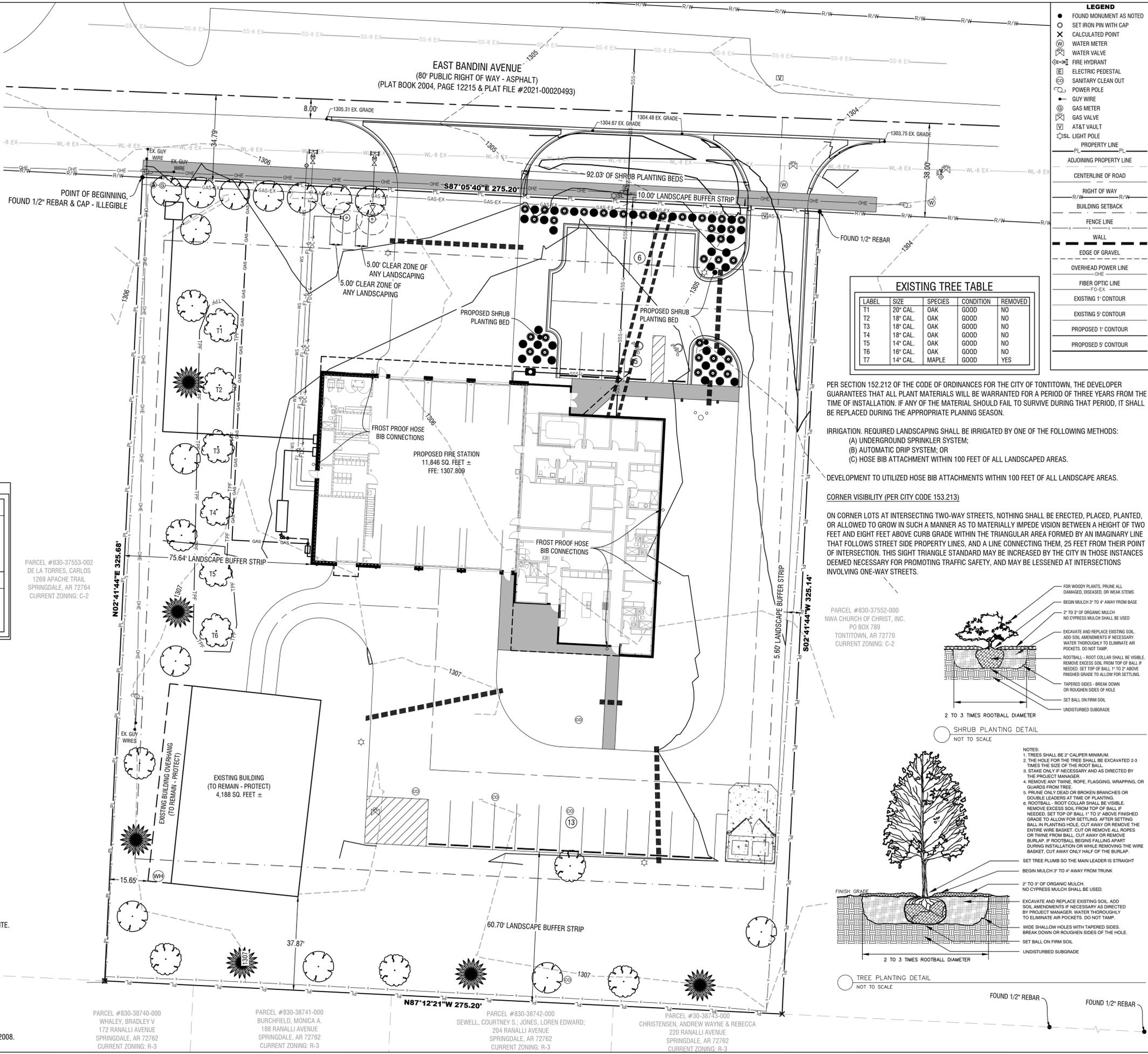
PROPOSED LANDSCAPING PLANTS					
EXISTING TREE	QUANTITY	SYMBOL	COMMON NAME & BOTANICAL NAME	ROOT	MINIMUM SIZE
PROPOSED TREE "GR"	8 STREET GR - 9	"GR" - GOLDEN RAIN	GOLDEN RAIN TREE KOELREUTERIA PANICULATA	B&B	2.5" CAL (ALL)
PROPOSED TREE "LP"	1 PARKING LP - 1	"LP" - LONDON PLANE	LONDON PLANE TREE PLATANUS X ACERIFOLIA		
PROPOSED TREE "SM"	19 PERIMETER GR - 6 LP - 6 SM - 7	"SM" - SUGAR MAPLE	SUGAR MAPLE ACER SACCHARUM		
PROPOSED SHRUB "YP"	34 STREET YP - 17 DB - 17	"YP" - YAUPON	YAUPON HOLLIES LLEX VOMITORIA "NANA"	CONTAINER	3 GALLON (ALL)
PROPOSED SHRUB "DB"	33 LANDSCAPING YP - 14 DB - 19	"DB" - BAREBERRY	DWARF BAREBERRY BERBERIS THUNBERGII "CRIMSON PYGMY"		

**LANDSCAPE REQUIREMENTS:**

- PERIMETER TREES (REAR / SIDES)**  
1 TREE EVERY 50 LINEAR FEET OF SIDE & REAR PROPERTY LINE  
926 L.F. / 50 = 18.50 TREES REQUIRED (19 TREES PROVIDED)
- STREET TREES:**  
1 TREE + 5 SHRUBS EVERY 30 LINEAR FEET OF STREET FRONTAGE  
201.20 L.F. / 30 = 6.70 TREES & 33.50 SHRUBS REQUIRED (7 TREES & 34 SHRUBS PROVIDED)
- PARKING LOT TREES:**  
1 TREE PER 15 PARKING SPACES  
22 PARKING SPACES / 15 = 1.4 TREES REQUIRED (1 TREE PROVIDED)
- BUILDING FRONTAGE LANDSCAPING:**  
LANDSCAPING SPAN 25% OF BUILDING FRONTAGE  
140.64 L.F. x 25% = 35.10 L.F. LANDSCAPING REQUIRED (35 L.F. OF LANDSCAPING AREA PROVIDED)
- ESTABLISH VEGETATION ON ALL DISTURBED AREAS WITH SOD OR SEED.

**NOTES:**

1. PARCEL #830-37552-001.
2. CURRENT ZONING: C-2 (GENERAL COMMERCIAL).
3. ROTATION BASED ON ARKANSAS STATE PLANE GRID NORTH ZONE (NAD83).
4. THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) IS BEING UTILIZED FOR VERTICAL DATUM OF THIS SITE.
5. BOUNDARY BASED ON:
  - I. ORIGINAL PLAT FOR CITY OF TONTITOWN
  - II. SURVEY FILE #2004-00012215
  - III. SURVEY FILE #2021-00020493
  - IV. WARRANTY DEED, BOOK 2021, PAGE 16375
  - V. WARRANTY DEED, BOOK 2015, PAGE 35370
  - VI. WARRANTY DEED, BOOK 2004, PAGE 24746
6. OWNER: CITY OF TONTITOWN, ARKANSAS, PO BOX 305, TONTITOWN, AR 72770
7. THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FORM #05143C0065F DATED APRIL 2, 2008.



**LEGEND**

- FOUND MONUMENT AS NOTED
- SET IRON PIN WITH CAP
- CALCULATED POINT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC PEDESTAL
- SANITARY CLEAN OUT
- POWER POLE
- GUY WIRE
- GAS METER
- GAS VALVE
- AT&T VAULT
- SL LIGHT POLE
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- CENTERLINE OF ROAD
- RIGHT OF WAY
- BUILDING SETBACK
- FENCE LINE
- WALL
- EDGE OF GRAVEL
- OVERHEAD POWER LINE
- FIBER OPTIC LINE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR

**EXISTING TREE TABLE**

LABEL	SIZE	SPECIES	CONDITION	REMOVED
T1	20" CAL.	OAK	GOOD	NO
T2	18" CAL.	OAK	GOOD	NO
T3	18" CAL.	OAK	GOOD	NO
T4	18" CAL.	OAK	GOOD	NO
T5	14" CAL.	OAK	GOOD	NO
T6	16" CAL.	OAK	GOOD	NO
T7	14" CAL.	MAPLE	GOOD	YES

PER SECTION 152.212 OF THE CODE OF ORDINANCES FOR THE CITY OF TONTITOWN, THE DEVELOPER GUARANTEES THAT ALL PLANT MATERIALS WILL BE WARRANTED FOR A PERIOD OF THREE YEARS FROM THE TIME OF INSTALLATION. IF ANY OF THE MATERIAL SHOULD FAIL TO SURVIVE DURING THAT PERIOD, IT SHALL BE REPLACED DURING THE APPROPRIATE PLANNING SEASON.

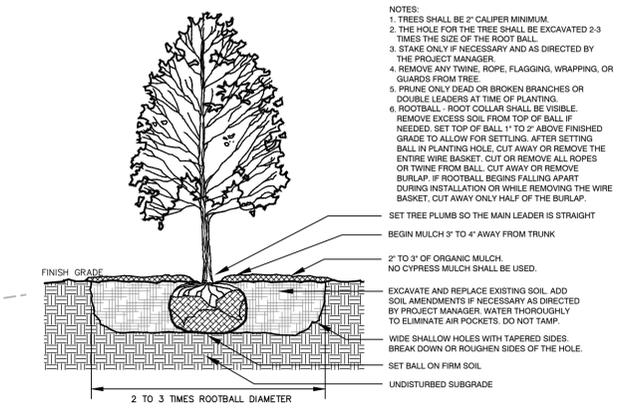
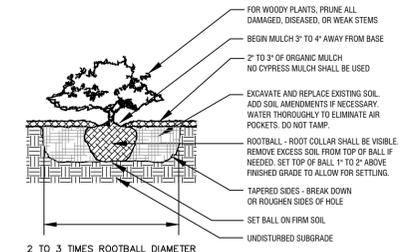
IRRIGATION. REQUIRED LANDSCAPING SHALL BE IRRIGATED BY ONE OF THE FOLLOWING METHODS:  
(A) UNDERGROUND SPRINKLER SYSTEM;  
(B) AUTOMATIC DRIP SYSTEM, OR  
(C) HOSE BIB ATTACHMENT WITHIN 100 FEET OF ALL LANDSCAPED AREAS.

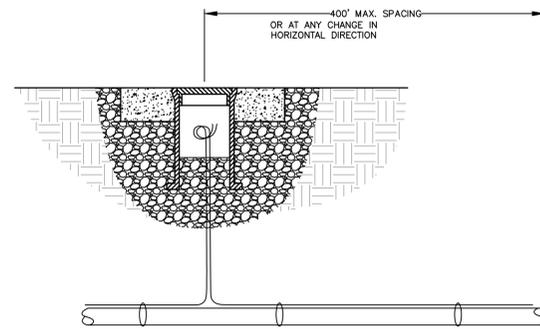
DEVELOPMENT TO UTILIZED HOSE BIB ATTACHMENTS WITHIN 100 FEET OF ALL LANDSCAPE AREAS.

CORNER VISIBILITY (PER CITY CODE 153.213)

ON CORNER LOTS AT INTERSECTING TWO-WAY STREETS, NOTHING SHALL BE ERRECTED, PLACED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF TWO FEET AND EIGHT FEET ABOVE CURB GRADE WITHIN THE TRIANGULAR AREA FORMED BY AN IMAGINARY LINE THAT FOLLOWS STREET SIDE PROPERTY LINES, AND A LINE CONNECTING THEM, 25 FEET FROM THEIR POINT OF INTERSECTION. THIS SIGHT TRIANGLE STANDARD MAY BE INCREASED BY THE CITY IN THOSE INSTANCES DEEMED NECESSARY FOR PROMOTING TRAFFIC SAFETY, AND MAY BE LESSENE AT INTERSECTIONS INVOLVING ONE-WAY STREETS.

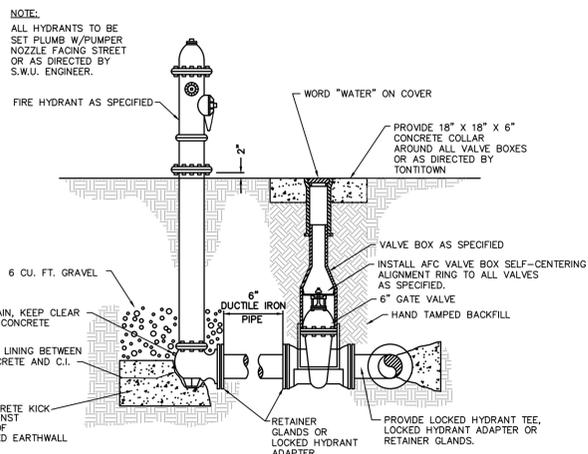
PARCEL #830-37552-000  
NWA CHURCH OF CHRIST, INC.  
PO BOX 789  
TONTITOWN, AR 72770  
CURRENT ZONING: C-2





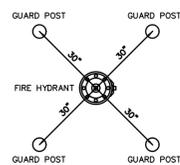
**TRACING WIRE CONNECTION PORT**

N.T.S.  
M-1



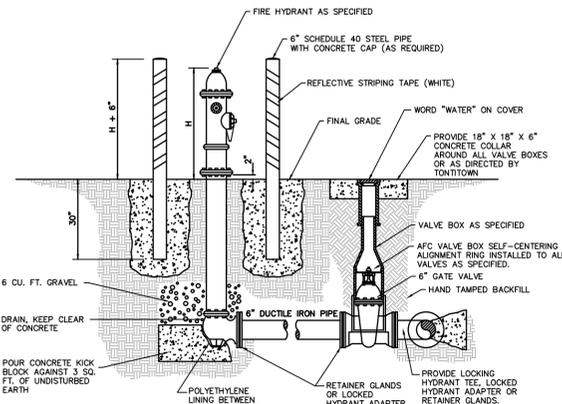
**FIRE HYDRANT & GATE VALVE**

N.T.S.  
S-1



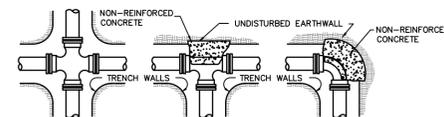
PLAN VIEW

- NOTES:**
1. ALL HYDRANTS SHALL BE SET PLUMB WITH THE PUMPER NOZZLE FACING THE STREET OR AS DIRECTED BY S.W.U.
  2. HYDRANTS SHALL BE LOCATED IN STREET RIGHT-OF-WAY OR DEDICATED UTILITY EASEMENT, AND A MINIMUM OF 4' BEHIND ANY CURB AND GUTTER OR SIDEWALK.
  3. IF REQUIRED, GUARD POSTS SHALL BE SET PLUMB WITH SPACING AND ORIENTATION AS INDICATED IN THE PLAN VIEW OR AS OTHERWISE SHOWN ON THE PLANS.
  4. ALL HYDRANTS AND GUARD POSTS SHALL BE PAINTED USING RUSTOLEUM V2100 SILVER ALUMINUM ENAMEL AEROSOL, OR APPROVED EQUAL. PRIOR TO FINAL ACCEPTANCE COORDINATE WITH SWU TO DETERMINE THE FLOW RATE AND PAINT BONNET AND CAP ACCORDING TO SECTION T18 OF THE STANDARD SPECIFICATIONS.

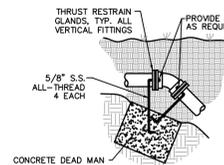


**FIRE HYDRANT WITH GUARD POSTS**

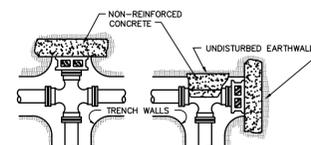
(GUARD POST ONLY AS REQUIRED)  
N.T.S.  
S-2



CROSS TEE 90° BEND 45° BEND SIMILAR 22 1/2° BEND SIMILAR



TYPICAL VERTICAL BEND



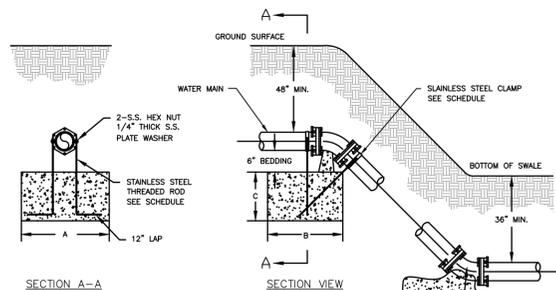
CROSS W/PLUG TEE W/PLUG

- NOTES:**
1. ALL FITTINGS SHALL BE MECHANICAL JOINTS, UNLESS OTHERWISE SPECIFIED.
  2. DO NOT COVER BELLS OR FLANGES WITH CONCRETE.
  3. WRAP ALL FITTINGS WITH POLYETHYLENE AS SPECIFIED.
  4. BACK ALL TEES ACCORDING TO SIZE OF BRANCH.
  5. BACKING FOR FUTURE LINE EXTENSIONS SHALL BE SUCH THAT REMOVAL OF BACKING IS POSSIBLE IN THE FUTURE.
  6. ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL AND VERTICAL, SHALL BE BACKED.
  7. THE REACTION BACKING TABLE IS BASED ON 150 PSI AND A SOIL BEARING PRESSURE OF 2,500 LB/SQ FT. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS DIRECTED BY THE ENGINEER.

REACTION BACKING TABLE				
SIZE	REQUIRED SQ. FT. OF UNDISTURBED EARTH WALL FOR REACTION BACKING			
	TYPE OF FITTINGS			
	TEE	90°	45°	22 1/2°
2"	1	1	1	1
3"	1	1	1	1
4"	1	2	1	1
6"	3	3	2	1
8"	4	4	3	2
10"	7	7	4	2
12"	10	10	5	4
14"	13	13	7	4
16"	17	17	9	5
18"	21	21	12	6
20"	26	26	14	7
24"	38	38	20	10
30"	59	59	32	16
36"	85	85	46	23

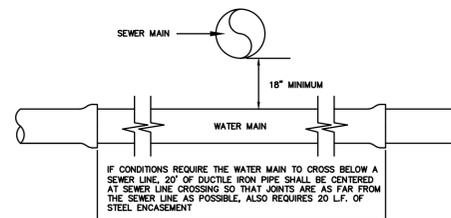
**REACTION BACKING**

N.T.S.  
S-3



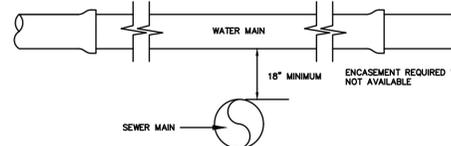
**TAPPING SADDLE & VALVE**

N.T.S.  
S-5



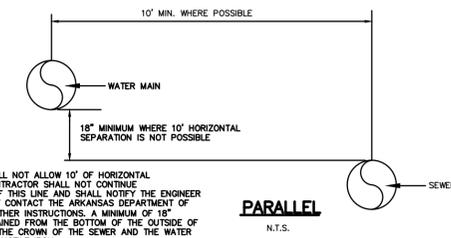
**WATER LINE CROSSING UNDER SEWER LINE**

N.T.S.



**WATER LINE CROSSING ABOVE SEWER LINE**

N.T.S.  
S-6



**PARALLEL**

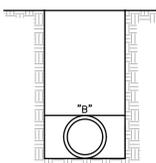
N.T.S.

- IF CONDITIONS WILL NOT ALLOW 10' OF HORIZONTAL SEPARATION, CONTRACTOR SHALL NOT CONTINUE CONSTRUCTION OF THIS LINE AND SHALL NOTIFY THE ENGINEER SO THAT HE MAY CONTACT THE ARKANSAS DEPARTMENT OF HEALTH FOR FURTHER INSTRUCTIONS. A MINIMUM OF 18" SHALL BE MAINTAINED FROM THE BOTTOM OF THE OUTSIDE OF WATER MAIN TO THE CROWN OF THE SEWER AND THE WATER MAIN SHALL BE DUCTILE IRON.

NOMINAL PIPE DIAMETER	"B"
3" AND 4"	2'-4"
6"	2'-6"
8"	2'-8"
10"	2'-10"
12"	3'-0"
14"	3'-2"
16"	3'-4"
18"	3'-6"
20"	3'-8"
24"	4'-0"
27"	4'-4"
30"	4'-6"
36"	5'-0"
42"	5'-6"
48"	6'-0"

**TRENCH WIDTH SCHEDULE**

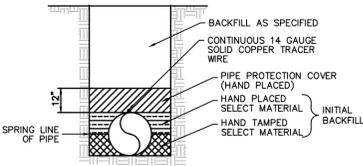
- NOTES:**
- TRENCH WIDTH SHALL BE AS SET FORTH IN ANSI/AWWA 600, INCLUDED AS THE TABLE ON THIS SHEET. LARGER TRENCH WIDTHS MAY BE NECESSARY FOR THE PLACEMENT OF A TRENCH SUPPORT SYSTEM OR AS OTHERWISE REQUIRED



**TYPICAL PIPE TRENCH**

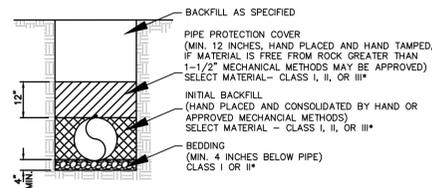
N.T.S.  
S-17

PIPE SIZE	BENDS			ROD DIA.
	45°	22 1/2°	11 1/4°	
VOLUME REQ'D (CU.FT.)	38.47	19.61	9.85	3/4 IN.
A (F.T.)	4.00	4.00	4.00	
B (F.T.)	2.50	1.65	1.30	
C (F.T.)	4.00	3.00	2.50	7/8 IN.
VOLUME REQ'D (CU.FT.)	86.56	44.13	22.17	
A (F.T.)	5.00	5.00	5.00	
B (F.T.)	4.40	2.30	1.50	1 IN.
VOLUME REQ'D (CU.FT.)	240.43	125.25	63.66	
A (F.T.)	6.00	6.00	6.00	
B (F.T.)	5.10	4.20	2.75	1 IN.
VOLUME REQ'D (CU.FT.)	346.25	180.39	94.58	
A (F.T.)	6.00	6.00	6.00	
B (F.T.)	7.25	4.50	3.20	1 IN.
VOLUME REQ'D (CU.FT.)	450.00	250.00	125.00	
A (F.T.)	7.50	7.50	7.50	
B (F.T.)	8.50	5.00	3.50	1 IN.
VOLUME REQ'D (CU.FT.)	600.00	300.00	150.00	
A (F.T.)	8.00	8.00	8.00	
B (F.T.)	9.50	6.00	4.50	1 IN.
VOLUME REQ'D (CU.FT.)	825.00	425.00	212.50	
A (F.T.)	9.00	9.00	9.00	
B (F.T.)	10.50	7.00	5.00	1 IN.
VOLUME REQ'D (CU.FT.)	1100.00	575.00	287.50	
A (F.T.)	10.00	10.00	10.00	
B (F.T.)	11.50	8.00	6.00	1 IN.
VOLUME REQ'D (CU.FT.)	1500.00	750.00	375.00	
A (F.T.)	11.00	11.00	11.00	
B (F.T.)	12.50	9.00	7.00	1 IN.
VOLUME REQ'D (CU.FT.)	2025.00	1025.00	512.50	
A (F.T.)	11.50	11.50	11.50	
B (F.T.)	13.00	10.00	8.00	1 IN.
VOLUME REQ'D (CU.FT.)	2700.00	1350.00	675.00	
A (F.T.)	12.00	12.00	12.00	
B (F.T.)	13.50	11.00	9.00	1 IN.
VOLUME REQ'D (CU.FT.)	3600.00	1800.00	900.00	
A (F.T.)	12.50	12.50	12.50	
B (F.T.)	14.00	12.00	10.00	1 IN.
VOLUME REQ'D (CU.FT.)	4725.00	2362.50	1181.25	
A (F.T.)	13.00	13.00	13.00	
B (F.T.)	14.50	13.00	11.00	1 IN.
VOLUME REQ'D (CU.FT.)	6300.00	3150.00	1575.00	
A (F.T.)	13.50	13.50	13.50	
B (F.T.)	15.00	14.00	12.00	1 IN.
VOLUME REQ'D (CU.FT.)	8400.00	4200.00	2100.00	
A (F.T.)	14.00	14.00	14.00	
B (F.T.)	15.50	15.00	13.00	1 IN.
VOLUME REQ'D (CU.FT.)	11200.00	5600.00	2800.00	
A (F.T.)	14.50	14.50	14.50	
B (F.T.)	16.00	16.00	16.00	1 IN.
VOLUME REQ'D (CU.FT.)	15000.00	7500.00	3750.00	
A (F.T.)	15.00	15.00	15.00	
B (F.T.)	16.50	17.00	17.00	1 IN.
VOLUME REQ'D (CU.FT.)	20250.00	10125.00	5062.50	
A (F.T.)	15.50	15.50	15.50	
B (F.T.)	17.00	18.00	18.00	1 IN.
VOLUME REQ'D (CU.FT.)	27000.00	13500.00	6750.00	
A (F.T.)	16.00	16.00	16.00	
B (F.T.)	17.50	19.00	19.00	1 IN.
VOLUME REQ'D (CU.FT.)	36000.00	18000.00	9000.00	
A (F.T.)	16.50	16.50	16.50	
B (F.T.)	18.00	20.00	20.00	1 IN.
VOLUME REQ'D (CU.FT.)	47250.00	23625.00	11812.50	
A (F.T.)	17.00	17.00	17.00	
B (F.T.)	18.50	21.00	21.00	1 IN.
VOLUME REQ'D (CU.FT.)	63000.00	31500.00	15750.00	
A (F.T.)	17.50	17.50	17.50	
B (F.T.)	19.00	22.00	22.00	1 IN.
VOLUME REQ'D (CU.FT.)	84000.00	42000.00	21000.00	
A (F.T.)	18.00	18.00	18.00	
B (F.T.)	19.50	23.00	23.00	1 IN.
VOLUME REQ'D (CU.FT.)	112000.00	56000.00	28000.00	
A (F.T.)	18.50	18.50	18.50	
B (F.T.)	20.00	24.00	24.00	1 IN.
VOLUME REQ'D (CU.FT.)	150000.00	75000.00	37500.00	
A (F.T.)	19.00	19.00	19.00	
B (F.T.)	20.50	25.00	25.00	1 IN.
VOLUME REQ'D (CU.FT.)	202500.00	101250.00	50625.00	
A (F.T.)	19.50	19.50	19.50	
B (F.T.)	21.00	26.00	26.00	1 IN.
VOLUME REQ'D (CU.FT.)	270000.00	135000.00	67500.00	
A (F.T.)	20.00	20.00	20.00	
B (F.T.)	21.50	27.00	27.00	1 IN.
VOLUME REQ'D (CU.FT.)	360000.00	180000.00	90000.00	
A (F.T.)	20.50	20.50	20.50	
B (F.T.)	22.00	28.00	28.00	1 IN.
VOLUME REQ'D (CU.FT.)	472500.00	236250.00	118125.00	
A (F.T.)	21.00	21.00	21.00	
B (F.T.)	22.50	29.00	29.00	1 IN.
VOLUME REQ'D (CU.FT.)	630000.00	315000.00	157500.00	
A (F.T.)	21.50	21.50	21.50	
B (F.T.)	23.00	30.00	30.00	1 IN.
VOLUME REQ'D (CU.FT.)	840000.00	420000.00	210000.00	
A (F.T.)	22.00	22.00	22.00	
B (F.T.)	23.50	31.00	31.00	1 IN.
VOLUME REQ'D (CU.FT.)	1120000.00	560000.00	280000.00	
A (F.T.)	22.50	22.50	22.50	
B (F.T.)	24.00	32.00	32.00	1 IN.
VOLUME REQ'D (CU.FT.)	1500000.00	750000.00	375000.00	
A (F.T.)	23.00	23.00	23.00	
B (F.T.)	24.50	33.00	33.00	1 IN.
VOLUME REQ'D (CU.FT.)	2025000.00	1012500.00	506250.00	
A (F.T.)	23.50	23.50	23.50	
B (F.T.)	25.00	34.00	34.00	1 IN.
VOLUME REQ'D (CU.FT.)	2700000.00	1350000.00	675000.00	
A (F.T.)	24.00	24.00	24.00	
B (F.T.)	25.50	35.00	35.00	1 IN.
VOLUME REQ'D (CU.FT.)	3600000.00	1800000.00	900000.00	
A (F.T.)	24.50	24.50	24.50	
B (F.T.)	26.00	36.00	36.00	1 IN.
VOLUME REQ'D (CU.FT.)	4725000.00	2362500.00	1181250.00	
A (F.T.)	25.00	25.00	25.00	
B (F.T.)	26.50	37.00	37.00	1 IN.
VOLUME REQ'D (CU.FT.)	6300000.00	3150000.00	1575000.00	
A (F.T.)	25.50	25.50	25.50	
B (F.T.)	27.00	38.00	38.00	1 IN.
VOLUME REQ'D (CU.FT.)	8400000.00	4200000.00	2100000.00	
A (F.T.)	26.00	26.00	26.00	
B (F.T.)	27.50	39.00	39.00	1 IN.
VOLUME REQ'D (CU.FT.)	11200000.00	5600000.00	2800000.00	
A (F.T.)	26.50	26.50	26.50	
B (F.T.)	28.00	40.00	40.00	1 IN.
VOLUME REQ'D (CU.FT.)	15000000.00	7500000.00	3750000.00	
A (F.T.)	27.00	27.00	27.00	
B (F.T.)	28.50	41.00	41.00	1 IN.
VOLUME REQ'D (CU.FT.)	20250000.00	10125000.00	5062500.00	
A (F.T.)	27.50	27.50	27.50	
B (F.T.)	29.00	42.00	42.00	1 IN.
VOLUME REQ'D (CU.FT.)	27000000.00	13500000.00	6750000.00	
A (F.T.)	28.00	28.00	28.00	
B (F.T.)	29.50	43.00	43.00	1 IN.
VOLUME REQ'D (CU.FT.)	36000000.00	18000000.00	9000000.00	
A (F.T.)	28.50	28.50	28.50	
B (F.T.)	30.00	44.00	44.00	1 IN.
VOLUME REQ'D (CU.FT.)	47250000.00	23625000.00	11812500.00	
A (F.T.)	29.00			



**D.I. PRESSURE WATER PIPE TRENCH**  
( STANDARD LAYING CONDITION "TYPE 2" )

N.T.S.



**D.I. PRESSURE PIPE TRENCH**

( STANDARD LAYING CONDITION "TYPE 3" )

N.T.S.

S-18

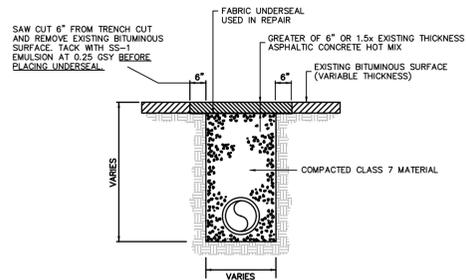
NOTE: SEE STANDARD DETAIL M-1, "TRACER WIRE CONNECTION PORT" FOR TRACER WIRE PORT SPACING

\* CLASS I, II, AND III AS DEFINED IN ASTM D2487 AND THE PIPE BACKFILL MATERIAL AND AGGREGATE BASE COURSE FILL SECTION OF THE SPECIFICATIONS

\*\* STANDARD SIZE NO. 67 AS DEFINED IN ASTM D448

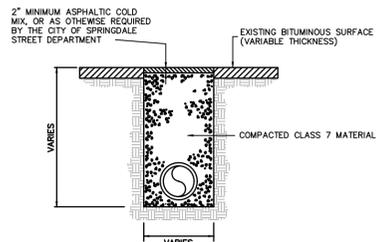
**NOTES:**

THE CLASS 7 BASE MATERIAL SHALL BE BROUGHT UP EVENLY IN LIFTS NOT TO EXCEED 4" (LOOSE MEASUREMENT) AND COMPACTED WITH MECHANICAL EQUIPMENT TO AT LEAST 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO 180.



**BITUMINOUS PAVEMENT REMOVAL WITH PERMANENT REPLACEMENT DETAIL**

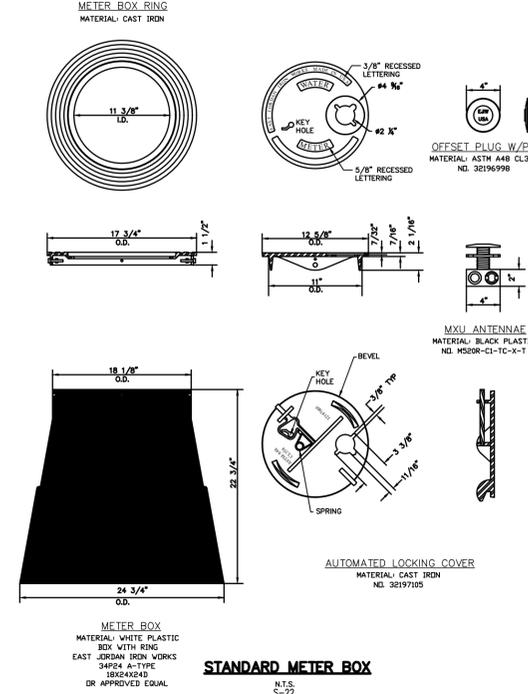
N.T.S.



**BITUMINOUS PAVEMENT REMOVAL WITH TEMPORARY REPLACEMENT**

N.T.S.

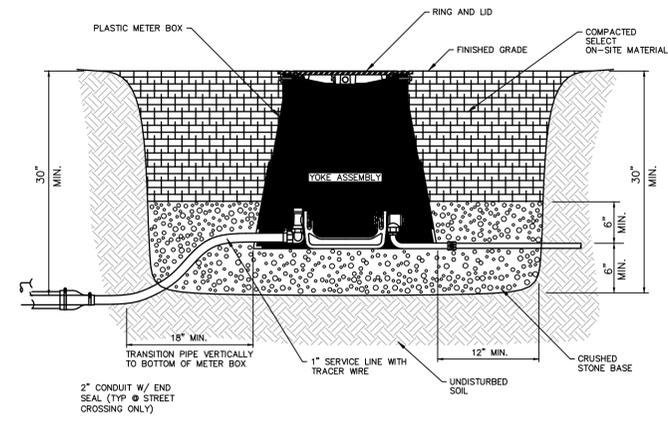
S-21



**STANDARD METER BOX**

N.T.S.

S-22



**STANDARD METER BOX INSTALLATION**

SPLIT 5/8" X 3/4" METER SETTER (SHOWN)  
SINGLE 5/8" X 3/4" AND 1" METER SETTERS (SIMILAR)

N.T.S.

- NOTES:
- 2" CONDUITS TO BE INSTALLED ON ALL STREET CROSSINGS AND SHALL EXTEND FROM BACK OF SIDEWALK TO BACK OF SIDEWALK
  - ALL SERVICE TUBING SHALL HAVE 30" MIN. COVER EXCEPT FOR TRANSITION TO METER BOX AS SHOWN ABOVE
  - SEE "TECHNICAL SPECIFICATIONS" FOR MATERIAL AND INSTALLATION SPECIFICATIONS

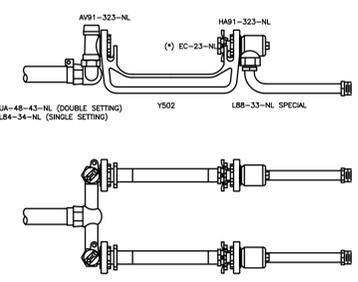
**SINGLE SETTING MATERIAL LIST**

QTY	DESCRIPTION	EQSD	CATALOG NUMBER	MILLER	BY McDONALD
1	INLET CONNECTION	L84-34-NL	P-15531N	74779M-22 1X3/4	
1	YOKE ANGLE KEY VALVE	AV91-323-NL	H-14278N	74604Y 3/4X22	
1	YOKE BAR	Y502	H-5209	14-2	
1	YOKE ANGLE CHECK VALVE	H891-323-NL	H-14248N	702-3YE 33	
1	OUTLET CONNECTION	L88-33-NL SPECIAL	H-15538N	710JPP 33X90X8	
1	METER BOX ASSEMBLY	34P-18X24X240 W/LID			



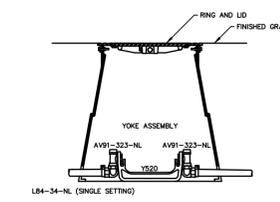
**DOUBLE SETTING MATERIAL LIST**

QTY	DESCRIPTION	EQSD	CATALOG NUMBER	MILLER	BY McDONALD
1	ANGLE U BRANCH	UA48-43-65-NL	P-15369N	70872M 1X3/4X6.5	
2	YOKE ANGLE KEY VALVE	AV91-323-NL	H-14278N	74604Y 3/4X22	
2	YOKE BAR	Y502	H-5209	14-2	
2	YOKE ANGLE CHECK VALVE	H891-323-NL	H-14248N	702-3YE 33	
1	OUTLET CONNECTION	L88-33-NL SPECIAL	H-15538N	710JPP 33X90X8	
1	METER BOX ASSEMBLY	34P-18X24X240 W/LID			



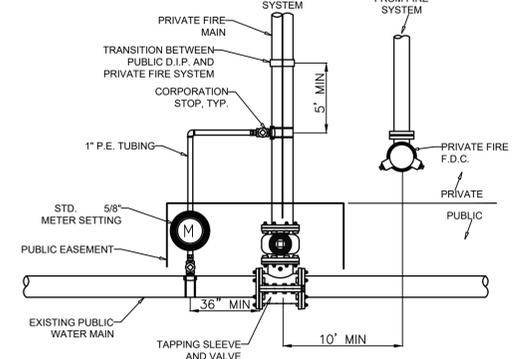
**TYPICAL 5/8" DOUBLE METER SETTING**

YOKE ASSEMBLY, 5/8" X 3/4" METER 3/4" COPPER OR PE P.2 TO 3/4" CTS PLASTIC OR MP  
N.T.S.  
S-20



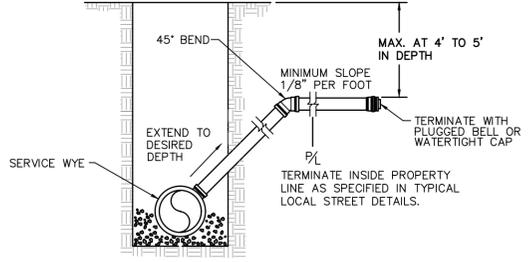
**LEAK DETECTION METER ASSEMBLY**

N.T.S.

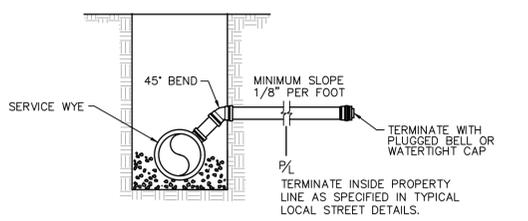


**FIRE SYSTEM CONNECTION**

N.T.S.

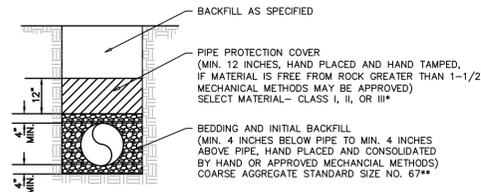


**RISER FROM DEEP MAIN**



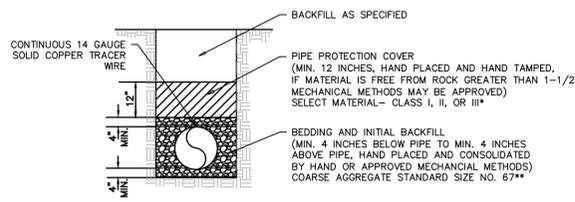
**SEWER SERVICE CONNECTIONS**

N.T.S.  
S-16



**D.I.P.C. GRAVITY SEWER PIPE TRENCH**

( STANDARD LAYING CONDITION "TYPE 5" )  
N.T.S.



**D.I.P.C. PRESSURE SEWER PIPE TRENCH**

( STANDARD LAYING CONDITION "TYPE 5" )  
N.T.S.  
S-19

NOTE: SEE STANDARD DETAIL M-1, "TRACER WIRE CONNECTION PORT" FOR TRACER WIRE PORT SPACING

\* CLASS I, II, AND III AS DEFINED IN ASTM D2487 AND THE PIPE BACKFILL MATERIAL AND AGGREGATE BASE COURSE FILL SECTION OF THE SPECIFICATIONS  
\*\* STANDARD SIZE NO. 67 AS DEFINED IN ASTM D448



**LEGEND**

**PROJECT DETAILS**

**PROJECT TITLE:**  
LSD FOR TONTOWN -  
FIRE DEPARTMENT -  
NEW FIRE STATION

**PROJECT LOCATION:**  
TONTOWN, AR.

**REVISIONS**

DATE: 7/5/2022  
DRAWN BY: DBB  
PROJECT #: 2022-050  
FILE PATH: Z:\LSD\2022050\DETAILS  
SHEET SIZE: 22" x 34"  
SCALE: NTS

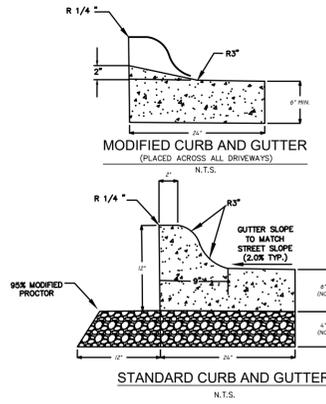


**SHEET TITLE**

**WATER & SEWER  
DETAILS II**

**SHEET NUMBER**

**C5.01**

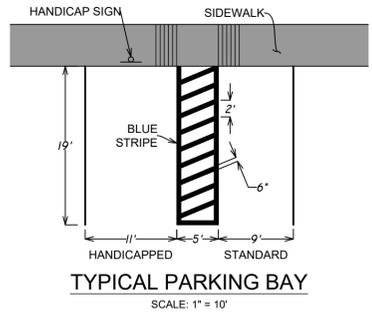


A. IF MONOLITHICALLY CAST WITH THE STREET, THICKNESS SHALL MATCH STREET PAVING THICKNESS.

B. IF PAVEMENT SECTION IS 10" THICK OR MORE, 4" OF CLASS 7 AGGREGATE SHALL EXTEND UNDER CURB AND 1 FOOT BEYOND IF THE PAVEMENT SECTION IS LESS THAN 10" THICK, THE CURB AND GUTTER MAY BE PLACED ON SUBGRADE. SUBGRADE SHALL BE PROOF-ROLLED BY A LOADED TANDEM-AXEL DUMP TRUCK.

**CURB/GUTTER NOTES:**

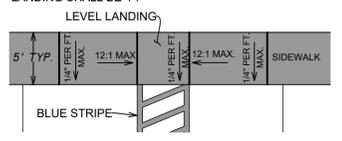
- CONCRETE SHALL BE CLASS B, 3500 PSI, 4-7% AIR ENTRAINED. CONCRETE MAY NOT BE PLACED IF A FALLING AIR TEMPERATURE FALLS BELOW 40 DEGREES FAHRENHEIT NOR RESUMED UNTIL AN ASCENDING AIR TEMPERATURE RISES ABOVE 35 DEGREES FAHRENHEIT WITHOUT SPECIFIC AUTHORITY FROM THE CITY REPRESENTATIVE. ALL CONCRETE MATERIALS HANDLING, PLACING, JOINTING, SAMPLING, FINISHING AND CURING SHALL BE PER CITY STANDARDS SPECIFICATIONS.
- CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS WITH EXPANSION JOINTS AT 75' INTERVALS.
- ALL CONTRACTION JOINTS SHALL BE SEALED WITH SONNEBORN@SONOLASTIC SL 1™ (OR APPROVED EQUAL) ACCORDING TO MANUFACTURER'S INSTRUCTIONS PRIOR TO FINAL ASPHALT PLACEMENT.
- EXPANSION JOINT MATERIAL SHALL BE REQUIRED AT ALL STATIONARY STRUCTURES OR AS DIRECTED BY ENGINEER. THE EXPANSION MATERIAL SHALL BE 1/2" ASPHALT IMPREGATED FIBERBOARD CONFORMING TO AASHTO M-213. MATERIAL SHALL BE LEFT LOWER OR TRIMMED TO BE 1/2" BELOW THE TOP OF CURB.
- EXPANSION JOINT MATERIAL SHALL BE FULL DEPTH OF THE CURB AND PERPENDICULAR TO THE CURB LINE.
- ALL CURB AND GUTTER SHALL RECEIVE A BROOM FINISH.
- CONTRACTORS SHALL PROVIDE THE CITY 24 HOURS NOTICE WHEN FORMS OR STRINGLINE ARE READY PRIOR TO CONCRETE PLACEMENT.
- FOR CONCRETE STREETS, IF THE CURB AND GUTTER IS CAST SEPARATELY, 1/2" DOWEL RODS 30" LONG SHALL BE PROVIDED A MINIMUM OF EVERY 30" ON-CENTER.



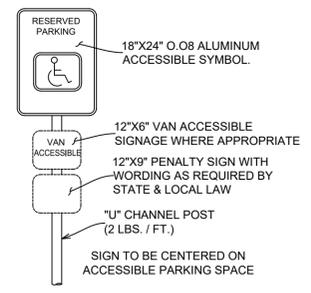
**TYPICAL PARKING BAY**  
SCALE: 1" = 10'

**NOTES:**

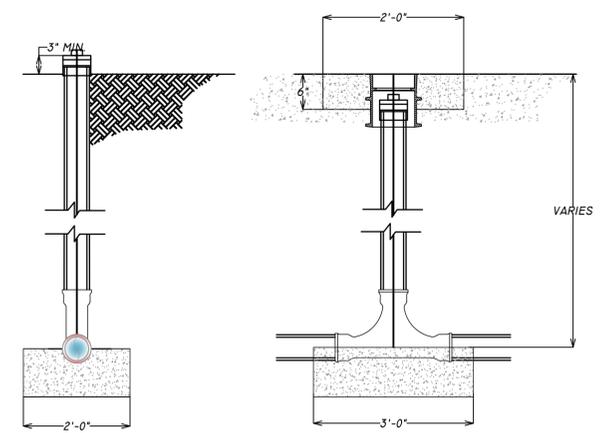
- THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1.
- THE MINIMUM THICKNESS FOR THE RAMP, WALK, & LANDING SHALL BE 4".



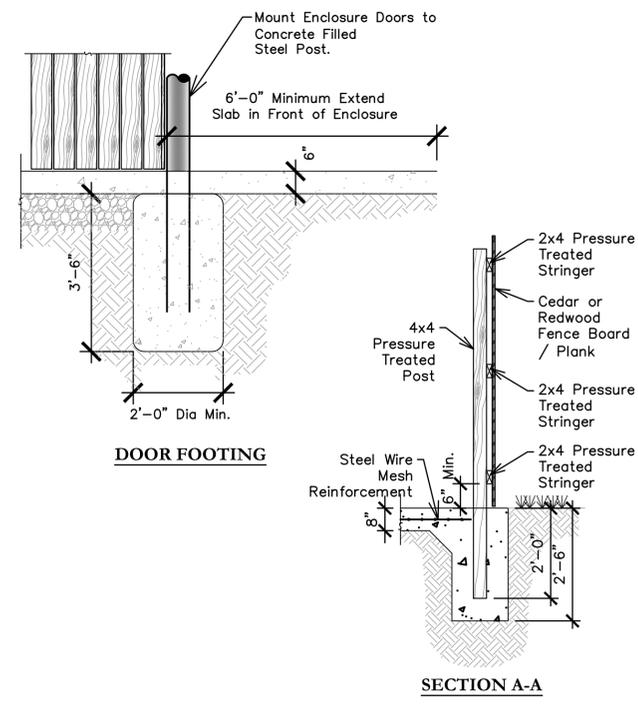
**WHEELCHAIR RAMP DETAIL**  
SCALE: 1" = 10'



**HANDICAP SIGN DETAIL**  
NOT TO SCALE

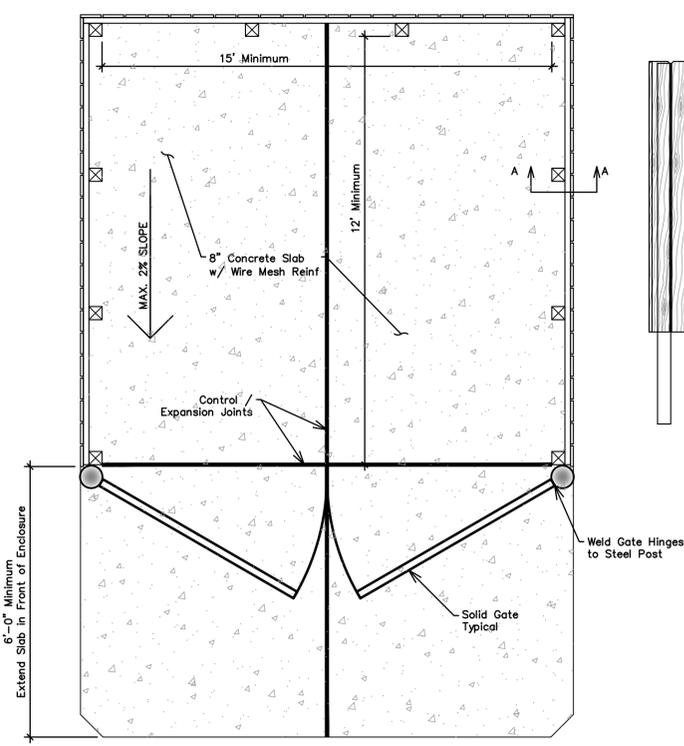


**TYPICAL CLEANOUT**  
N.T.S.

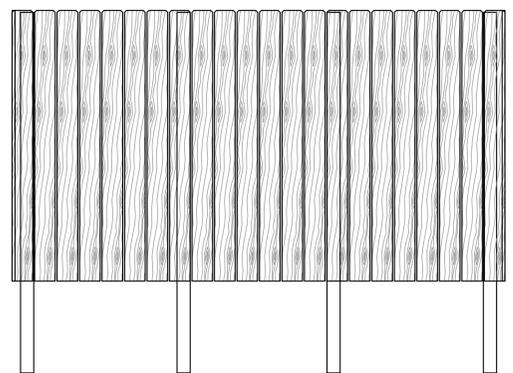


**DOOR FOOTING**

**SECTION A-A**

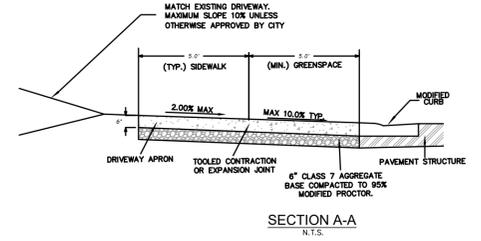


**PRIVACY FENCE TRASH ENCLOSURE**

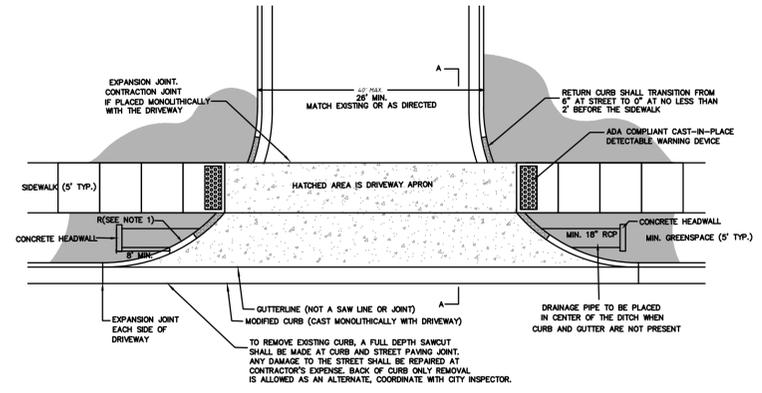


**Notes:**

- Gates are to be of solid construction.
- Double swing gates shall have the swivel spots outside of the opening area of the enclosure. Swivel points shall be attached to concrete filled steel posts/ columns at ends of walls.
- Minimum wall and gate height to be 6'-0"
- Concrete shall be Air-Entrained with a minimum compressive strength of 3500 psi
- 8" Concrete Floor Slab shall be poured over 4" of Class 7 Compacted Base Course Compacted to 95% Minimum Dry Density



**SECTION A-A**  
N.T.S.



**COMMERCIAL DRIVEWAY DETAIL**  
N.T.S.

**COMMERCIAL DRIVEWAY NOTES:**

- RETURNS RADIUS SHALL BE A MINIMUM OF 30' MEASURED TO BACK OF CURB FOR STREETS CLASSIFIED AS COLLECTOR OR BELOW, 40' FOR MINOR ARTERIALS, AND 50' FOR MAJOR ARTERIALS.
- CONCRETE DRIVEWAY APRON SHALL BE A MINIMUM OF 6" THICK.
- ASPHALT SHALL BE SURFACE COURSE FOR ASPHALT DRIVEWAYS.
- IF THERE IS NO SIDEWALK, THE DRIVEWAY APRON SHALL BE 6' AS MEASURED PERPENDICULAR FROM BACK OF CURB OR EDGE OF PAVEMENT.
- EXPANSION JOINTS SHALL BE A MINIMUM OF 1/2" AND EXTEND THE FULL DEPTH OF THE CONCRETE. EXPANSION JOINT MATERIAL SHALL MEET AASHTO M213 FOR AN ASPHALTIC FIBER EXPANSION JOINT MATERIAL AND INSTALLED WITH A ZIP STRIP WHICH IS REMOVED AFTER THE CONCRETE HAS CURED AND SEALED WITH A MASTIC SEALER. OTHER ALLOWABLE EXPANSION JOINT MATERIAL ARE 1"x6" OR 2"x6" PRESSURE TREATED PINE, REDWOOD OR WESTERN RED CEDAR WITH NAILS DRIVEN THROUGH EACH SIDE TO PREVENT THE BOARD FROM BEING PUSHED OUT OF THE JOINT.
- CONTRACTION JOINTS TO BE PLACED IN CONCRETE DRIVEWAY AT NO MORE THAN 15' BETWEEN PARALLEL JOINTS.
- ALL SIDEWALKS AND DRIVEWAYS TO HAVE A BROOM FINISH.
- NOTIFY THE CITY NO LESS THAN ONE WORKING DAY BEFORE PLACEMENT OF CONCRETE FOR SIDEWALKS OR DRIVEWAYS.
- ALL CONCRETE FOR TRAFFIC BEARING CURB AND GUTTER, SIDEWALKS, AND DRIVEWAYS SHALL MEET AHTD REQUIREMENTS FOR CLASS 5 (AE) ENTRAINED CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- DRIVEWAY APRON AND MODIFIED CURB SHALL BE PLACED MONOLITHICALLY.
- REFER TO STREET DESIGN CRITERIA FOR SIDEWALK AND GREENSPACE WIDTHS.
- CONCRETE HEADWALLS SHALL BE CONSTRUCTED ON THE UPSTREAM AND DOWNSTREAM SIDES OF THE DRAINAGE SYSTEM WHERE NO OTHER DRAINAGE STRUCTURE IS REQUIRED.
- APRON SHALL BE GRADED SO THAT SIDEWALK CONTINUES WITHOUT GRADE BREAKS ALONG ROADWAY.
- DRIVEWAY SHALL BE HARD SURFACE FOR ANY SLOPES OVER 8%.



**LEGEND**

**PROJECT DETAILS**

**PROJECT TITLE:**  
LSD FOR TONTOWN -  
FIRE DEPARTMENT -  
NEW FIRE STATION

**PROJECT LOCATION:**  
TONTOWN, AR.

**REVISIONS**

DATE: 7/5/2022  
DRAWN BY: DBB  
PROJECT #: 2022-050  
FILE PATH: Z:\LSD\2022050\DETAILS  
SHEET SIZE: 22" x 34"  
SCALE: NTS

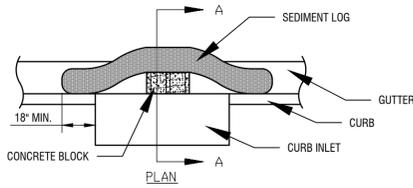


**SHEET TITLE**

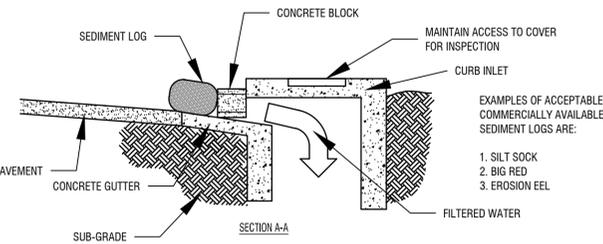
**TYPICAL DETAILS**

**SHEET NUMBER**

**C5.02**



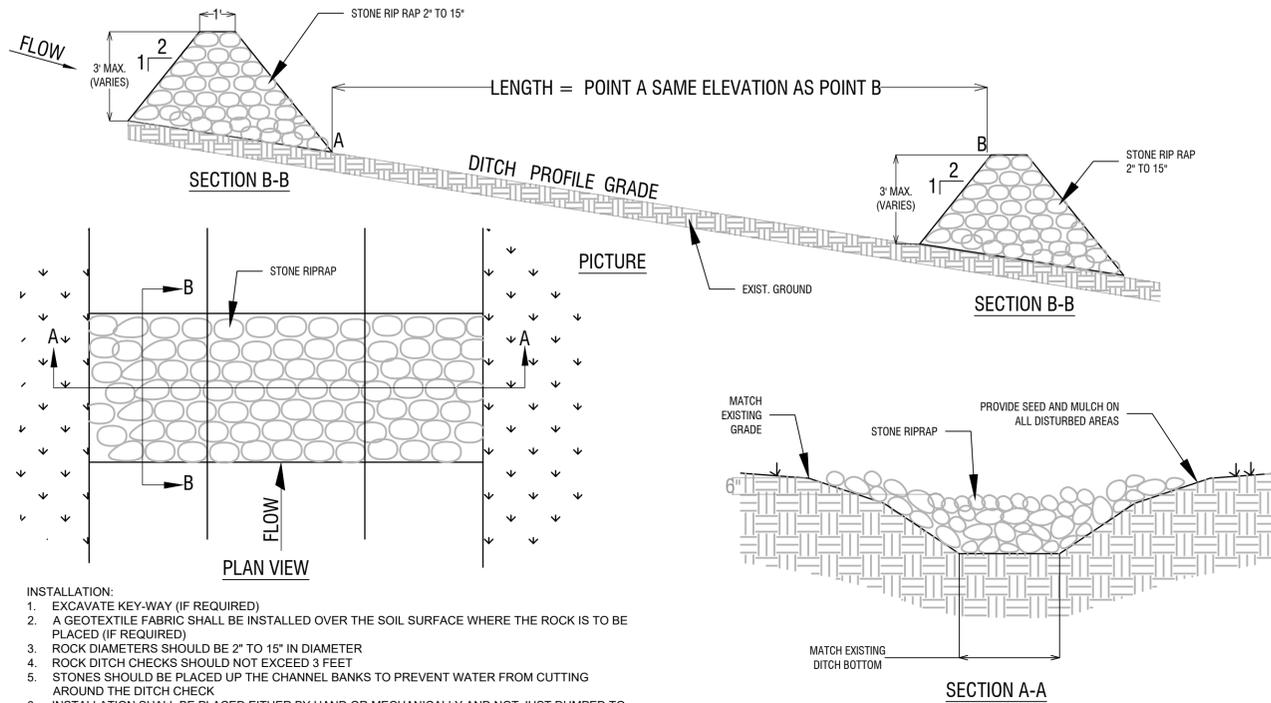
SEDIMENT LOGS SHALL HAVE A MIN. WEIGHT PER LINEAR FOOT OF 4.5 LBS AND SHALL EXCLUDE **STRAW OR SAND MEDIA**.



- NOTES:**
1. PLACE DEVICES AROUND PERIMETER OF GRATE/AREA INLET, WITH ENDS OF ADJACENT SEDIMENT LOGS OVERLAPPING 12" MIN.
  2. PLACEMENT OF DEVICES SHALL EXTEND 12" MIN BEYOND THE LIMITS OF THE CURB INLET STRUCTURE ON BOTH SIDES.
  3. IF ROAD OR PARKING AREA IS OPEN TO PUBLIC, VERIFY SUITABILITY OF BMP WITH CITY OF FAYETTEVILLE ENGINEERING DIVISION.

- MAINTENANCE NOTES:**
4. INLET PROTECTION DEVICES MUST BE INSPECTED FOR SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN OR UPGRADING OF THE INLET.
  7. ANY SEDIMENT ACCUMULATED IN OR ADJACENT TO A STORM DRAIN INLET MUST BE REMOVED AS SOON AS PRACTICABLE BUT NOT LATER THAN 3 DAYS AFTER DISCOVERY.
  8. INLET PROTECTION DEVICES SHALL BE INSPECTED FOR UNINTENDED BYPASS OR IMPROPER FLOW-RATES THAT MAY CAUSE DOWNSTREAM FLOODING.
  9. CONTACT THE PUBLIC WORKS INSPECTOR AND/OR ENGINEER FOR ALTERNATE INLET PROTECTION IF THE DESIGNED PROTECTION MAY IMPACT DOWNSTREAM BMPs, ADJACENT SLOPES, ETC., DUE TO PONDING ISSUES. ENSURE THAT NO UNDERMINING OF INLET PROTECTION DEVICES HAS OCCURRED.
  10. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.

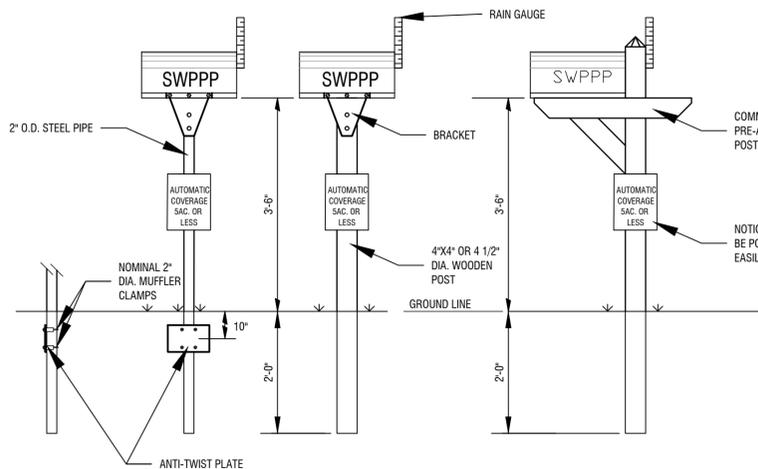
**SEDIMENT LOG CURB INLET PROTECTION**



- INSTALLATION:**
1. EXCAVATE KEY-WAY (IF REQUIRED)
  2. A GEOTEXTILE FABRIC SHALL BE INSTALLED OVER THE SOIL SURFACE WHERE THE ROCK IS TO BE PLACED (IF REQUIRED)
  3. ROCK DIAMETERS SHOULD BE 2" TO 15" IN DIAMETER
  4. ROCK DITCH CHECKS SHOULD NOT EXCEED 3 FEET
  5. STONES SHOULD BE PLACED UP THE CHANNEL BANKS TO PREVENT WATER FROM CUTTING AROUND THE DITCH CHECK
  6. INSTALLATION SHALL BE PLACED EITHER BY HAND OR MECHANICALLY AND NOT JUST DUMPED TO ACHIEVE COMPLETE COVERAGE OF THE DITCH AND ENSURE THE CENTER OF THE DAMN IS LOWER THAN THE EDGES
  7. MAXIMUM SPACING BETWEEN MULTIPLE DAMS SHOULD BE SUCH THAT THE TOE OF THE UPSTREAM CHECK IS THE SAME AS THE TOP OF THE DOWNSTREAM CHECK

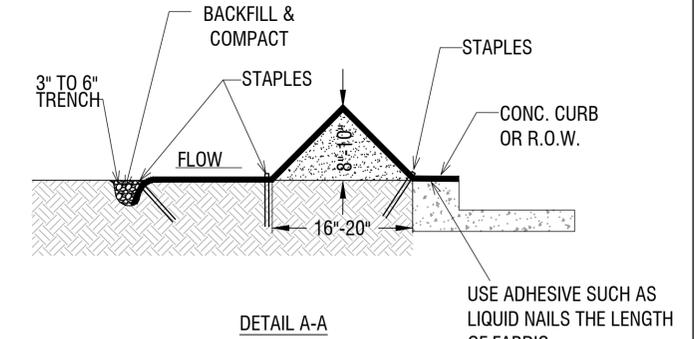
- INSPECTION:**
- INSPECT ROCK DITCH CHECKS EVERY (7) CALENDAR DAYS AND WITH-IN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2" PRECIPITATION
  - SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 1/2 THE ORIGINAL CHECK HEIGHT
  - IN THE CASE OF GRASS-LINED DITCHES OR SWALES, ROCK DITCH CHECKS SHOULD BE REMOVED WHEN THE GRASS HAS MATURED SUFFICIENTLY TO PROTECT THE DITCH OR SWALE, IF THE SLOPE IS 4% OR LESS.
  - THE AREA BENEATH THE ROCK DITCH CHECKS SHOULD BE SEEDED AND MULCHED IMMEDIATELY AFTER THE CHECK DAM REMOVAL

**ROCK CHECK DAM**

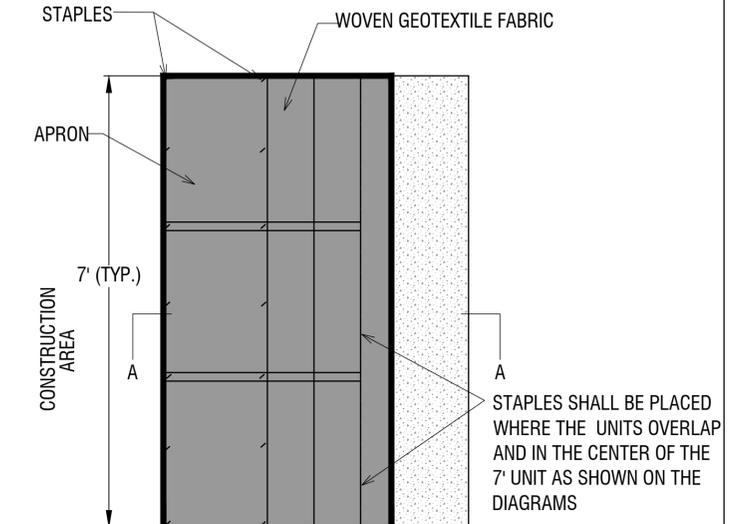


**SWPPP INFORMATION MAILBOX**

- NOTES:**
1. THE SWPPP INFORMATION MAILBOX MUST BE LOCATED IN A PROMINENT, PUBLICLY ACCESSIBLE LOCATION NEAR THE MAIN ENTRANCE OF THE SITE, SUCH THAT THE DOCUMENTATION CAN BE READ WITHOUT ACCESSING THE JOBSITE, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A TRAFFIC SAFETY HAZARD.
  2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
  3. ALL PAGES OF NOTICES OF INTENT AND PERMIT AUTHORIZATIONS MUST BE INCLUDED. THE CONTRACTOR MAY UTILIZE ACCESSIBLE WATERPROOF FOLDERS TO STORE THESE DOCUMENTS.
  4. MAILBOX SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
  5. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION MAILBOX.



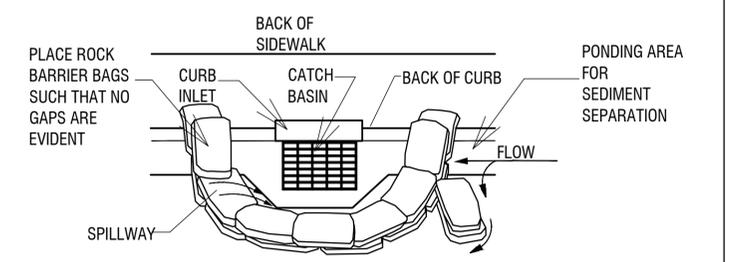
**DETAIL A-A**



**DIKE SECTION**

- INSTALLATION NOTES:**
1. SILT DIKES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
  2. STAPLES SHALL BE No. 11 WIRE, 6" TO 8" IN LENGTH.
  3. RUNNING LENGTHS OF SILT DIKES SHOULD BE OVERLAPPED TO ENSURE NO LEAKAGE AT THE ABUTMENTS.
  4. THE CONTRACTOR SHALL INSPECT SILT DIKES EVERY TWO WEEKS AND AFTER ANY SIGNIFICANT STORM EVENT AND MAKE REPAIRS OR REMOVE SEDIMENT ACCUMULATED BEHIND SILT DIKES AS NECESSARY.
  5. SEDIMENT ACCUMULATED BEHIND SILT DIKES SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DIAMETER OF THE WATTLE.
  6. SILT DIKES SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND IS ACCEPTED BY THE CITY.

**SILT DIKE**



- NOTES:**
1. BAGS OF WOVEN GEOTEXTILE FABRIC, FILLED WITH GRAVEL MUST BE LAYERED SUCH THAT NO GAPS ARE EVIDENT.
  2. LEAVE ONE SANDBAG GAP IN THE TOP ROW ON THE SIDE AWAY FROM FLOW, TO PROVIDE A SPILLWAY; OR IN THE CENTER IF PONDING IS NEEDED ON BOTH SIDES.
  3. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

**CURB INLET PROTECTION SETUP**



**LEGEND**

**PROJECT DETAILS**

**PROJECT TITLE:**  
LSD FOR TONTITOWN -  
FIRE DEPARTMENT -  
NEW FIRE STATION

**PROJECT LOCATION:**  
TONTITOWN, AR.

**REVISIONS**

DATE: 7/5/2022  
DRAWN BY: DBB  
PROJECT # 2022-050  
FILE PATH: Z:\LSD\2022050\DETAILS  
SHEET SIZE: 22" x 34"  
SCALE: NTS

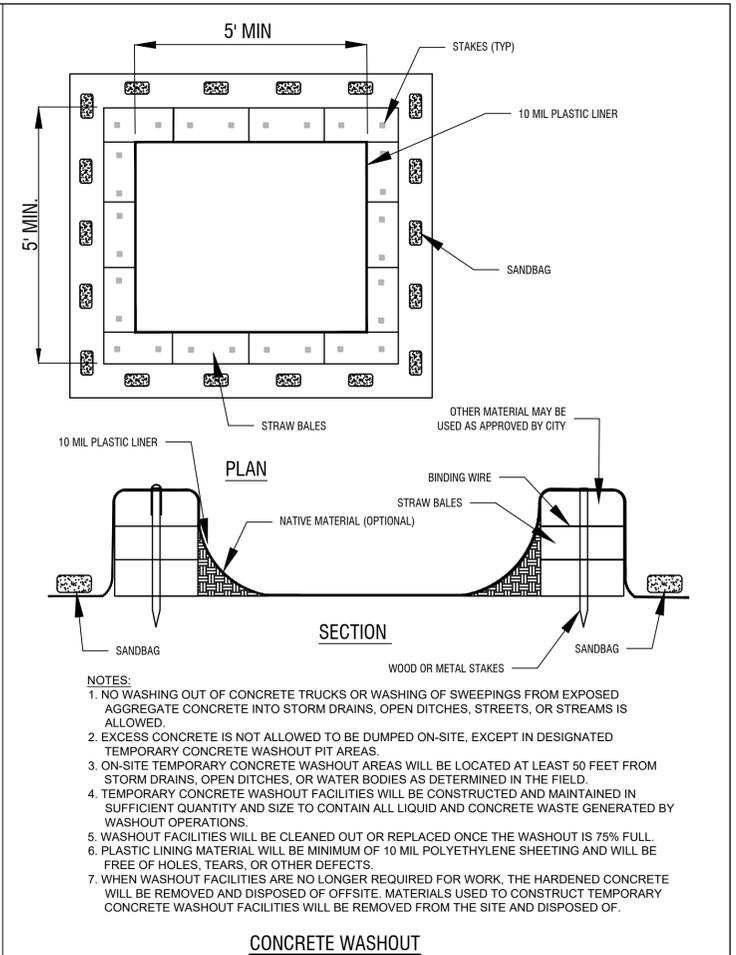
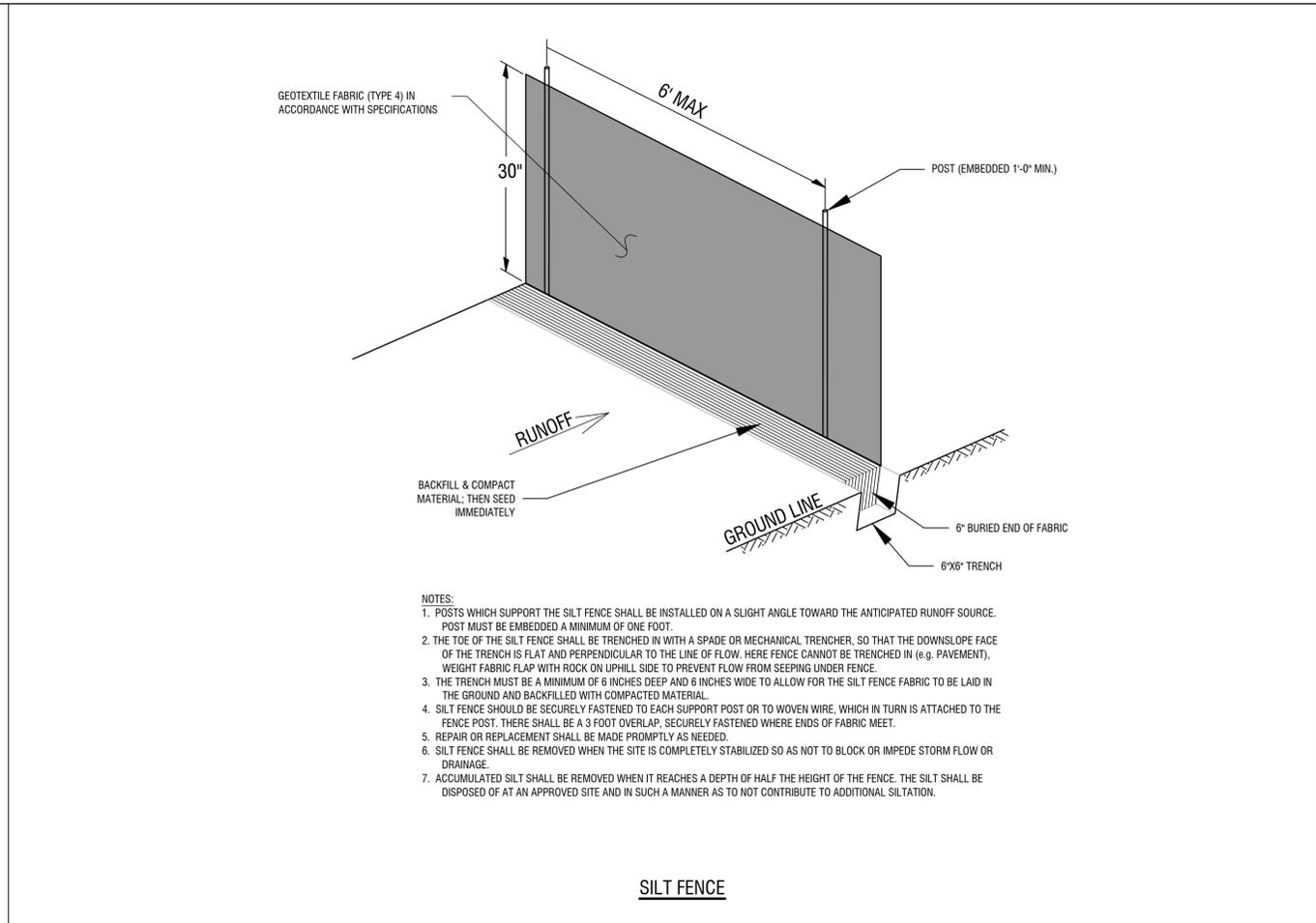
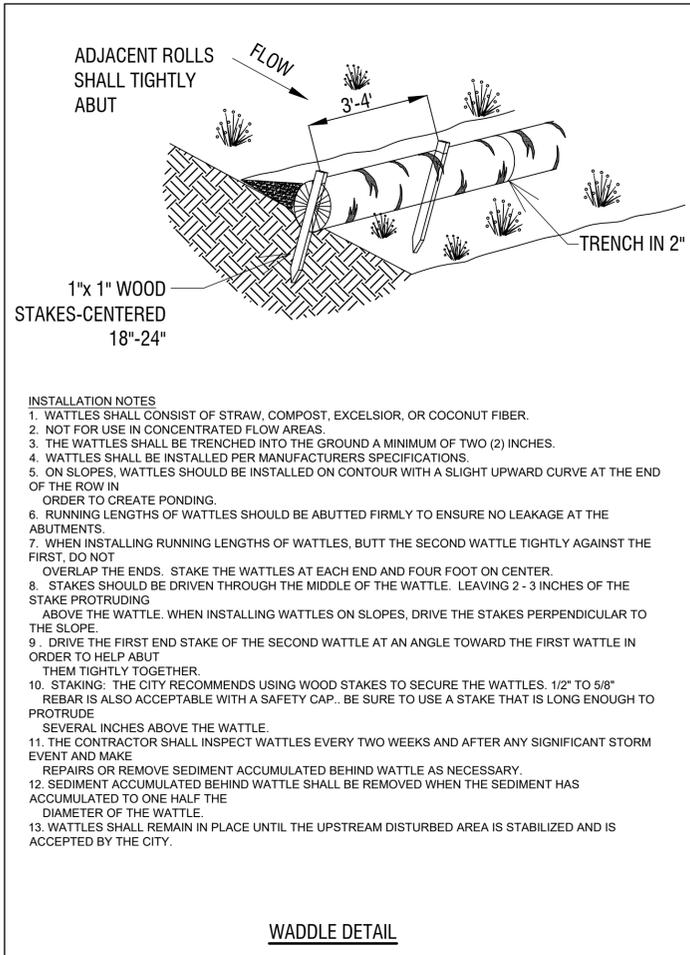


**SHEET TITLE**

**GRADING & EROSION CONTROL DETAILS I**

**SHEET NUMBER**

**C5.03**



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Civil Engineering • Surveying Established 1985

**JORGENSEN + ASSOCIATES**

**LEGEND**

**PROJECT DETAILS**

**PROJECT TITLE:** LSD FOR TONTTOWN - FIRE DEPARTMENT - NEW FIRE STATION

**PROJECT LOCATION:** TONTTOWN, AR.

**REVISIONS**

DATE: 7/5/2022  
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PROJECT #: 2022-050  
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SHEET SIZE: 22" x 34"  
SCALE: NTS

CERTIFICATE OF AUTHORIZATION  
JORGENSEN & ASSOCIATES  
No. 722  
AR KANSAS - ENGINEER

**SHEET TITLE**

**GRADING & EROSION CONTROL DETAILS II**

**SHEET NUMBER**

**C5.04**