

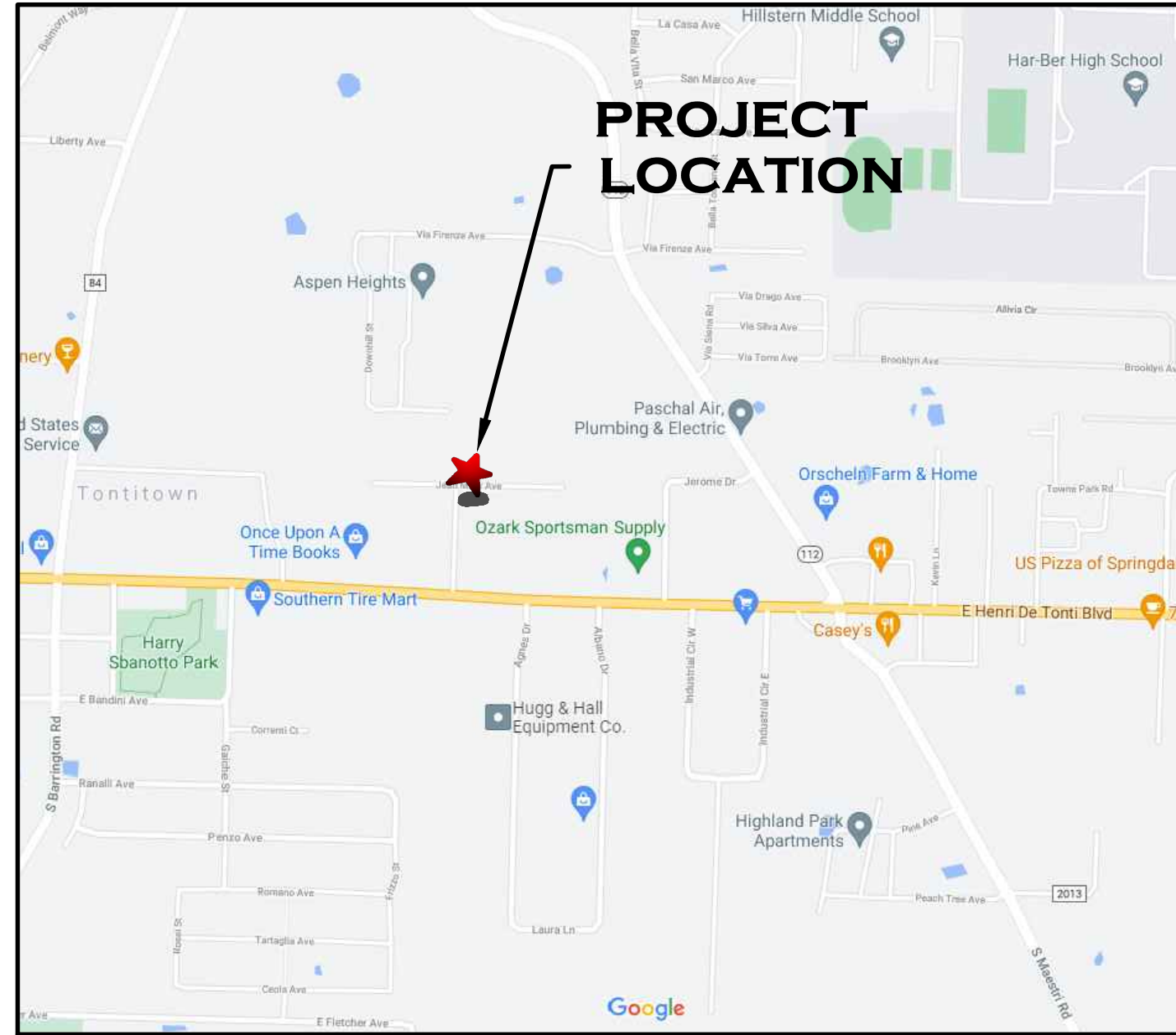
MANHATTAN STEEL DOOR

TONTITOWN, ARKANSAS

LARGE SCALE DEVELOPMENT PLAN

GENERAL NOTES TO CONTRACTOR

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
- PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
- CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
- CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION.
- ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
- DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
- THE CONSTRUCTION AND INSTALLATION OF WATER AND SANITARY SEWER UTILITIES SHALL BE IN COMPLIANCE WITH THE CITY OF TONTITOWN'S WATER AND SEWER SPECIFICATIONS, (REVISED APRIL 5, 2016) PROCEDURES AND DETAILS.
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF TONTITOWN'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
- ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.



VICINITY MAP
N.T.S. NORTH

PROJECT SITE ADDRESS: VIA DE TONTI TONTITOWN, ARKANSAS 72762

PARCEL: 830-37834-000

ACRES: 0.64 +/- ACRES

ZONING CLASSIFICATION: C-2

PROPOSED USE: OFFICE/RETAIL/SERVICE UP TO 5500 SQFT. FURNITURE AND BULKY ITEMS

BUILDING: 4,500 SQUARE FEET
--' HEIGHT

OWNER/DEVELOPER: OZTURK INVESTMENTS LLC
3220 OAKLAND ZION RD
FAYETTEVILLE 72703
PHONE: ---
EMAIL: ---

ENGINEER/SURVEYOR: BATES & ASSOCIATES, INC.
7230 S. PLEASANT RIDGE DR.
FAYETTEVILLE, AR 72704
PHONE: (479) 442-9350
FAX: (479) 521-9350
EMAIL: geoff@batesnw.com

ARCHITECT: BURRIS ARCHITECTURE
820 TIGER BLVD, SUITE 4
BENTONVILLE, AR 72712
PHONE: (479) 319-6045
EMAIL: dave@burrisarch.com

INDEX OF DRAWINGS

- 01 COVER SHEET
- 02 SITE + UTILITY PLAN
- 03 LANDSCAPE PLAN
- 04 LIGHTING PLAN
- 05 GRADING, DRAINAGE AND EROSION CONTROL PLAN
- 06-07 DETAILS

CERTIFICATE OF PRELIMINARY SURVEY ACCURACY

I, DERRICK L. THOMAS, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.

DATE OF EXECUTION: _____

REGISTERED LAND SURVEYOR
STATE OF ARKANSAS REGISTRATION NO. 1642

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY

I, GEOFFREY H. BATES, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN MADE UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.

DATE OF EXECUTION: _____

REGISTERED ENGINEER
STATE OF ARKANSAS REGISTRATION NO. 9810

CERTIFICATE OF PRELIMINARY PLAT APPROVAL

THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL EXPIRE ON _____ (DATE).

DATE OF EXECUTION: _____

CHAIRMAN, CITY OF TONTITOWN PLANNING COMMISSION



OWNERSHIP OF DOCUMENTS

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF BATES & ASSOCIATES, INC., AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES & ASSOCIATES, INC.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.

ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.

CONTACT INFORMATION

CITY OF TONTITOWN WATER & SEWER

CONTACT: JAMES CLARK
201 E. HENRI DE TONTI
TONTITOWN, AR 72770
PHONE: 479-361-2700
FAX: 501-421-8774

TELEPHONE

AT&T
CONTACT: SUSAN CLOUSER
P.O. BOX 7449
SPRINGDALE, AR 72766
PHONE: 479-442-3107
FAX: 479-442-3117

ELECTRIC

OZARKS ELECTRIC
P.O. BOX 848
FAYETTEVILLE, AR 72702
PHONE: 800-521-6144
FAX: 479-684-4617
CONTACT: WES MAHAFFEY
PHONE: 479-263-2167

GAS

BLACK HILLS ENERGY
CONTACT: LEONARD TIDYMAN
655 MILLSAP RD., STE. 104
FAYETTEVILLE, AR 72701
PHONE: 479-582-7817

CABLE

COX COMMUNICATIONS
CHAD HODGE
4901 SOUTH 48TH ST
SPRINGDALE, AR 72762
PHONE: 479-717-3607

SURVEY DESCRIPTION:

A PART OF LOT 14 OF THE TONTITOWN BUSINESS PARK, A SUBDIVISION TO THE CITY OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS, AS PER THE FINAL PLAT FILED IN BOOK 13, AT PAGE 4, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS TO-WIT: BEGINNING AT AN EXISTING REBAR ON THE SOUTH RIGHT-OF-WAY OF JEAN MARY LANE MARKING THE NORTHEAST CORNER OF SAID LOT 14 AND RUNNING THENCE S22°56'38"E 314.42', THENCE N87°28'38"W 167.46' TO AN EXISTING REBAR ON THE EAST RIGHT-OF-WAY OF VIA DE TONTI LANE, THENCE ALONG SAID EAST RIGHT-OF-WAY N02°57'29"E 254.02' TO AN EXISTING REBAR, THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY TO AND ALONG SAID SOUTH RIGHT-OF-WAY OF JEAN MARY LANE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00' FOR A CHORD BEARING AND DISTANCE OF N47°59'02"E 42.56' TO THE POINT OF BEGINNING, CONTAINING 0.64 ACRES, MORE OR LESS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

EXISTING DEED DESCRIPTION (B. 2017, P. 812):
LOT 14, TONTITOWN BUSINESS PARK SUBDIVISION, TO THE CITY OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS, AS SHOWN ON PLAT RECORD "14" AT PAGE 4, SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD, APPROXIMATELY 0.64 ACRES

DISTRICT REGULATIONS (C-2):

MINIMUM LOT WIDTH	100 FEET
MINIMUM LOT DEPTH	100 FEET
MAXIMUM HEIGHT	35 FEET
MAXIMUM LOT COVERAGE	60%

PARKING INFORMATION:

RETAIL SERVICE, FURNITURE AND BULKY ITEMS:
1 SPACE PER 500 SQFT.

PARKING SPACES REQUIRED: 11
PARKING PROVIDED: 10

LOADING SPACES
REQUIRED: 1
PROVIDED: 1

ADA PARKING REQUIRED: 1
ADA PARKING PROVIDED: 1

TOTAL PARKING: 12

EXISTING HYDRANT INFORMATION:

HYDRANT #B5-I32
1,438 GPM
102 STATIC
72 RESIDUAL

HYDRANT #B5-J42
1,377 GPM
102 STATIC
78 RESIDUAL

BUILDING SETBACKS (C-2):

FRONT	25ft (RESIDENTIAL)
FRONT	25ft (NONRESIDENTIAL)
SIDE	25ft STREET (ALL USES)
SIDE	30ft INTERIOR (RESIDENTIAL)
SIDE	10ft INTERIOR (NONRESIDENTIAL)
REAR	25ft (RESIDENTIAL)
REAR	25ft (NONRESIDENTIAL)

FLOOD CERTIFICATION:

A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD (FIRM PANEL #05143C0065F, DATED MAY 16, 2008) INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS.

1. WAIVER REQUESTED

WE WOULD LIKE TO MAKE A REQUEST FOR A WAIVER OF THE 75% OF LISTED APPROVED MATERIALS IN THE BUILDING DESIGN STANDARD. WE FEEL WE ARE USING UPGRADED MATERIALS THAT INCLUDE BRICK, MAC METAL HARDYWOOD (A NO MAINTENANCE WOOD LOOKING SIDING), AND A REVERSE M LOC. AN EXPOSED FASTENER PANEL WITH A REGULAR PROFILE THAT WE FEEL IS A CLEAN AND MODERN MATERIAL USE FOR OUR PROPOSED STRUCTURE. ARCHITECTURE PLANS ARE PROVIDED FOR YOUR REVIEW.

GENERAL SURVEY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BASIS OF ELEVATION:

CITY OF TONTITOWN GIS CONTROL MONUMENT #5 (NAVD 88)

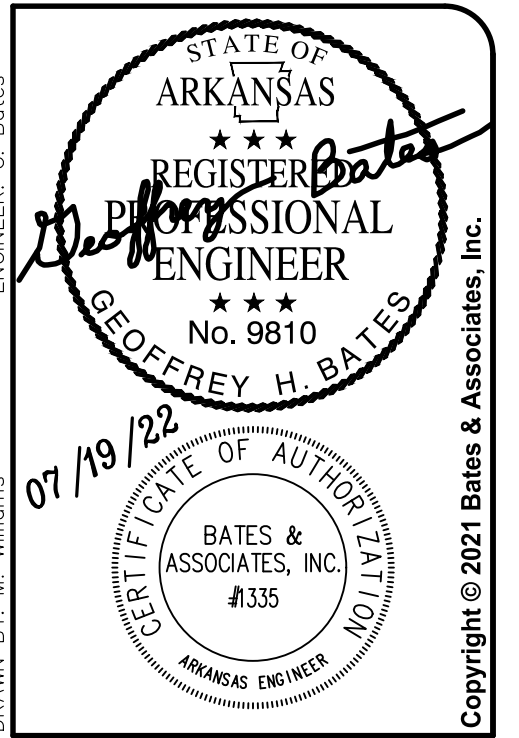
BASIS OF BEARING:

GPS OBSERVATION - AR NORTH ZONE (NAD 83)

PRELIMINARY PLAN FOR INSPECTION PURPOSES ONLY. NOT FOR RECORD PURPOSES.

THERE ARE NO KNOWN WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPROVEMENTS, OR UNDERGROUND STRUCTURES WITHIN THIS PROJECT.

PROPOSED	EXISTING	DESCRIPTION
		ASPHALT (EDGE)
		ASPHALT (SURFACE)
		BUILDING
		BUILDING SETBACK LINE
		BOLLARD
		CABLE TV (UNDERGROUND)
		CABLE TV (OVERHEAD)
		CENTERLINE
		CONCRETE SURFACE
		CONDUIT
		CONTOURS
		CURB & GUTTER
		ELECTRICAL (UNDERGROUND)
		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		EASEMENT
		FENCE (WIRE/WOOD/CHAIN)
		FIBER OPTIC CABLE
		FIRE HYDRANT ASSEMBLY
		FLOWLINE
		FORCE MAIN
		GAS MAIN
		GAS METER
		GRAVEL SURFACE (EDGE)
		GRAVEL SURFACE
		IRON PIN (5/8" RE-BAR)
		LIGHT
		MONUMENT (CONCRETE)
		POND
		POWER POLE
		PROPERTY LINE (EXTERNAL)
		RETAINING WALL
		RIGHT-OF-WAY
		SANITARY SEWER PIPE
		SANITARY SEWER MANHOLE
		SANITARY SEWER SERVICE
		SECTION LINE
		SIDEWALK
		SIGN
		SILT FENCE
		SPOT ELEVATION
		STORM SEWER PIPE
		STORM SEWER INLET
		STORM SEWER BALES
		TELEPHONE PED/MANHOLE
		TELEPHONE (UNDERGROUND)
		TELEPHONE (OVERHEAD)
		TREE LINE CANOPY
		TREE/TREE TO BE REMOVED
		UTILITY EASEMENT
		WATER MAIN PIPE
		WATER VALVE
		WATER METER
		WATER THRUST BLOCK
		WATER MAIN REDUCER
		WATER MAIN BLOWOFF VALVE



REVISIONS	DATE
1st SUBMITTAL	6/05/22
2nd SUBMITTAL	6/22/22
	7/19/22

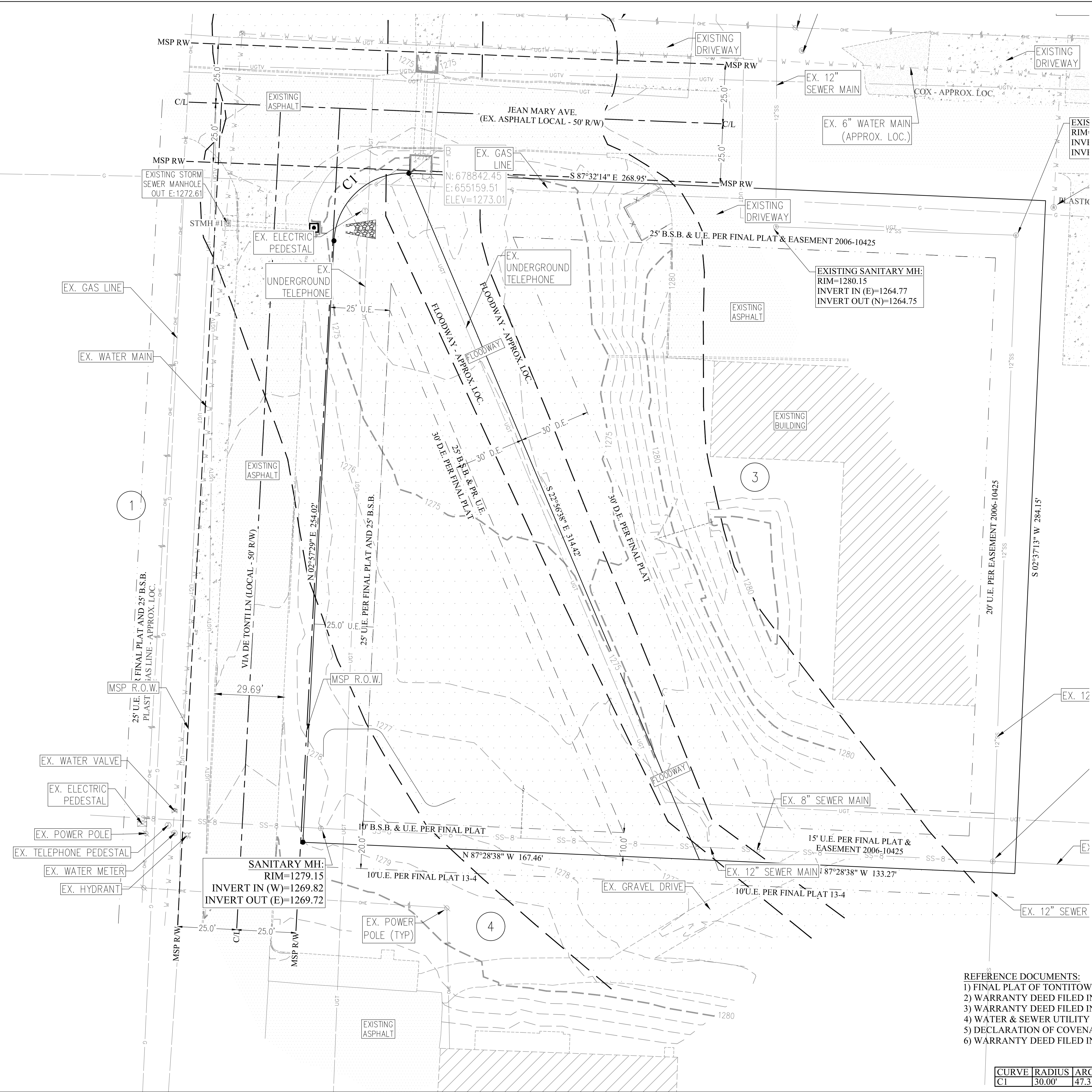
MANHATTAN STEEL DOOR
LARGE SCALE DEVELOPMENT PLANS
COVER SHEET
TONTITOWN, ARKANSAS



PROJECT NO: 21-159
DATE: 01

Drawing Name: I:\300\18-347\Engineering\01 Cover.dwg
Scale: 1"=1' (PS)
Time: 4:56 pm
Date: 12/27/2018
xrefs Used: BATES-AR w signature, COA, BBA, 24X36

Drawing Name: 21\100\21-159\Engineering\02_Survey.dwg
 Scale: 1"=50' (FS)
 Date: 6/7/2021
 Xrefs Used: BATES-AR w signature, COA BBA, 24x36, base



- ADJACENT LAND OWNERS:**
- 1) CJDG PROPERTIES LLC
 1204 E JOYCE BLVD STE 102
 FAYETTEVILLE, AR 72703
 PARCEL #830-37835-000
 ZONED: C-2
 - 2) J & R NORTHWEST HOLDINGS LLC
 PO BOX 688
 NORTH LITTLE ROCK, AR 72115
 PARCELS #830-37824-000 &
 #830-37825-000
 ZONED: C-2
 - 3) DOMINGUEZ-CERVANTES, RAFAEL &
 DOMINGUEZ, MARIA DEL C
 585 JEAN MARY AVE
 SPRINGDALE, AR 72762
 PARCEL #830-37833-000
 ZONED: C-2
 - 4) 548 HENRI DE TONTI LLC
 4611 ROGERS AVE STE 201
 FORT SMITH, AR 72903-3137
 PARCEL #830-37834-001
 ZONED: C-2

FLOOD CERTIFICATION:
 A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS. (FIRM PANEL #05143C0065F. DATED 05/16/2008)

BASIS OF BEARING:
 GPS OBSERVATION - AR NORTH ZONE

BASIS OF ELEVATION:
 CITY OF TONTITOWN GIS MONUMENT #5
 (NAVD 88 VERTICAL DATUM)

- REFERENCE DOCUMENTS:**
- 1) FINAL PLAT OF TONTITOWN BUSINESS PARK SUBDIVISION FILED IN BOOK 13 AT PAGE 4
 - 2) WARRANTY DEED FILED IN BOOK 2019 AT PAGE 1351
 - 3) WARRANTY DEED FILED IN BOOK 2017 AT PAGE 812
 - 4) WATER & SEWER UTILITY EASEMENT FILED IN BOOK 2006 AT PAGE 10425
 - 5) DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FILED IN BOOK 95 AT PAGE 64410
 - 6) WARRANTY DEED FILED IN BOOK 96 AT PAGE 23569

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
CI	30.00'	47.31'	42.56'	N 47°59'02" E	90°21'08"	30.19'

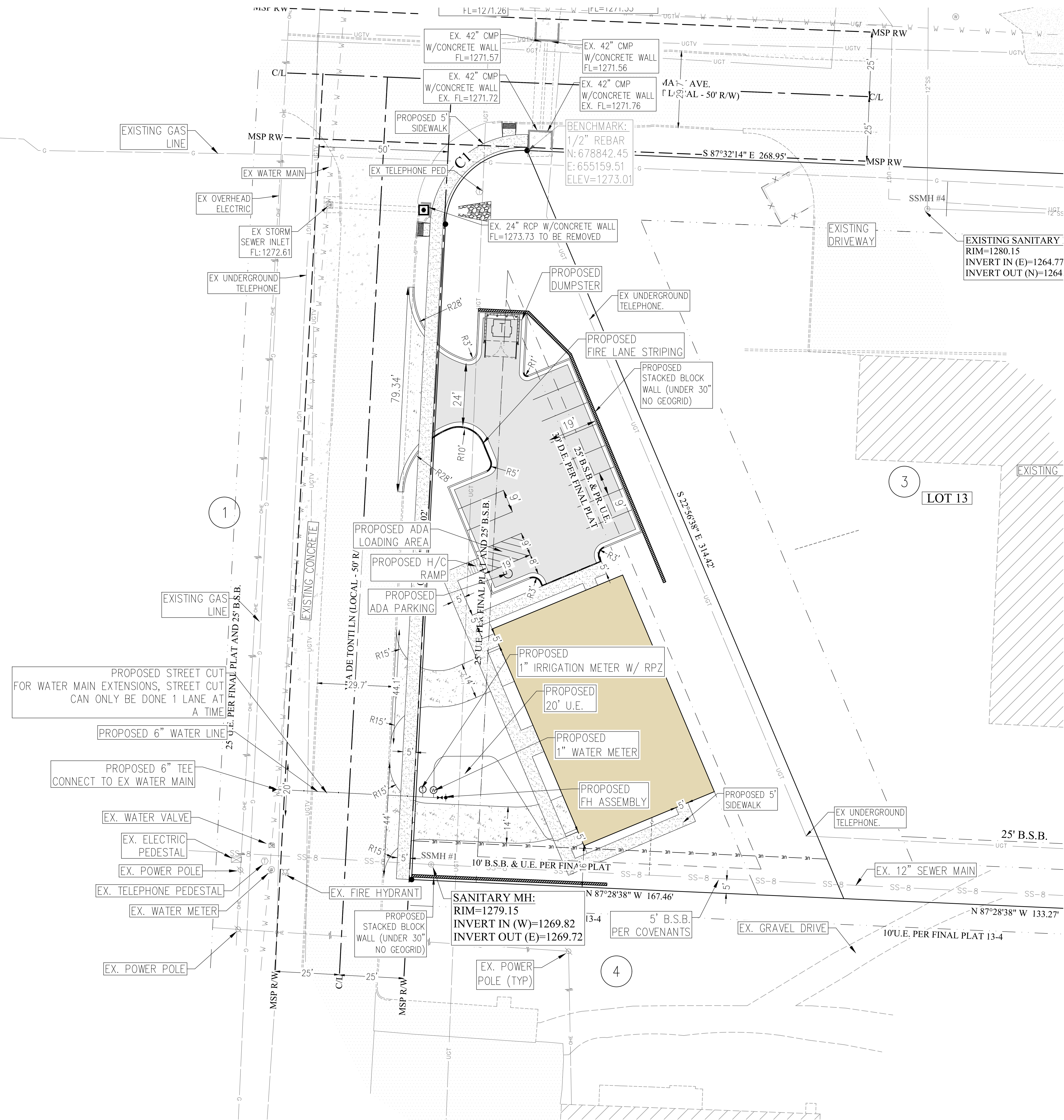
ENGINEER: G. BATES
 DRAWN BY: M. WILLIAMS
 07/19/22
 CERTIFICATE OF AUTHORITY
 BATES & ASSOCIATES, INC.
 #335
 ARKANSAS DRIVER NO. 100
 STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 No. 9810
 GEOFFREY H. BATES
 Copyright © 2021 Bates & Associates, Inc.

REVISIONS	DATE
1st SUBMITTAL	6/05/22
2nd SUBMITTAL	6/22/22
	7/19/22

MANHATTAN STEEL DOOR
 LARGE SCALE DEVELOPMENT PLANS
 SITE SURVEY
 TONTITOWN, ARKANSAS

Bates & Associates, Inc.
 Civil Engineering & Surveying
 www.batesna.com
 7230 S. Pleasant Ridge Drive Phone • 479.442.9350 • Fax 479.521.9550
 Fayetteville, Arkansas 72704

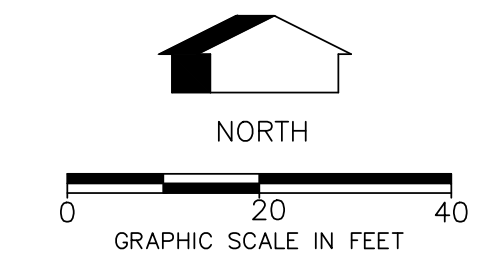
Drawing Name: 18\300\18-347\Engineering\02 Site Plan.dwg
 Scale: 1"=50' (P-5)
 Date: 1/24/2019
 Xrefs Used: BATES-AR w signature, COA BBA, 24x36, base



PROPOSED	EXISTING	DESCRIPTION
AE	AE	ACCESS EASEMENT
		ASPHALT (EDGE)
		ASPHALT (SURFACE)
		BOLLARD
		BUILDING
		BUILDING SETBACK LINE
		CABLE TV (UNDERGROUND)
		CENTERLINE
		CONCRETE (EDGE)
		CONCRETE (SURFACE)
		CONDUIT
		CONTOUR
		CURB & GUTTER
		DRAINAGE FLOW
		DUMPSTER
UE	UE	UTILITY EASEMENT
		ELECTRICAL (UNDERGROUND)
		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		EROSION CONTROL FENCE
		EROSION CONTROL RIP-RAP
		FENCE (EX. WIRE/PC SCREENING)
		FIBER OPTIC CABLE
		FIRE HYDRANT ASSEMBLY
		FLORING
		FORCE MAIN
		GAS MAIN
		GAS METER/VALVE
		GRAVEL (EDGE)
		GRAVEL (SURFACE)
		IRON PIN - (RE-BAR)
		LIGHT
		POND
		POWER POLE
		PROPERTY LINE
		RETAINING WALL
		RIGHT-OF-WAY
		SANITARY SEWER MANHOLE
		SANITARY SEWER PIPE
		SANITARY SEWER SERVICE
		SECTION/TIE LINE
		SEWAGE
		SPOT ELEVATION
		STANDARD CONSTRUCTION ENIT.
		STORM SEWER INLET
		STORM SEWER PIPE
		STRIP (PAINTED OR STICKY)
		TELEPHONE PED/MANHOLE
		TELEPHONE (UNDERGROUND)
		TREE LINE CANOPY
		TREE/TREE TO BE REMOVED
		WATER MAIN BLOWOFF VALVE
		WATER MAIN FIRE DEPT. CONN.
		WATER MAIN PIPE
		WATER MAIN RESERVOIR
		WATER MAIN THURST BLOCK
		WATER METER
		WATER METER (IRRIGATION)
		WATER VALVE

ALL WORK SHALL COMPLY WITH THE TONTITOWN STANDARD WATER AND SEWER SPECIFICATIONS, REVISED APRIL 5, 2016, EXCEPT WHERE EXPRESSLY ALLOWED BY THE WATER DEPARTMENT

EXISTING HYDRANT INFORMATION:
 HYDRANT #B5-132
 1,438 GPM
 102 STATIC
 72 RESIDUAL
 HYDRANT #B5-142
 1,377 GPM
 102 STATIC
 78 RESIDUAL



ADA NOTES:

1. CONTACT ADA ADMINISTRATOR AND REQUEST AN INSPECTION PRIOR TO POURING ANY SIDEWALK OR DRIVEWAY IN THE RIGHT-OF-WAY
2. HANDICAP ACCESS AREAS MUST HAVE NO MORE THAN 2% GRADE

NOTES:

1. THERE ARE EXISTING WETLANDS ON THIS SITE. THE WETLAND CLASSIFICATION IS RIVERINE R4/SB.
2. THIS SITE IS WITHIN THE 100-YEAR FLOODPLAIN ACCORDING TO FIRM PANEL #05143C0065F, DATED MAY 16, 2008.
3. THERE ARE NO KNOWN OVERFLOW PROBLEMS ON-SITE OR IN THE PROXIMITY OF THE SITE.
4. THERE ARE NO KNOWN EROSION PROBLEMS ON-SITE OR WITHIN 100' DOWNSTREAM OF THE PROPERTY.
5. THERE ARE NO KNOWN ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPOUNDMENTS, OR UNDERGROUND STRUCTURES WITHIN THE PROJECT.
6. THERE ARE NO KNOWN EXISTING OR PROPOSED GROUND LEASES OR ACCESS AGREEMENTS ON THIS PROPERTY.
7. THERE ARE NO KNOWN POTENTIALLY DANGEROUS AREAS, INCLUDING AREAS SUBJECT TO FLOODING, SLOPE STABILITY, SETTLEMENT, EXCESSIVE NOISE, OR PREVIOUSLY FILLED AREAS.
8. ALL INTERIOR DRIVE SHALL MEET THE REQUIRED COMPACTION RATING TO SUPPORT EMERGENCY VEHICLES.
9. PRELIMINARY PLAN FOR INSPECTION PURPOSES ONLY. NOT FOR RECORD PURPOSES
10. PROPERTY MUST BE KEPT CLEAN, UNOBSTRUCTED, AND ACCESSIBLE AT A MINIMUM OF 10 FEET ALL AROUND THE BUILDING AT ALL TIMES.

UTILITY NOTES:

1. ANY RELOCATION OF EXISTING FACILITIES OR EXTENSION OF LINE THAT HAS TO BE BUILT SPECIFICALLY TO FEED THIS PROJECT WILL BE AT FULL COST TO THE DEVELOPER.
2. ALL PROPERTY CORNERS AND EASEMENTS MUST BE CLEARLY MARKED BEFORE CONSTRUCTION WILL BEGIN.
3. ALL OFFSITE EASEMENTS THAT ARE NEEDED FOR OZARKS TO EXTEND ELECTRICAL SERVICE TO THE PROPERTY MUST BE OBTAINED BY DEVELOPER AND EASEMENT DOCUMENTATION PROVIDED TO OZARKS BEFORE WORK BEGINS. ON SITE EASEMENTS MUST BE SHOWN ON PLAT AND RECORDED WITH THE COUNTY.
4. ALL CONDUITS PLACED AT ROAD CROSSINGS BY DEVELOPER MUST HAVE 48 INCH OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY END OF CONDUITS. (3-4 INCH SCHEDULE 40 CONDUITS TO BE USED FOR ELECTRICAL ONLY AT ALL ROAD CROSSINGS, CONDUITS MUST EXTEND PAST THE EDGE OF ANY OBSTRUCTIONS SO THAT THEY ARE ACCESSIBLE DURING CONSTRUCTION.) THERE MUST BE MINIMUM SEPARATION OF 12 INCHES BETWEEN CONDUITS FOR ELECTRICAL AND CONDUITS FOR OTHER UTILITIES. THIS IS NESO CODE 354. ALL CONDUITS FOR ROAD CROSSINGS AND SPECIFIC WIDTHS OF U.E. MUST BE SHOWN ON FINAL PLAT BEFORE OZARKS ELECTRIC WILL SIGN THE FINAL PLAT.
5. TRANSFORMER MUST HAVE A MINIMUM OF 30 FEET CLEARANCE FROM ANY STRUCTURE. ANY VARIATION OF THIS REQUIREMENT MUST HAVE WRITTEN APPROVAL FROM AN OZARKS REPRESENTATIVE.
6. DEVELOPER WILL NEED TO CONTACT OZARKS ELECTRIC AND PROVIDE THEM WITH ELECTRICAL LOAD INFORMATION BEFORE ANY COST TO DEVELOPER CAN BE DETERMINED.
7. DEVELOPER TO PROVIDE ALL TRENCH AND PVC CONDUITS INCLUDING PVC SWEEPS IN ACCORDANCE WITH OZARKS SPECIFICATIONS.
8. DEVELOPER MUST PROVIDE OZARKS ELECTRIC WITH A DIGITAL COPY (AUTOCAD) OF THE FINAL PLAT AS WELL AS A HARD COPY.
9. ALL UTILITY EASEMENTS TO BE CLEARED OF ALL TREES, BRUSH, DIRT PILES, BUILDINGS AND DEBRIS SO THAT THE EASEMENT IS ACCESSIBLE WITH EQUIPMENT. IF EASEMENT IS NOT CLEARED DEVELOPER MAY BE SUBJECT TO EXTRA CHARGES.
10. DEVELOPER OR CONTRACTOR MUST APPLY FOR TEMPORARY CONSTRUCTION SERVICE AND PERMANENT SERVICE BEFORE ANY DESIGN AND COST IS DETERMINED BY OZARKS.
11. PLEASE CONTACT OZARKS ELECTRIC WHEN CONSTRUCTION BEGINS ON THIS PROJECT AND AGAIN WHEN CONSTRUCTION IS WITHIN THREE MONTHS OF COMPLETION.

CALL WES MAHAFFEY AT (479)263-2167 WMAHAFFEY@OZARKSECC.COM

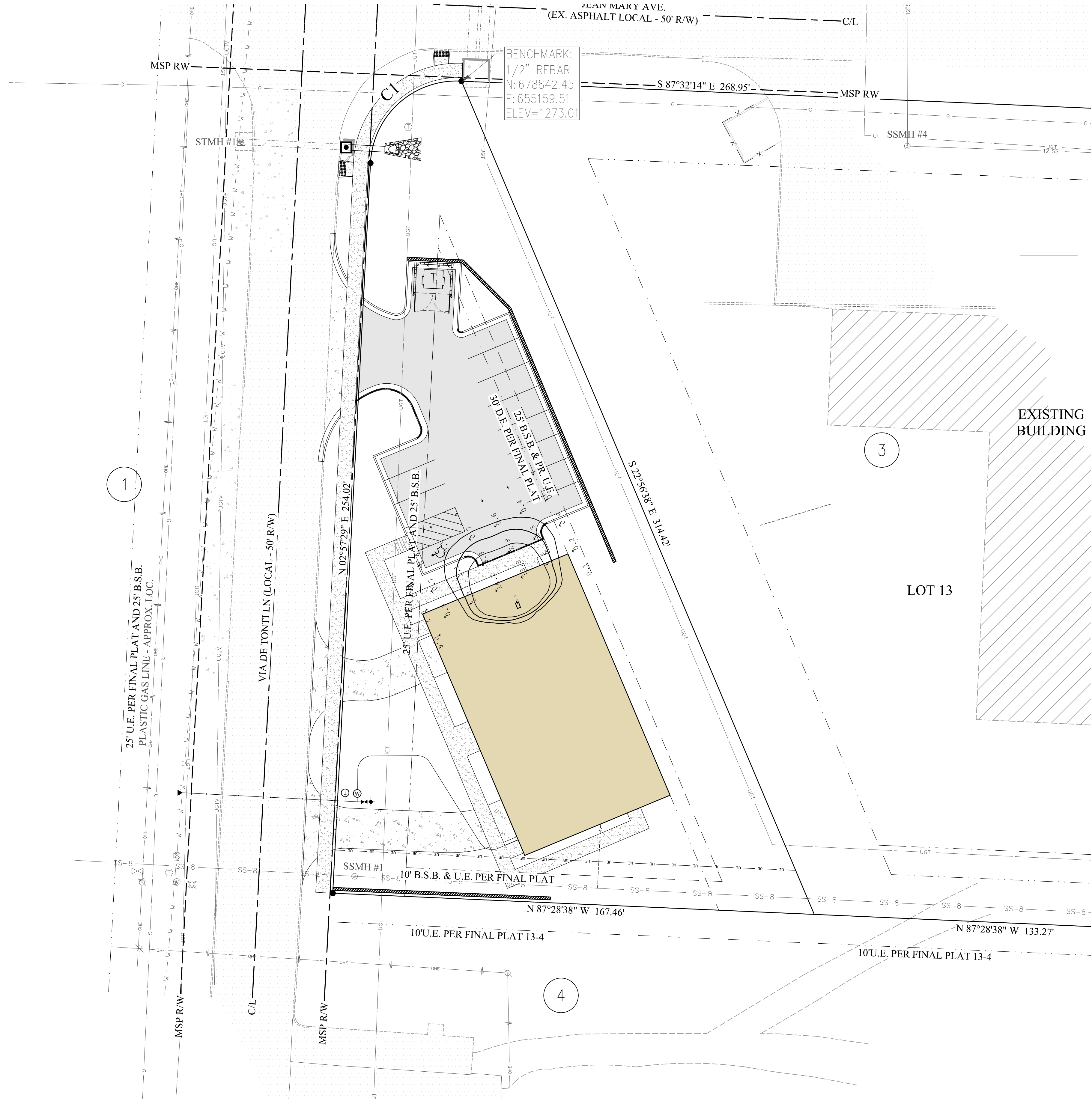
ENGINEER: G. BATES
 07/19/22
 REGISTERED PROFESSIONAL ENGINEER
 No. 9810
 GEORFREY H. BATES
 BATES & ASSOCIATES, INC.
 #335
 ARKANSAS DRIVER NO. 100
 Copyright © 2021 Bates & Associates, Inc.

REVISIONS	DATE
1st SUBMITTAL	6/05/22
1st SUBMITTAL	6/22/22
2nd SUBMITTAL	7/19/22

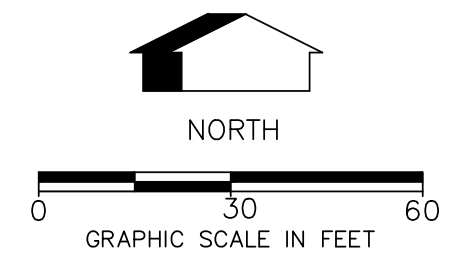
MANHATTAN STEEL DOOR
 LARGE SCALE DEVELOPMENT PLANS
 SITE & UTILITY PLAN
 TONTITOWN, ARKANSAS

Bates & Associates, Inc.
 Civil Engineering & Surveying
 www.batesna.com
 7230 S. Pleasant Ridge Drive Phone • 479.442.9350 • Fax 479.521.9550
 Fayetteville, Arkansas 72704

Time: 8:43 am
 Scale: 1"=50' (P5)
 Date: 2/14/2019
 Drawing Name: 18\300\18-347\Engineering\04_Lighting Plan.dwg
 Xrefs Used: BATES-AR w signature, COA BBA, 24x36_base



- NOTES:**
1. ALL OUTDOOR LIGHT FIXTURES WITH AN INITIAL OUTPUT GREATER THAN OR EQUAL TO 2,000 LUMENS SHALL BE CUTOFF OR FULL CUTOFF, AS DEFINED BY IESNA.
 2. ALL LIGHT FIXTURES SHALL BE LOCATED, AIMED OR SHIELDED SO AS TO MINIMIZE LIGHT TRESPASS ACROSS PROPERTY BOUNDARIES.
 3. WHERE APPLICABLE, ALL COMMERCIAL INSTALLATIONS SHALL UTILIZE HOUSE SIDE SHIELDING TO MINIMIZE LIGHT TRESPASS ON RESIDENTIAL PROPERTIES.



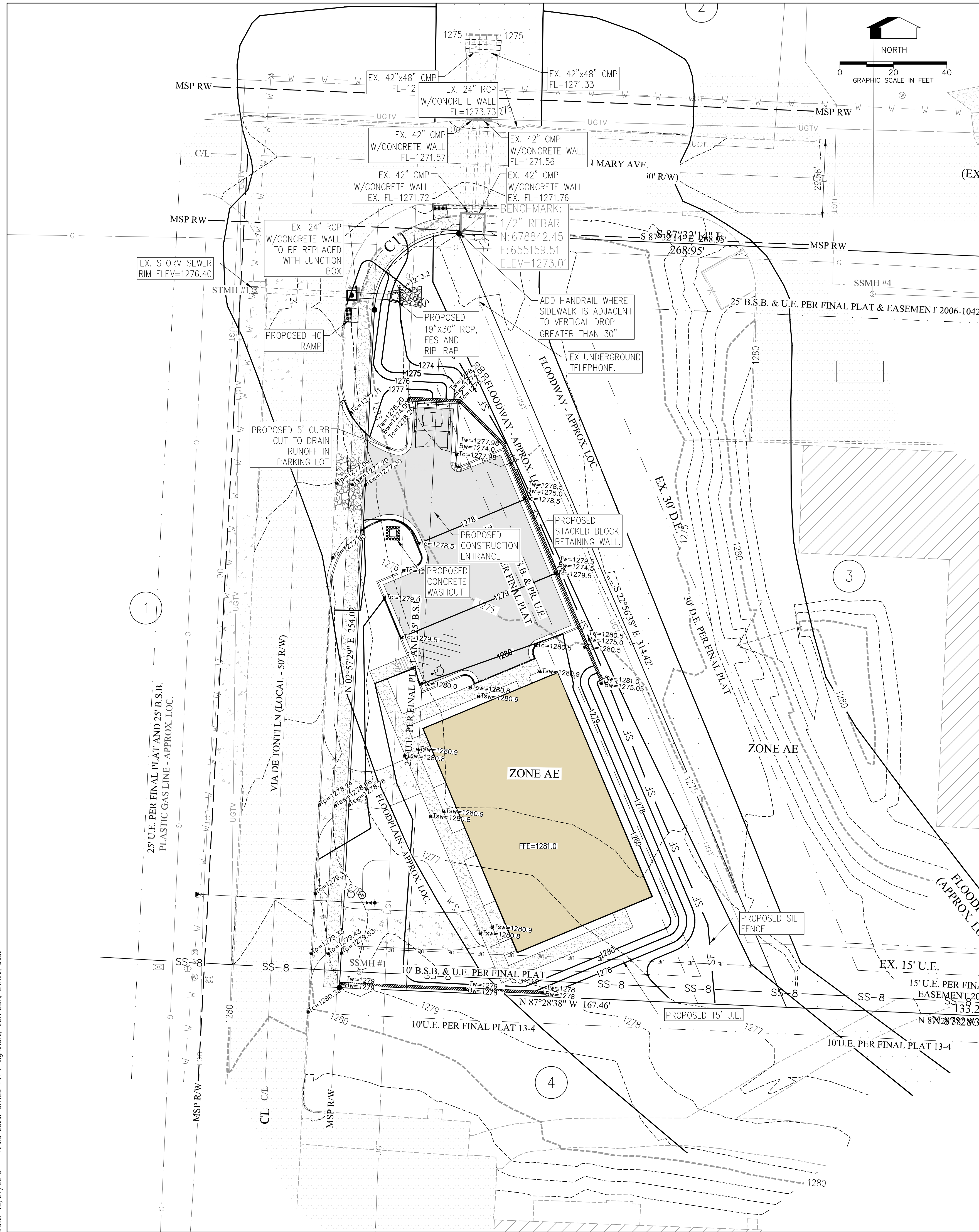
REVISIONS	DATE
1st SUBMITTAL	6/05/22
1st SUBMITTAL	6/22/22
2nd SUBMITTAL	7/19/22

MANHATTAN STEEL DOOR
 LARGE SCALE DEVELOPMENT PLANS
 LIGHTING PLAN
 TONTITOWN, ARKANSAS

Bates & Associates, Inc.
 www.batesna.com
 Civil Engineering & Surveying
 7230 S. Pleasant Ridge Drive Phone · 479.442.8350 · Fax 479.521.9550
 Fayetteville, Arkansas 72704

ENGINEER: G. BATES
 DRAWN BY: M. Williams
 07/19/22
 STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 No. 9810
 GEOFFREY H. BATES
 CERTIFICATE OF AUTHORITY
 BATES & ASSOCIATES, INC.
 #335
 ARKANSAS DRIVER NO. 100
 Copyright © 2021 Bates & Associates, Inc.

PROJECT NO 21-159
 DATE 04



CONSTRUCTION NOTES:

1. ALL AREAS UNDER BUILDINGS AND PAVED AREAS SHALL BE STRIPPED OF TOPSOIL. THE RESULTING SUB GRADE SHALL BE THOROUGHLY COMPACTED. ANY SOFT OR YIELDING AREAS SHALL BE STABILIZED OR REMOVED AND REPLACED WITH SUITABLE MATERIAL.
2. FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER. ALL FILL SHALL BE MADE IN LIFTS NOT EXCEEDING 8" THICKNESS WITH EACH LIFT COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 SLOPE.
3. ALL GRADED AREAS SHALL HAVE 4" OF TOPSOIL, SOD, EROSION FABRIC, HERBACEOUS GROUND COVER, AND/OR HYDROSEEDED WITH A WARM SEASON GRASS. REVEGETATION SHALL BE IMMEDIATELY AFTER THE PHYSICAL ALTERATION OF THE LAND IS COMPLETE (MAXIMUM OF 15 DAYS).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY GRADING REGULATIONS. SILT FENCES, BERMS, DETENTION PONDS, OR OTHER MEANS NEEDED TO MEET THE CITY GRADING REQUIREMENTS SHALL BE PROVIDED AS REQUIRED TO MEET THESE REGULATIONS.
5. ALL HEAVILY TRAVELED DIRT AREAS SHALL BE WETTED TO PREVENT EXCESSIVE DUST, DURING CONSTRUCTION.
6. ALL MUD/DIRT LEFT ON PUBLIC STREETS OR ADJACENT PROPERTIES AS A RESULT OF THIS CONSTRUCTION SHALL BE IMMEDIATELY SHOVELED OR SWEEPED AWAY UNTIL IT IS COMPLETELY REMOVED BY THE CONTRACTOR.

(EX) SEDIMENT & EROSION CONTROL NOTES:

1. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM A.D.E.Q. AND CITY REGARDING RUNOFF, EROSION CONTROL, AND GRADING BEFORE BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL POST STORM WATER POLLUTION PREVENTION PLAN.
3. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND OCCASIONALLY REPLACED THROUGHOUT THE CONSTRUCTION PROCESS.
4. ALL EROSION & SEDIMENT CONTROL DEVICES SHOWN SHALL BE INSTALLED BEFORE CONSTRUCTION BEGINS. THOSE ITEMS SHALL REMAIN IN PLACE UNTIL ALL EXCAVATION IS COMPLETE.
5. THE PROPERTY OWNER OR MAIN CONTRACTOR ON SITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGE OR DISTURBED BY UNDERGROUND PRIVATE FRANCHISED UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION

REVEGETATION NOTES:

REVEGETATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE THE FOLLOWING:

- PERMANENT IMPROVEMENTS. PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED COINCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
- TOP SOIL. TOP SOIL SHALL BE STOCKPILED AND PROTECTED FOR LATER USE ON AREAS REQUIRING LANDSCAPING. IF TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
- EXISTING VEGETATION. EVERY MEANS SHALL BE TAKEN TO CONSERVE AND PROTECT EXISTING VEGETATION.
- SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED UNLESS OTHERWISE ALLOWED BY THE CITY.
- 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDED WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE IN NO MORE THAN TWO GROWING SEASONS.

PROPOSED	EXISTING	DESCRIPTION
AE	AE	ACCESS EASEMENT
		ASPHALT (EDGE)
		ASPHALT (SURFACE)
		BOLLARD
		BUILDING SETBACK LINE
		CABLE TV (UNDERGROUND)
		CENTERLINE
		CONCRETE (EDGE)
		CONCRETE (SURFACE)
		CONDUIT
		CONTOURS
		CURB & GUTTER
		DRAINAGE FLOW
		DUMPSTER
UE	UE	UTILITY EASEMENT
		ELECTRICAL (UNDERGROUND)
		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		EROSION CONTROL FENCE
		EROSION CONTROL RIP-RAP
		FENCE (EX. WIRE/PR. SCREENING)
		FIBER OPTIC CABLE
		FIRE HYDRANT ASSEMBLY
		FLOWLINE
		FORCE MAIN
		GAS MAIN
		GAS METER/VALVE
		GRAVEL (EDGE)
		GRAVEL (SURFACE)
		IRON PIN - (RE-BAR)
		LIGHT
		POND
		POWER POLE
		PROPERTY LINE
		RETAINING WALL
		RIGHT-OF-WAY
		SANITARY SEWER MANHOLE
		SANITARY SEWER PIPE
		SANITARY SEWER SERVICE
		SECTION/TIE LINE
		SIDEWALK
		SIGN
		SPOT ELEVATION
		STABILIZED CONSTRUCTION ENT.
		STORM SEWER INLET
		STORM SEWER PIPE
		STRIP (PAINTED OR STICKY)
		TELEPHONE PEG/MANHOLE
		TELEPHONE (UNDERGROUND)
		TREE LINE CANOPY
		TREE/TREE TO BE REMOVED
		WATER MAIN BLOWOFF VALVE
		WATER MAIN FIRE DEPT. CONN.
		WATER MAIN PIPE
		WATER MAIN REDUCER
		WATER MAIN THRUST BLOCK
		WATER METER
		WATER METER (IRRIGATION)
		WATER VALVE

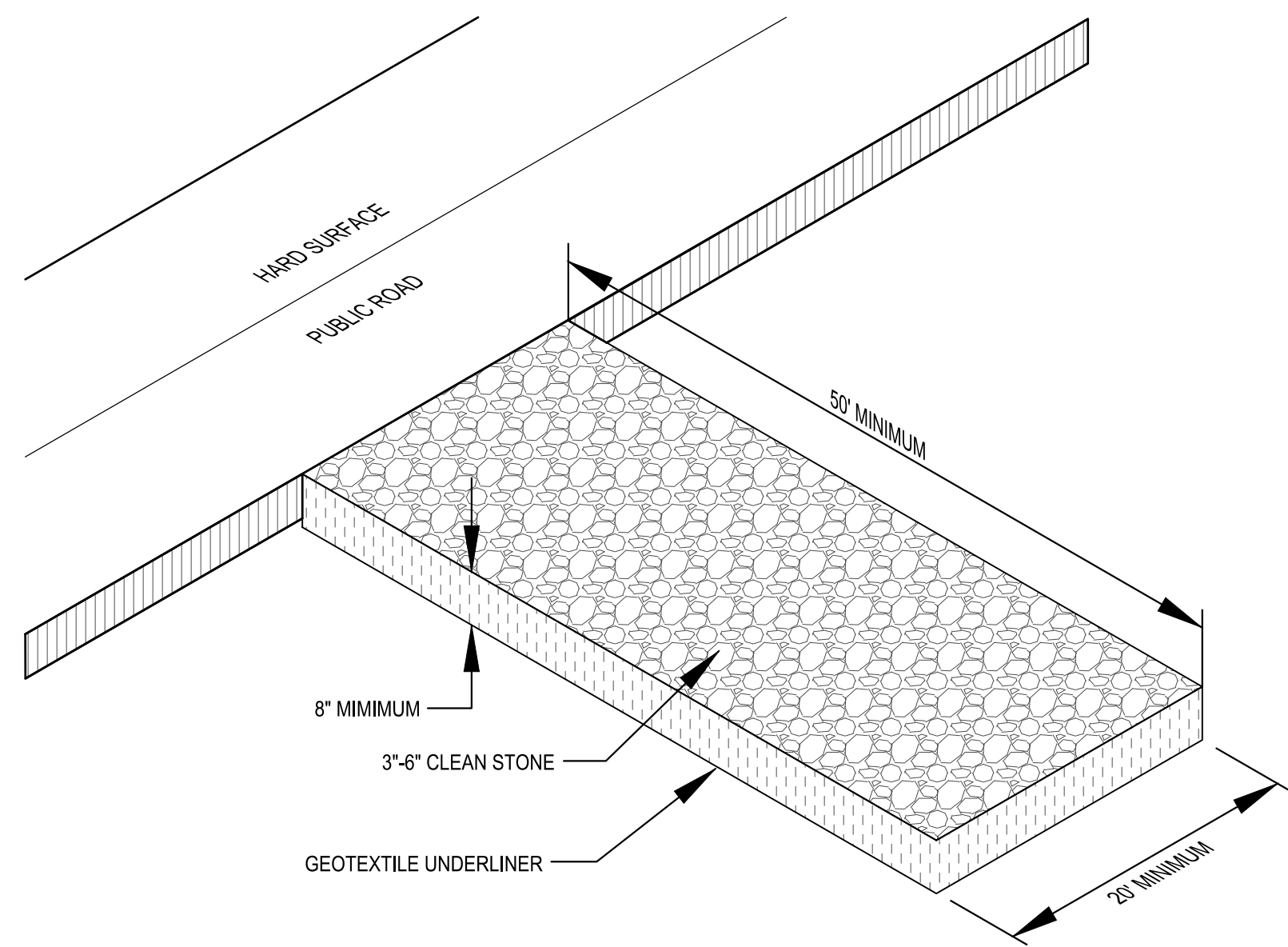
STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 No. 9810
 GEOFFREY H. BATES
 07/19/22
 CERTIFICATE OF AUTHORITY
 BATES & ASSOCIATES, INC.
 #335
 ARKANSAS ENGINEER
 Copyright © 2021 Bates & Associates, Inc.

DATE	REVISIONS
6/05/22	
6/22/22	
7/19/22	
1st SUBMITTAL	
2nd SUBMITTAL	

MANHATTAN STEEL DOOR
 LARGE SCALE DEVELOPMENT PLANS
 GRADING, DRAINAGE &
 EROSION CONTROL PLAN
 TONTTOWN, ARKANSAS

Bates & Associates, Inc.
 www.bateswa.com
 Civil Engineering & Surveying
 7230 S. Pleasant Ridge Drive Phone • 479.442.9350 • Fax 479.521.9550
 Fayetteville, Arkansas 72704





CONSTRUCTION EXIT NOTES

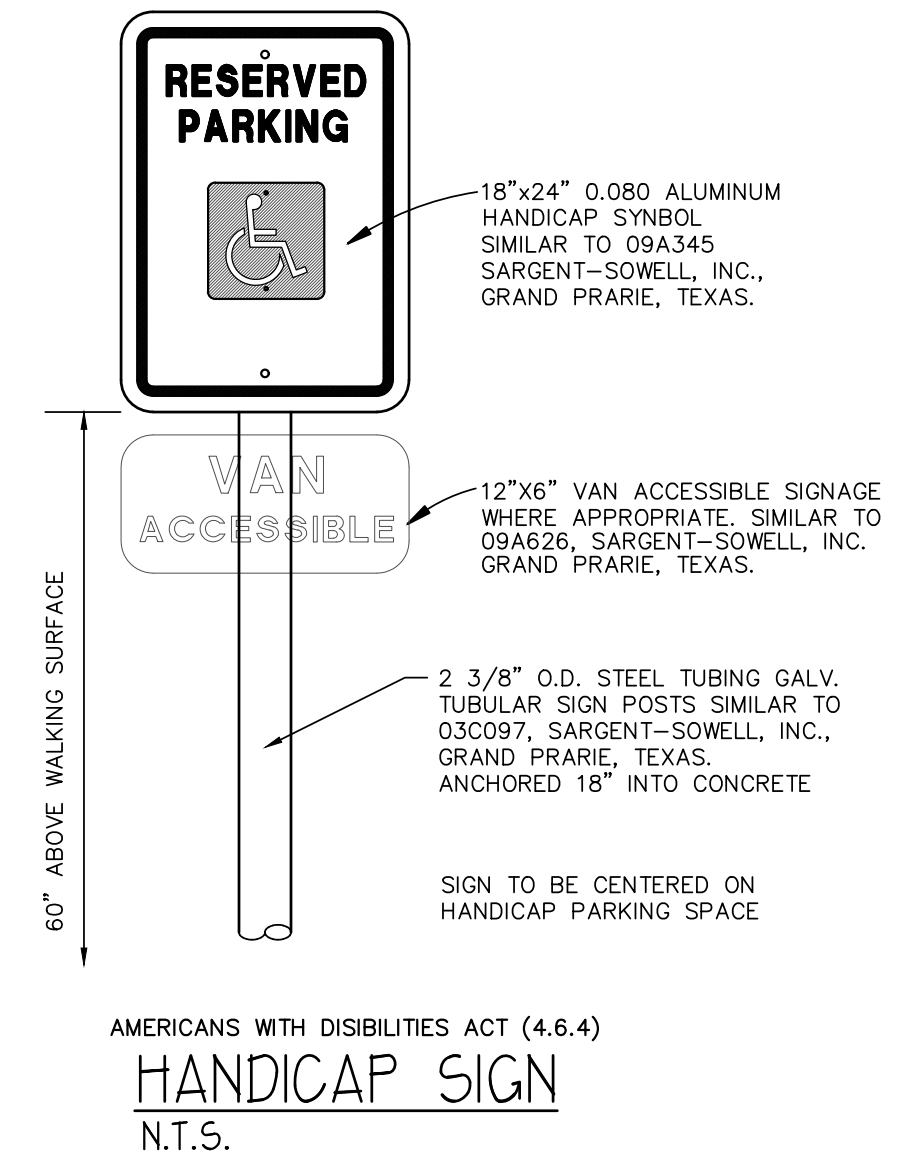
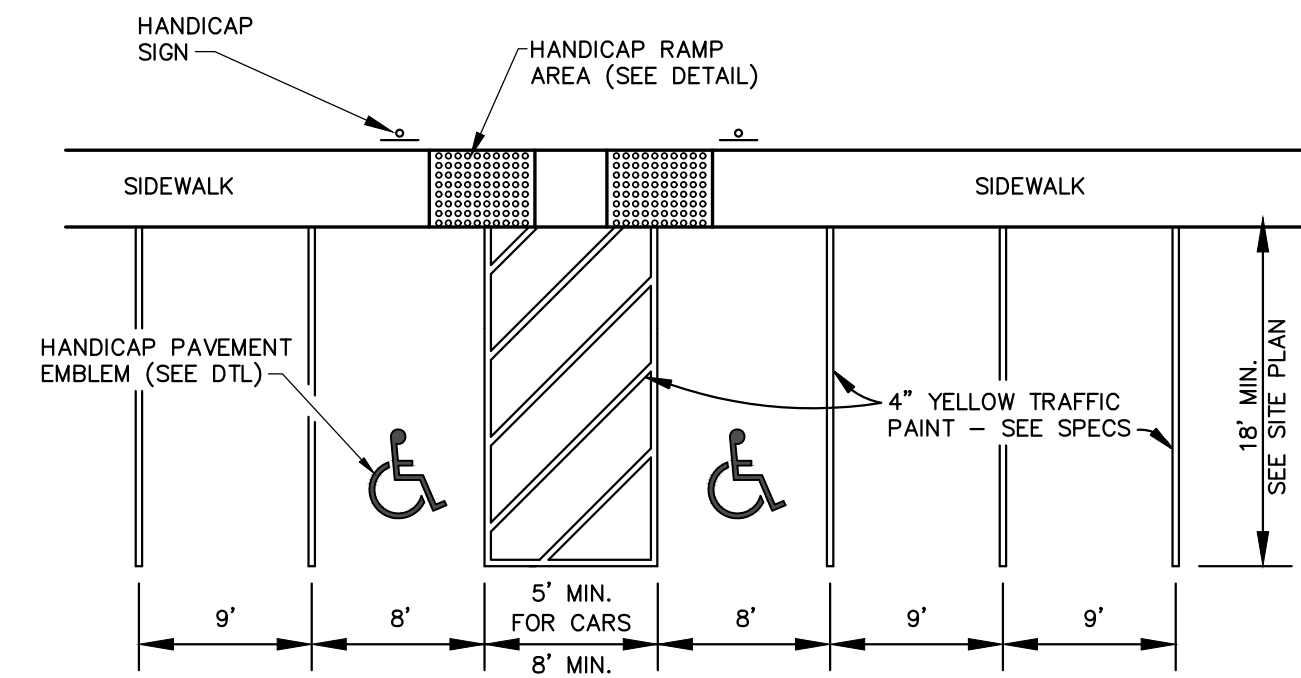
1. REPLACE CONTAMINATED STONE AS REQUIRED TO PREVENT TRACKING OF SEDIMENT OR MUD ON PUBLIC STREETS.
2. CLEAN STREETS DAILY WITH BROOM AND SHOVEL. THE USE OF WATER IS PROHIBITED.
3. ALL VEHICLES MUST USE CONSTRUCTION EXIT.

CONSTRUCTION EXIT
N.T.S.

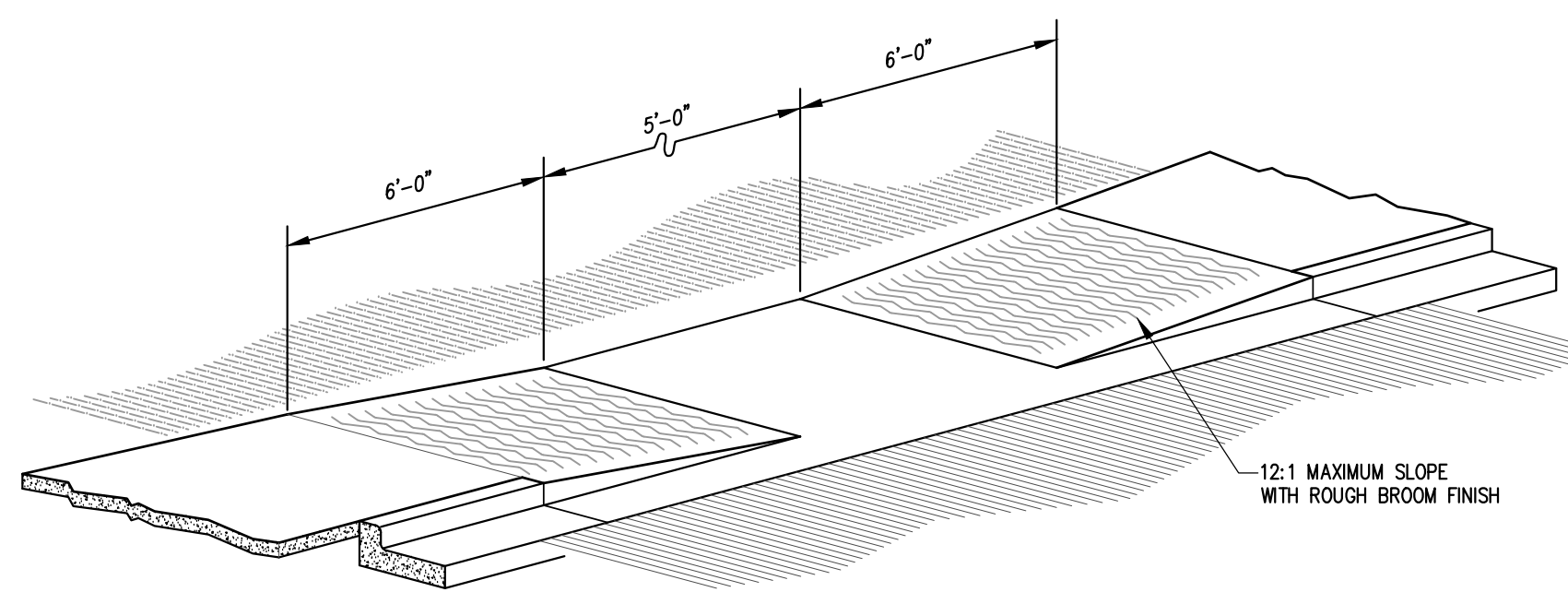
TOTAL NUMBER OF SPACES PROVIDED (PER LOT)	TOTAL MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES (60' & 96' AISLES)	VAN ACCESSIBLE PARKING SPACES WITH MIN. 96" WIDE ACCESS AISLE
1 to 25	1	1
26 to 50	2	1
51 to 75	3	1
76 to 100	4	1
101 to 150	5	1
151 to 200	6	1
201 to 300	7	1
301 to 400	8	1
401 to 500	9	2
501 to 1000	2% of total parking provided in each lot	1/8 of Column A*
1001 and over	20 plus 1 for each 100 over 1000	1/8 of Column A*

* ONE OUT OF EVERY 8 ACCESSIBLE SPACES

TYP. PARKING STRIPING LAYOUT
N.T.S.

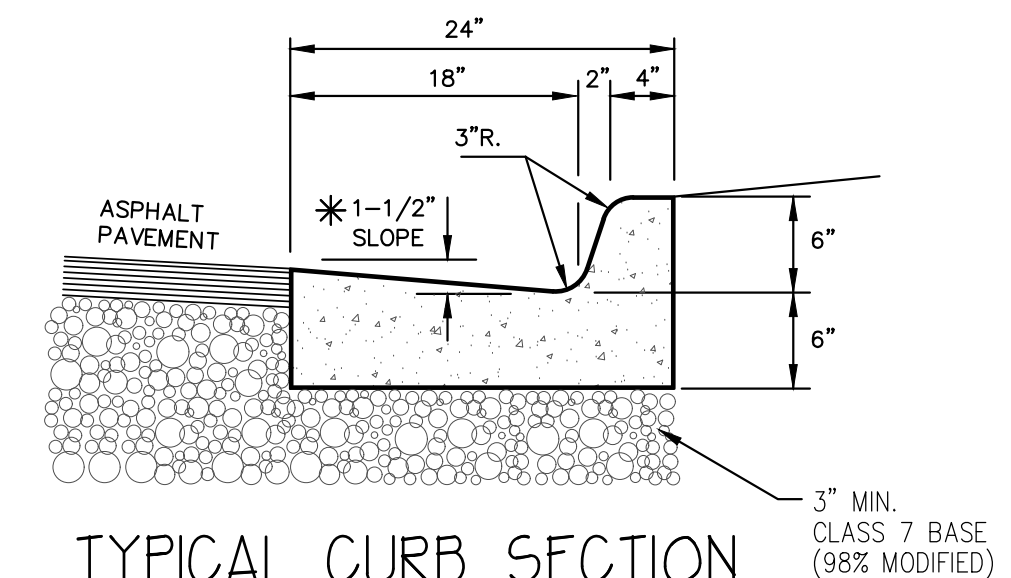


HANDICAP SIGN
N.T.S.

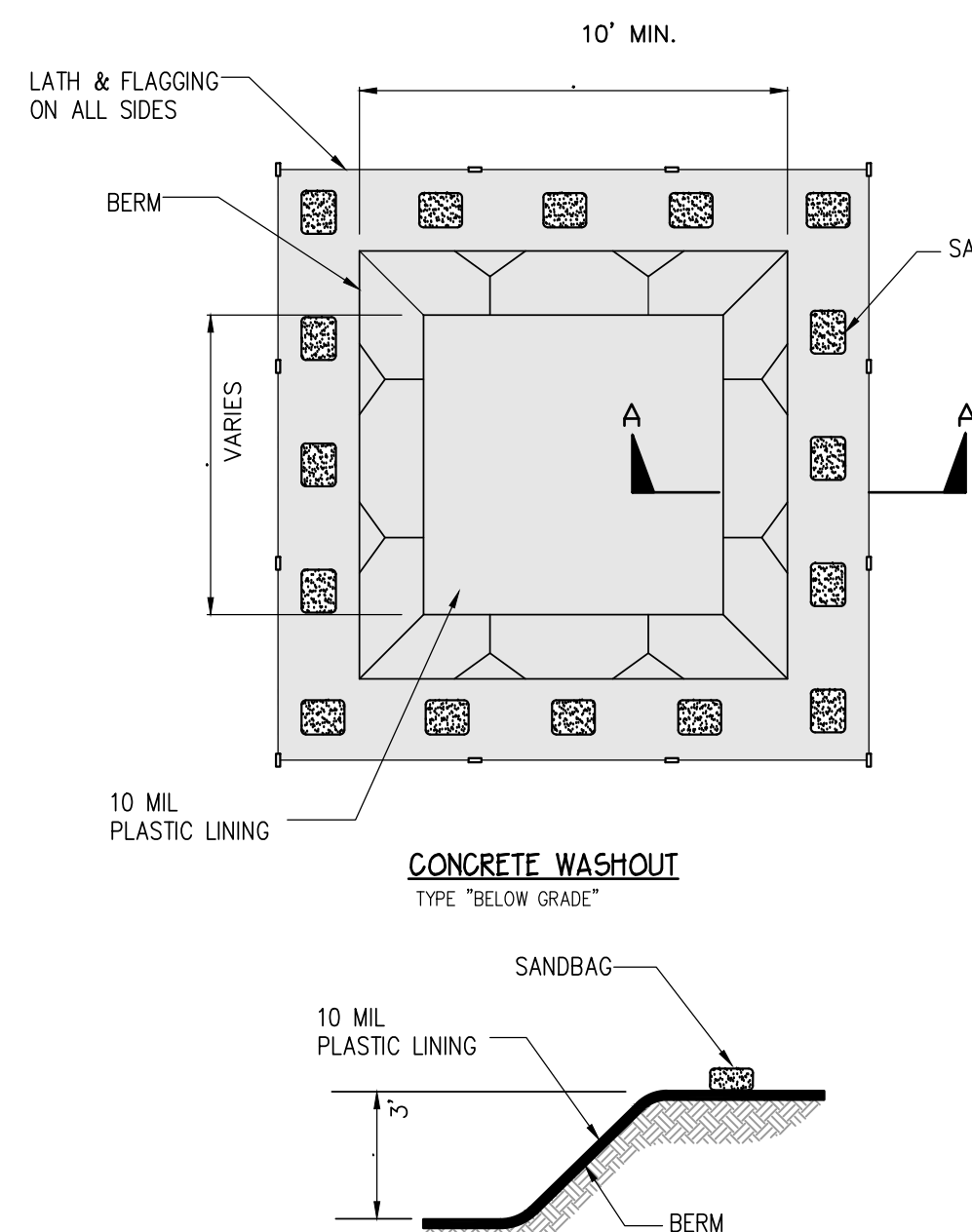


HANDICAP RAMP
N.T.S.

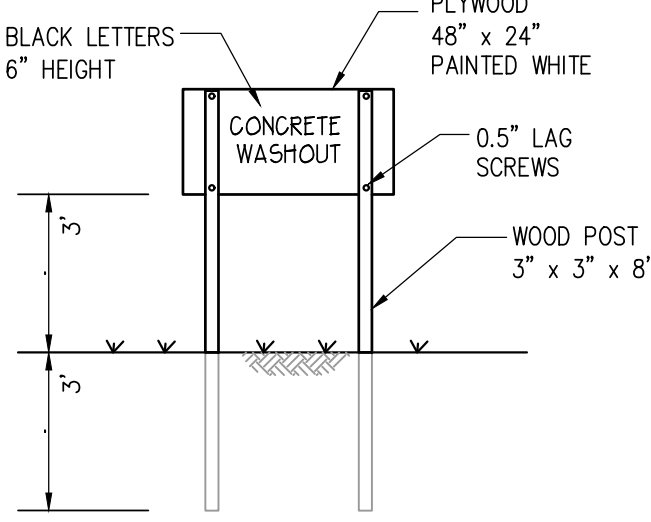
NOTE: GUTTER PAN SLOPE TO MATCH PAVEMENT SLOPE



TYPICAL CURB SECTION
N.T.S.



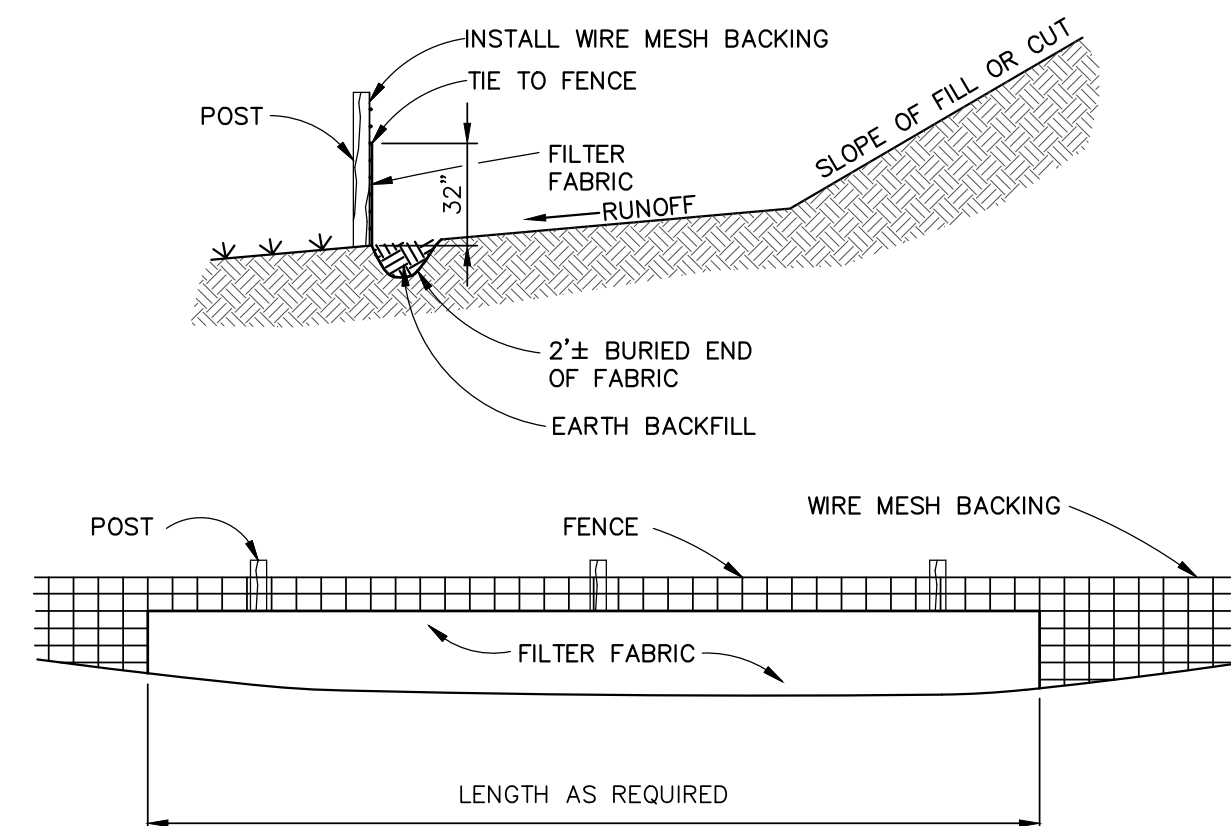
- NOTES**
1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS IS ALLOWED. EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
 2. ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
 3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 4. TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 5. WASHOUT FACILITIES WILL BE CLEANED OUT ONCE THE WASHOUT IS 75% FULL.
 6. PLASTIC LINING MATERIAL WILL BE MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
 7. WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.



SECTION A-A

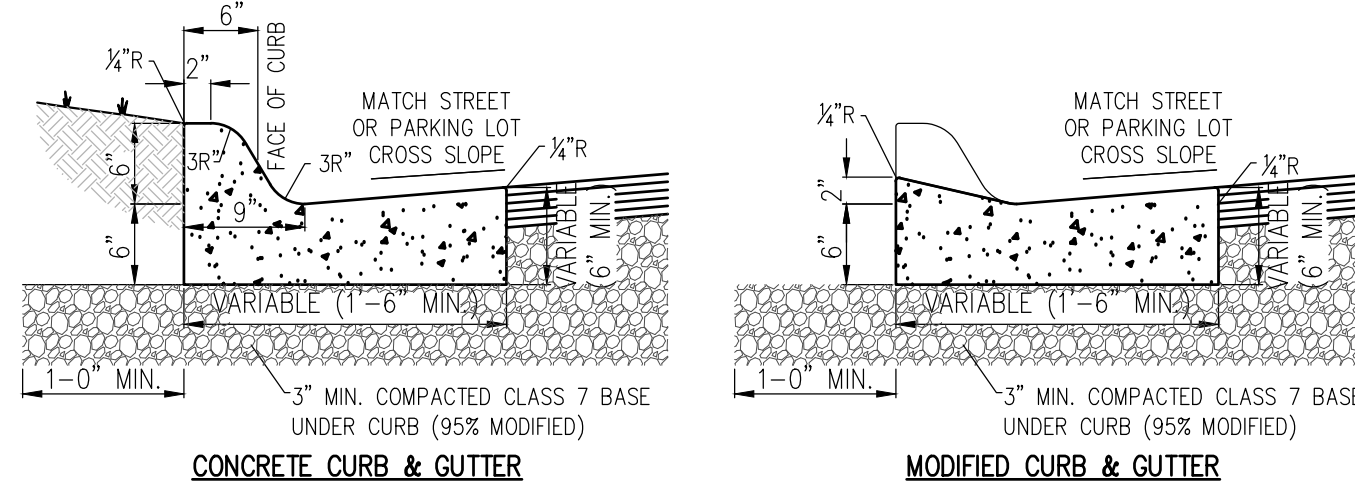
SECTION A-A

CONCRETE WASTE MANAGEMENT DETAIL
N.T.S.

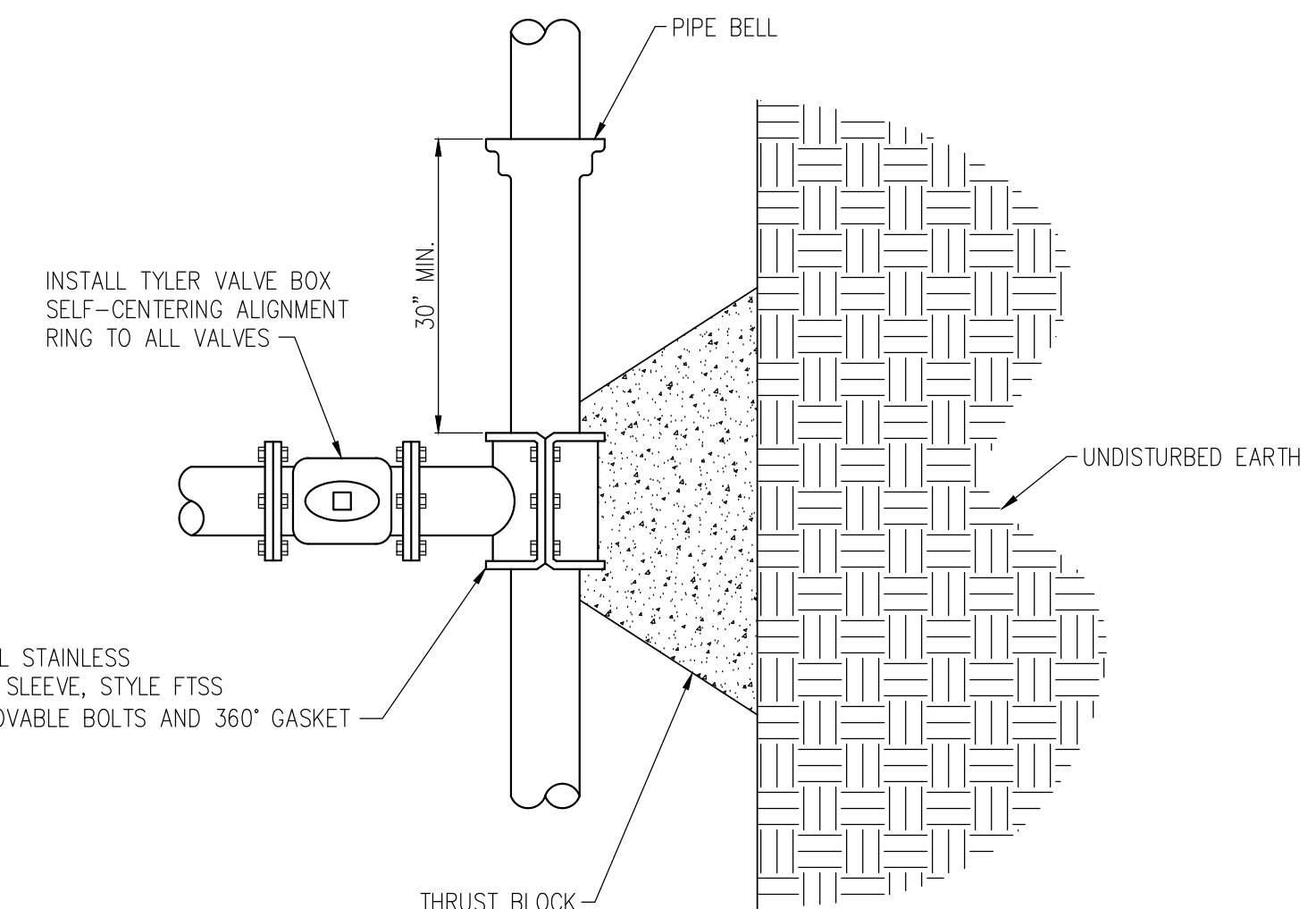


FILTER FABRIC BARRIER (SILT FENCE)
N.T.S.

- NOTES**
1. CONCRETE FOR CURB AND GUTTER TO BE CLASS A, 3500 PSI, 5.5 BAG MIX WITH 4-7% AIR ENTRAINMENT.
 2. ALL CURB AND GUTTER SHALL HAVE A BROOMED FINISH UNLESS OTHERWISE SPECIFIED.
 3. MODIFIED CURB SHALL BE PLACED ACROSS ALL DRIVEWAY ENTRANCES.
 4. CURB AND GUTTER MUST HAVE CONTRACTION JOINTS SAWED EVERY 15 FEET ON CENTER, ALONG PROPOSED CURB, AND SHALL BE SAWED TO A DEPTH OF 1-1/2" WITH A WIDTH OF 1-4". MATERIAL USED TO SEAL JOINTS SHALL BE AS SPECIFIED IN SECTION 501 AHTD STANDARD SPECIFICATIONS OR AS APPROVED BY THE ENGINEER. (OMNISEAL 50 OR EQUAL)
 5. PROVIDE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ASPHALT IMPREGNATED FIBERBOARD OR OTHER APPROVED MATERIAL) AT 200 FOOT INTERVALS, AND AT ALL STATIONARY STRUCTURES, (DROP INLETS, END OF CURBS, DRIVEWAYS, ETC.) OR AS DIRECTED BY ENGINEER. JOINT MATERIAL SHALL HAVE A THICKNESS OF 1/2" INCH AND CONFORM TO AASHTO M 215 STANDARDS.
 6. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH AHTD. IN THE CASE OF CONFLICTS, AHTD'S CRITERIA SHALL GOVERN. REFER TO AHTD STANDARD ROADWAY DRAWING DETAIL CG-1 FOR DIMENSIONS NOT SHOWN.
 7. 2-#6 X 24" SMOOTH DWEL BARS SHALL BE PLACED ACROSS ALL EXPANSION AND CONTRACTION JOINTS OR WHERE NEW CURB IS ATTACHED TO EXISTING CURB.
 8. ALL CURB AND GUTTER SHALL BE CURED WITH A CURING COMPOUND OR WITH WET BURLAP. AFTER CURB AND GUTTER IS HAS SET, THE AREA BEHIND THE CURB SHALL BE PARTIALLY BACKFILLED BEFORE THE BASE MATERIAL IS PLACED AND COMPACTED.



CURB AND GUTTER DETAILS
N.T.S.



FORD STAINLESS STEEL TAPPING SLEEVE + VALVE
N.T.S.

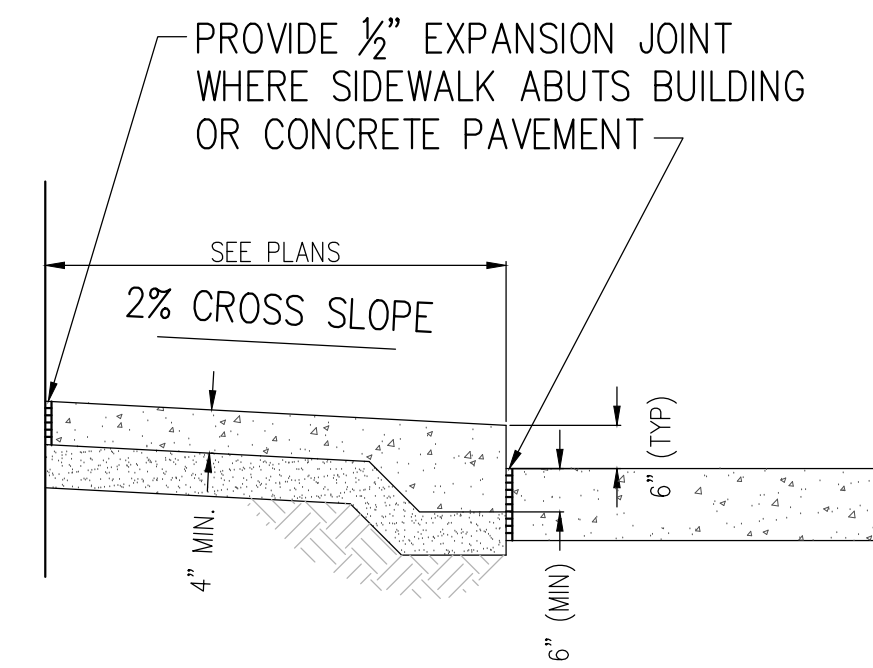
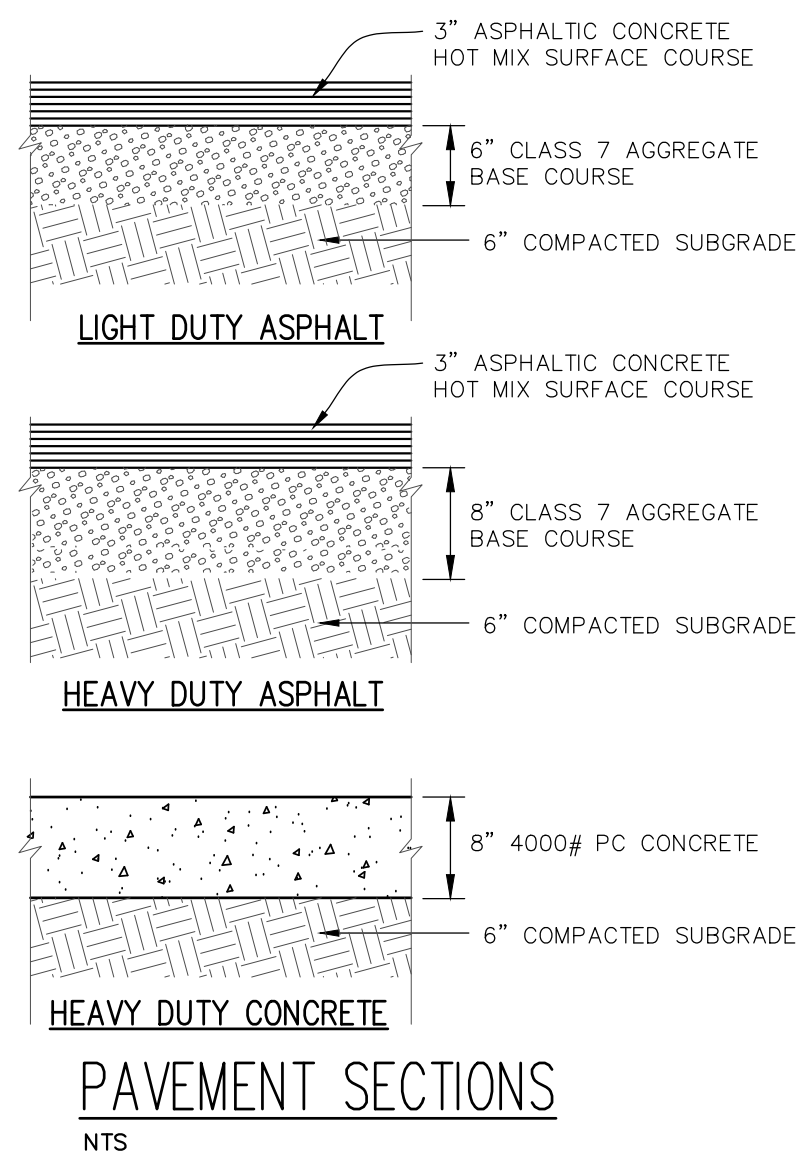
STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER GEOFFREY H. BATES No. 9810
 ENGINEER: G. Bates
 DRAWN BY: M. Williams
 CERTIFICATE OF AUTHORITY BATES & ASSOCIATES, INC. #335
 ARKANSAS ENGINEER
 Copyright © 2021 Bates & Associates, Inc.

REVISIONS	DATE
1st SUBMITTAL	6/05/22
2nd SUBMITTAL	6/22/22
	7/19/22

MANHATTAN STEEL DOOR
 LARGE SCALE DEVELOPMENT PLANS
 SITE DETAILS
 TONTITOWN, ARKANSAS

Bates & Associates, Inc.
 Civil Engineering & Surveying
 www.batesna.com
 7230 S. Pleasant Ridge Drive Phone • 479.442.9350 • Fax 479.521.9550
 Fayetteville, Arkansas 72704

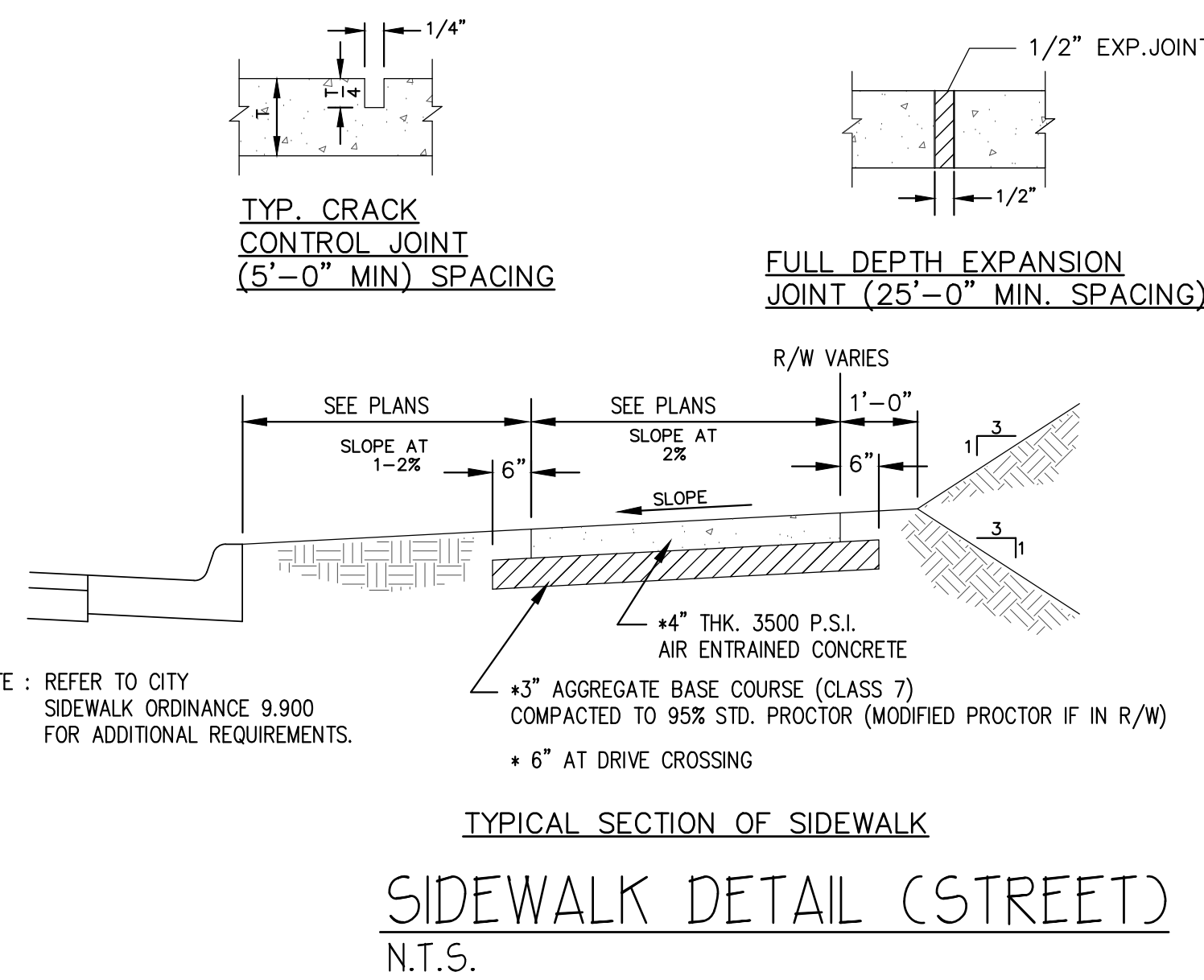
Drawing Name: 18\300\18-347\Engineering\05_Details.dwg
 Scale: 1"=1' (FS)
 Date: 1/2/2019
 Time: 11:58 am
 Xrefs Used: BATES-AE w signature, COA BBA, 24X36



NOTES:

1. CONCRETE FOR SIDEWALKS TO BE CLASS A, 3500 PSI, 5.5 BAG MIX WITH 4-7% AIR ENTRAINMENT.
2. ALL SIDEWALKS SHALL HAVE A BROOMED FINISH UNLESS OTHERWISE SPECIFIED.
3. SIDEWALKS MUST HAVE CONTRACTION JOINTS SAWED EVERY 5 FEET ON CENTER, AND SHALL BE SAWED TO A DEPTH OF 1-1/2\"/>

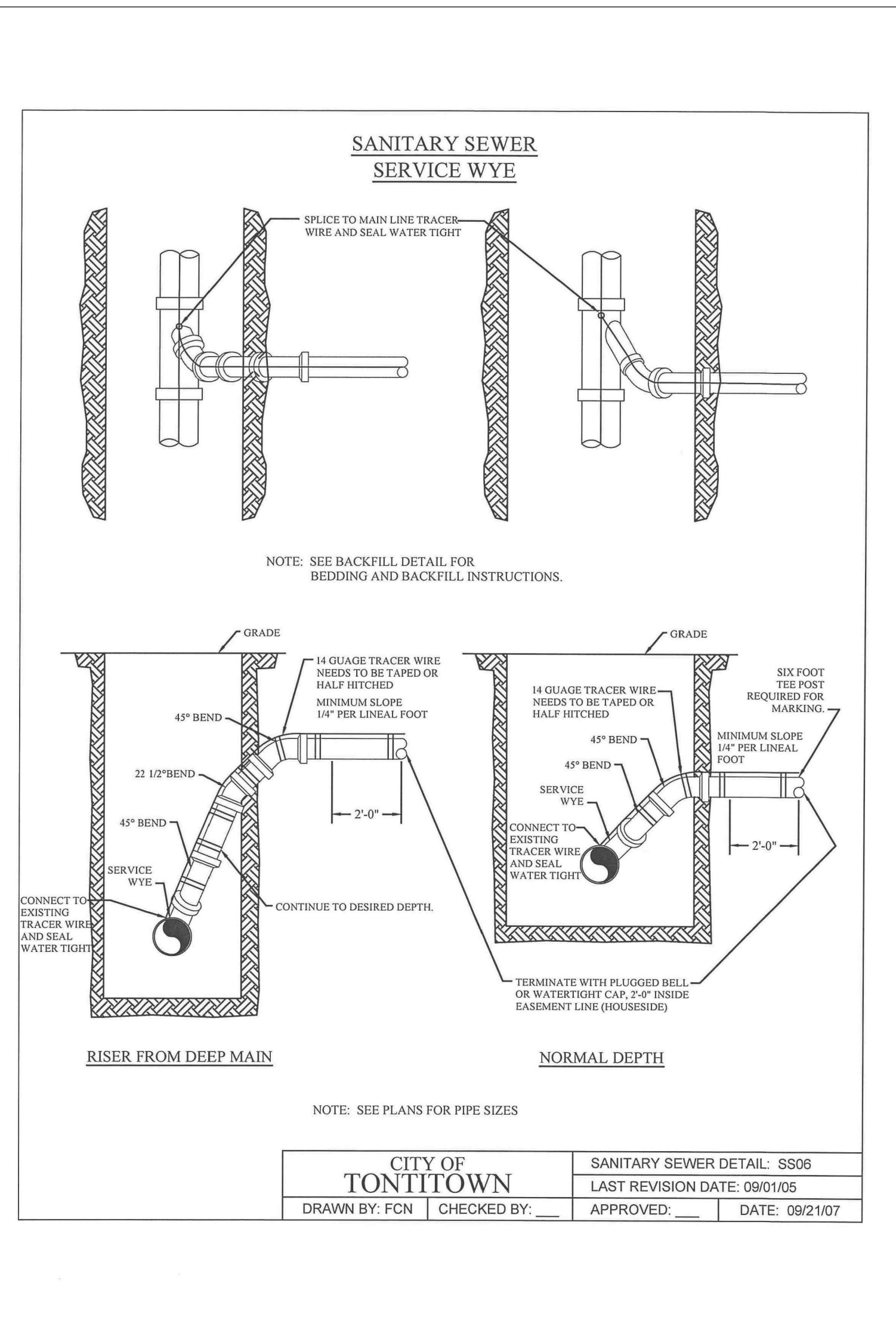
**SIDEWALK SECTION
ABUTTING BUILDING/PAVEMENT
N.T.S.**



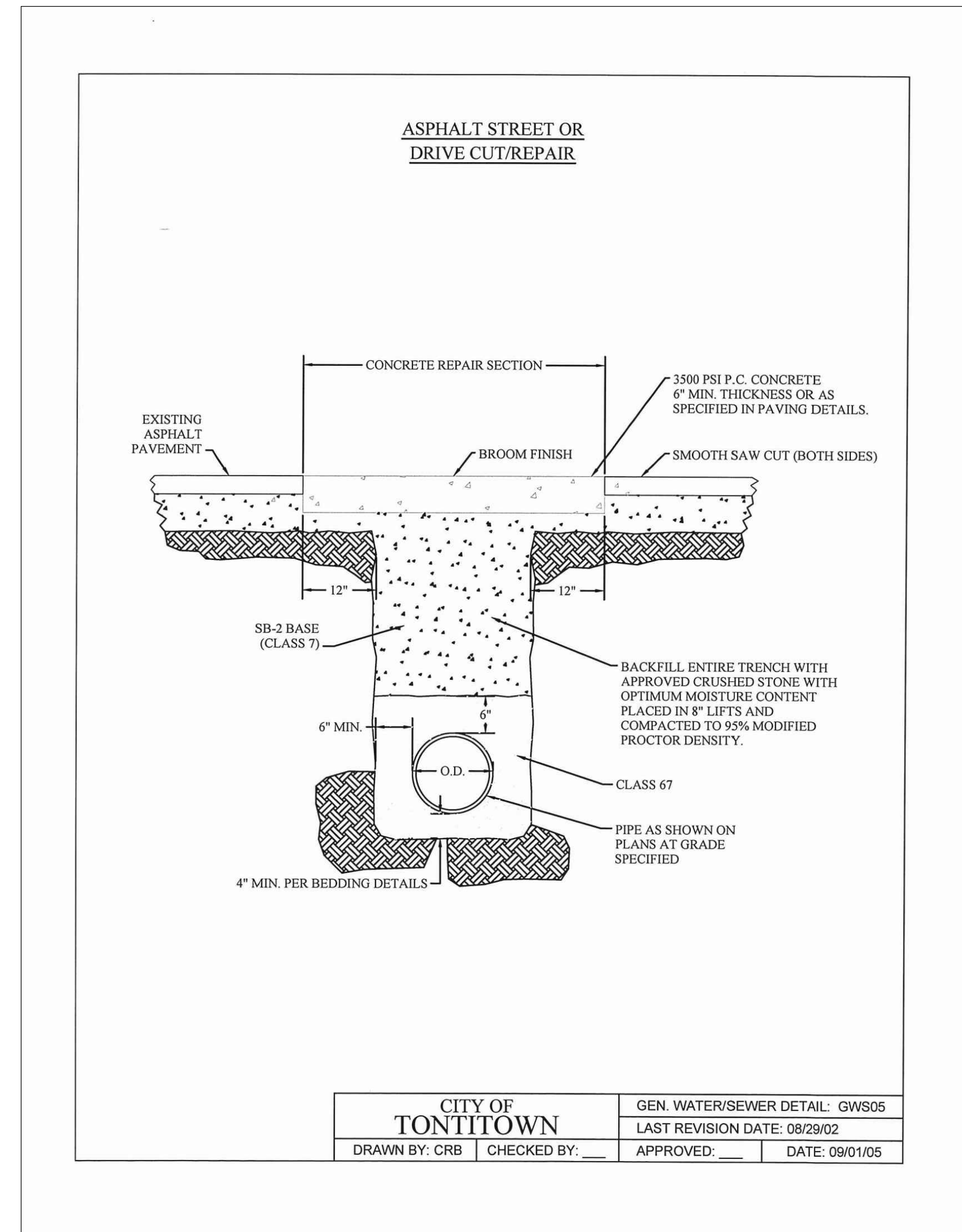
NOTE: REFER TO CITY SIDEWALK ORDINANCE 9.900 FOR ADDITIONAL REQUIREMENTS.

TYPICAL SECTION OF SIDEWALK

**SIDEWALK DETAIL (STREET)
N.T.S.**

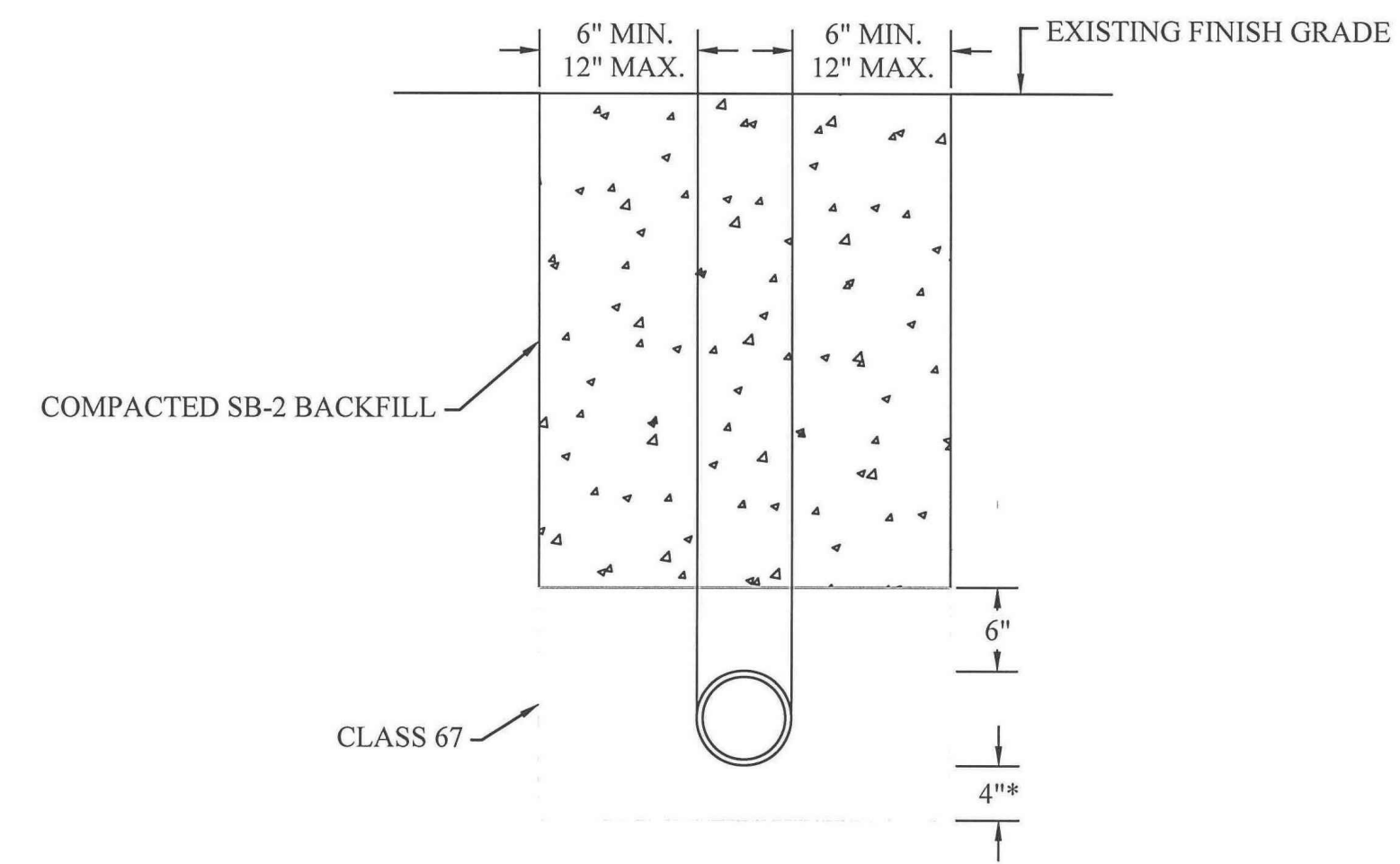


CITY OF TONTITOWN		SANITARY SEWER DETAIL: SS06	
DRAWN BY: FCN		LAST REVISION DATE: 09/01/05	
CHECKED BY: _____		APPROVED: _____	
		DATE: 09/21/07	



CITY OF TONTITOWN		GEN. WATER/SEWER DETAIL: GWS05	
DRAWN BY: CRB		LAST REVISION DATE: 08/29/02	
CHECKED BY: _____		APPROVED: _____	
		DATE: 09/01/05	

UNIMPROVED ROADS & DRIVEWAYS-PRIVATE DRIVEWAYS & PARKING AREAS



- * IF IN ROCK 6" MIN. CLASS #67 STONE REQUIRED.
- ** IMPROVED PRIVATE DRIVEWAYS AND PARKING AREAS BACKFILLED AS SHOWN ABOVE. SUBSURFACE MATERIAL TO EQUAL OR EXCEED EXISTING SURFACE.
- ASPHALTIC CONCRETE WALKS - MINIMUM THICKNESS 4"
- CONCRETE DRIVES OR PARKING AREAS - MINIMUM THICKNESS 6".

NOTE: PRIVATE PARKING AREAS, DRIVEWAYS & WALKS-SEE UNIMPROVED ROADS

CITY OF TONTITOWN		GEN. WATER/SEWER DETAIL: GWS09	
DRAWN BY: CRB		LAST REVISION DATE: 08/29/02	
CHECKED BY: _____		APPROVED: _____	
		DATE: 09/01/05	

ENGINEER: G. Bates
 STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 No. 9810
 GEOFFREY H. BATES
 07/19/22
 CERTIFICATE OF AUTHORITY
 BATES & ASSOCIATES, INC.
 #335
 ARKANSAS ENGINEER
 Copyright © 2021 Bates & Associates, Inc.

DATE	6/05/22
1st SUBMITTAL	6/22/22
2nd SUBMITTAL	7/19/22
REVISIONS	

MANHATTAN STEEL DOOR
 LARGE SCALE DEVELOPMENT PLANS
 SITE DETAILS
 TONTITOWN, ARKANSAS

Bates & Associates, Inc.
 Civil Engineering & Surveying
 www.batesnwa.com
 7230 S. Pleasant Ridge Drive Phone · 479.442.9350 · Fax 479.521.9550
 Fayetteville, Arkansas 72704

