



CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.
479-361-2700
planning@tontitownar.gov

Meeting: **June 28, 2022**
Project: **2021 S. Pinalto Rd.**
Planner: Courtney McNair, Garver

AGENDA ITEM

2

REZONING REQUEST

2021 S. Pinalto Rd.
Parcel # 830-38352-003

SUMMARY: The applicant is requesting to rezone 0.84 acres of property from **A-1** (Agriculture) to **C-T** (Commercial Trades and Services). The property contains an existing shop building and associated septic system.

CURRENT ZONING: **A1 – Agricultural** -Five (5) acres minimum lot size.

REQUESTED ZONING: **CT-Commercial Trades and Services**

FUTURE LAND USE CATEGORY: **RC-T** Residential Commercial Transition

CITY WARD: 3-Penny Baskin, Tim Burress

INFRASTRUCTURE SERVICE AREAS (not a guarantee of service availability):

Water: Washington Water Authority- WWA stated “they have water service to a shop and residence. It is my understanding the shop is for personal use. Are they running a commercial operation out of the shop? If so, those will need to be separated into two services and the shop will need an RPZ.”

Electric: Ozarks Electric

Sewer/Septic: Individual Septic System- the shop building has a separate septic system than the residence on the same property. The septic system submitted shows that the applicant stated there were to be two (2) employees for the shop septic permit.

Phone: AT&T

Natural Gas: Black Hills Energy

Cable: Cox Communications

PROJECT SYNOPSIS:

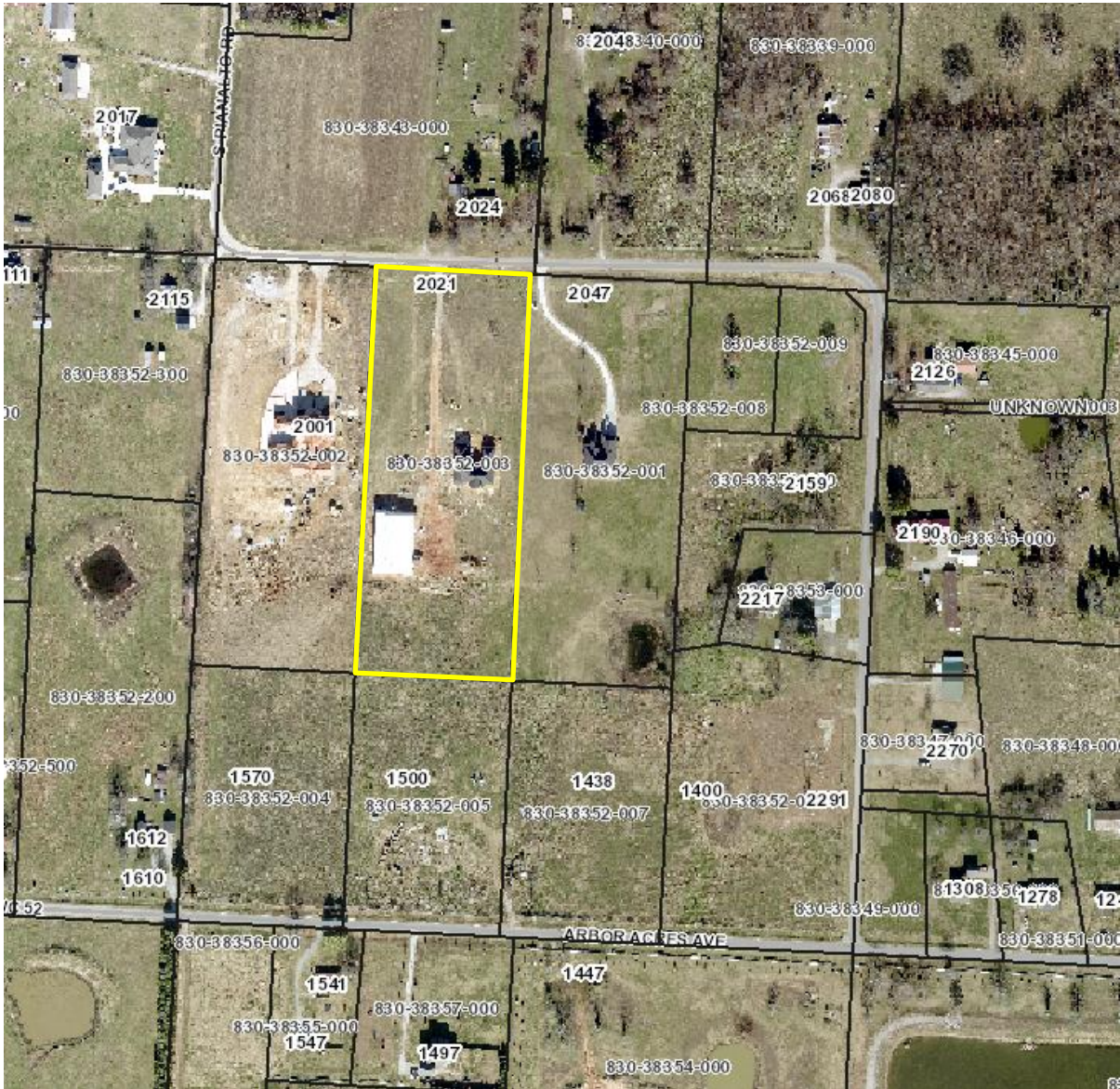
The owners/applicants for this project are Larry and Sarah Bratti. The property is located at 2120 S. Pinalto Road. There is an existing residence that is 5,164 SF in size (permit 11499R, issued 8/10/2021) and an existing shop building that is 9,600 SF in size (permit 11527R-MIS, issued 8/13/2021).

In the A-1, Agricultural zoning category, there is no restriction on the size of an accessory structure according to Section 153.141, and therefore, the city was in compliance to issue the building permit for the shop structure. At the time of issuance, the applicant indicated on the application that this was not a commercial building.

There is information provided in this report about the specific use requested, however, the Planning Commission will need to evaluate the requested zoning category for compatibility with the surrounding area, and compliance with city plans.

The applicant is requesting to change the zoning from A1 to CT in order to allow the existing shop building located on this site to be used to operate their plumbing business. **The applicant has been operating their business out of this location.**

SITE LOCATION:



APPLICANT'S INFORMATION:

According to the applicant's letter (attached), "we run a plumbing company that has very little customer interaction on location. We are looking to rezone a small portion of our property to be able to coincide with the city's requirements for the type of business we have. I do have 12 employees that also come to the shop for a brief morning meeting to get assignments for the day. We are a family-owned business that strives to be the best we can."

In a letter addressing neighbor comments (attached), the applicant states, "My Plumbing company does mainly new construction homes, so with the customer interaction I don't have customer interaction at the shop, most correspondence by phone or email. I do some service work (ie: repair

and renovations) but that is limited to the new construction workload. My equipment consists of 2 - mini excavators along with two equipment trailers (1- gooseneck 27' and 1- tag/bumper pull 20') i do personally own a 40' fifth wheel enclosed and 28' enclosed used for my hobby. Also, the material that we use is typically 4" down to 1 1/2" pvc.

My wife and I are also building a residential home that is still currently under construction and are also planning on putting a fence up in front of the shop with a gate to have trailers and equipment behind when not in use. with the dumpster this is in a temporary position so that I can't get all trailers and equipment situated. I will move the dumpster to the rear of east facing shop to keep from being an eye sore.

The proposed zoning exhibit of the 252' x 145.2' is situated so the septic system for the building is housed all on that portion of property. Also, with the description it of the 145.2" also includes the 30' property easement to the west which isn't available to build on and with the septic there wouldn't be any building to be able to be constructed on the remaining portion of the rezone area.

We also have children ages 19, 14, 6 so I wouldn't stand for any actions by my employees that would not be appropriate in front of my children or wife."

FUTURE LAND USE PLAN:

The Future Land Use Category shown in this area is for the Residential Commercial Transition (RC-T). From the Vision Plan Document adopted by the City Council in November 2018:

RESIDENTIAL COMMERCIAL TRANSITION (RC-T)

Residential Transition areas plan for moderate-density residential development serving as a transition between commercial/mixed use and residential low-density land uses. Housing types are varied, single-family, duplexes, townhomes, and lower density apartment buildings. Some neighborhood-scale commercial uses may be included where appropriate access is available. Six-twelve dwelling units/acre.

STAFF ANALYSIS: While some uses allowed in C-T zoning may be “neighborhood-scale commercial”, many uses would not be compatible with agricultural/residential areas. See chart for comparison of allowed uses.

Zoning Districts	A
Residential uses	
Single-family detached	P
Duplex	NP
Triplex, quadplex	NP
Townhome	NP
Detached accessory dwelling unit (ADU)	P
Emergency housing unit	C
Multi-family	NP
Manufactured housing unit	NP

Zoning Districts	C-T
Residential uses	
Single-family detached	C
Duplex	C
Loft living space	P
Townhomes (see LOT, YARD and HEIGHT REGULATIONS for requirements)	C
Triplex, quadplex	C
Multi-family	NP

Zoning Districts	A
Manufactured housing, residential design	NP
Manufactured housing park	NP
Group residential	NP
Civic and commercial uses	
Airport or airstrip	C
Animal care, general	C
Animal care, limited	C
Automated teller machine	NP
Bed and breakfast	C
Cemetery	C
Church	P
College or university	C
Communication tower	C
Convenience store	NP
Day care, limited (family home)	C
Day care, general	NP
Golf course	C
Government service	C
Hospital	NP
Library	C
Medical services	NP
Museum	C
Nursing home	NP
Parks and recreation	P
Post office	NP

Zoning Districts	C-T
Civic and commercial uses	
Airport or airstrip	NP
Animal care, general	C
Animal care, limited	P
Auditorium or stadium	C
Automated teller machine (ATM)	P
Bank or financial institution	P
Bed and breakfast	C
Car wash	C
Cemetery	P
Church	P
College or university	P
Communication tower	C
Construction sales or service	P
Convenience store	P
Day care, limited (family home)	C
Day care, general	P
Entertainment, adult	NP
Funeral home	C
Golf course	P
Government service	P
Hospital	P
Hotel or motel	C
Library	P
Medical service/office	P
Museum	P
Nursing home	P
Office, limited	P
Office, general	C
Parking lot, commercial	P
Parks and recreation	P
Pawn shops	NP
Post office	P
Recreation/entertainment, indoor	P

Zoning Districts	A
Recreation/entertainment, outdoor	C
Safety services	C
School, elementary/middle	C
Utility, major	C
Utility, minor	P
Vocational school	C
Manufacturing and extractive uses	
Asphalt or concrete plant	NP
Mining or quarrying	NP
Sod farm	C
Topsoil	C
Agriculture uses	
Agriculture, animal	P*
Agriculture, crop	P

Zoning Districts	C-T
Recreation/entertainment, outdoor	C
Restaurant, fast food	C
Restaurant, general	C
Retail/service up to 5,500 sq. ft.	P
Retail/service up to 10,000 sq. ft.	C
Retail/service greater than 10,000 sq. ft.	C
Safety services	P
School, elementary/middle/high	P
Service station	NP
Signs	*
Storage, outdoor (yard)	P
Utility, major	C
Utility, minor	P
Vehicle and equipment sales	C
Vehicle repair, general	C
Vehicle repair, limited	C
Vocational school	P
Warehouse, residential (mini) self- storage	P
*The placements of all shall be in accordance with city code	
Industrial, manufacturing, and extractive uses	
Asphalt or concrete plant	NP
Auto wrecking or salvage yard	NP
Basic industry	NP
Freight terminal	NP
Manufacturing, general	NP
Manufacturing, limited	P
Mining or quarrying	NP
Soil borrowing	NP
Research services	C
Warehousing primary	C
Warehousing ancillary	P
Welding or machine shop	P
Agricultural uses	
Agriculture, animal	NP
Agriculture, crop	C
Agriculture, farmers' market	P

Zoning Districts	A
Agriculture, product sales	P
Animal, farm	P
Chicken, hobby	P

Zoning Districts	C-T
Agriculture, product sales	C
Animal, farm	NP
Chicken, hobby	NP
Exclusive uses	
Sanitary landfill	NP

APPROVAL CRITERIA:

Not all of the criteria must be given equal consideration by the Planning Commission or City Council in reaching a decision. The criteria to be considered shall include but not be limited to the following:

(1) Consistency of the proposal with the comprehensive plan.

STAFF ANALYSIS: The current Future Land Use Plan shows this area as Residential Commercial Transition. This request is marginally consistent with the comprehensive plan. The requested zoning would be better suited to areas on the Future Land Use map that are designated as “RC-C, Residential Commercial Core” or “LI, Light Industrial”

(2) Consistency of the proposal with the purpose of these regulations.

“The regulations are intended to provide for orderly growth and development; for protection of the character and stability of residential, commercial, industrial, recreational, and environmentally sensitive areas of the city; for protection of property from blight and undue depreciation; for efficiency and economy in the process of development for the appropriate and best use of land; for the use and occupancy of buildings; for healthful and convenient distribution of population; for good civic design and arrangement; and for adequate public utilities and facilities.”

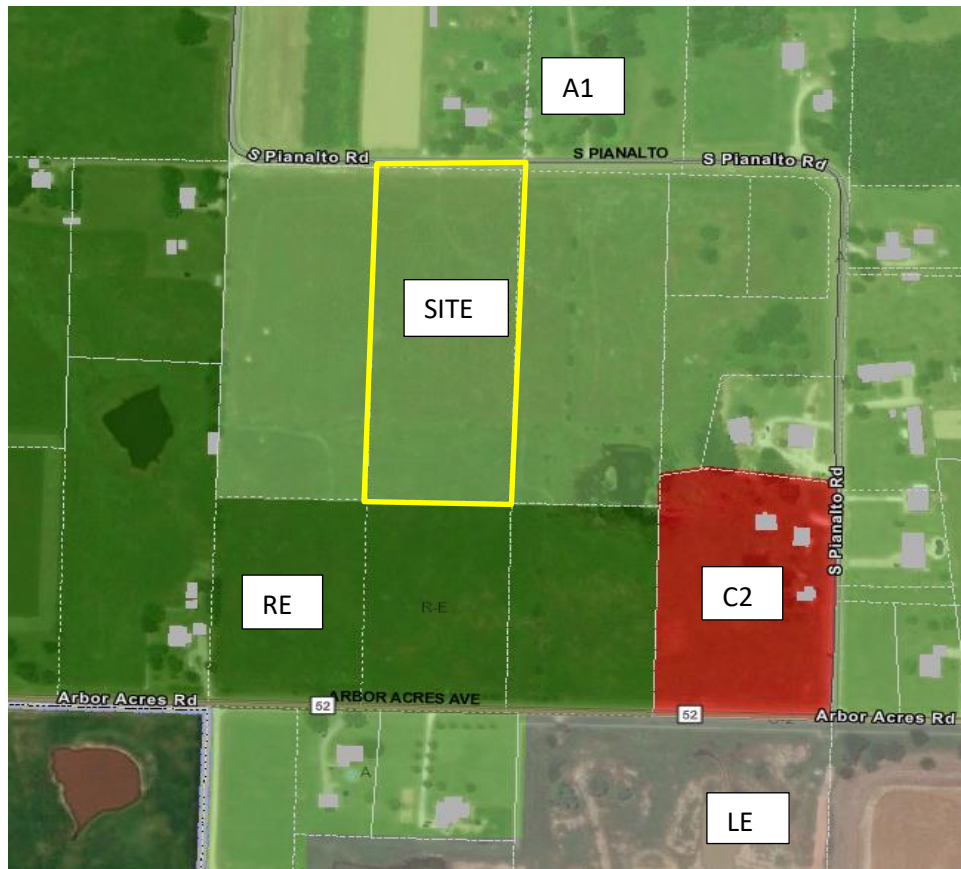
STAFF ANALYSIS: Commercial Trades and Services type uses are typically different in character from residential/agricultural areas.

(3) Compatibility of the proposal with the zoning, uses and character of the surrounding area.

STAFF ANALYSIS: The requested use is for C-T, Commercial Trades and Services; surrounding properties are zoned for Agricultural and Residential Uses. The actual uses of the surrounding properties vary from Single Family Residential and Agricultural along Pianalto Road, with the landfill on Arbor Acres Ave. (to the south). There is a parcel (non-adjacent) to the southeast that is zoned C2, but does not appear to be developed at this time for a commercial use. That C2 property takes access from Arbor Acres Ave.

- North-zoned A1- use appears to be primarily single family residential
- East-zoned A1 -use appears to be primarily single family residential
- South-zoned RE – use appears to be vacant
- West-A1-use appears to be primarily single family residential

Zoning Map:



(4) *Suitability of the subject property for the uses to which it has been restricted without the proposed zoning map amendment.*

STAFF ANALYSIS: This property is suitable for an agricultural/single family use, and there is a residence on this property as well as the shop.

(5) *Extent to which approval of the proposed rezoning will detrimentally affect nearby property including, but not limited to, any impact on property value, traffic, drainage, visual impairment, odor, noise, light, vibration, hours of use/operation, and any restriction to the normal and customary use of the affected property.*

STAFF ANALYSIS: This proposed rezoning could detrimentally affect nearby property. Additional traffic would impact Pianalto Road which is a fairly narrow street with two 90 degree corners in this area. Drainage was not reviewed when the existing structure was placed. Visual impacts and noise impacts have not been evaluated.

Normally, during the review process, and structures/sites used for commercial development would also require Large-Scale Development (LSD) review, and measures could be added to reduce impact at that time. Measures included in that review can include:

- Landscape standards
- Residential compatibility standards
- Screening and buffering standards (including dumpsters and equipment)

- **Lighting standards**
- **Parking standards**
- **Detention and stormwater standards**
- **Building design standards**

The proposed site to be rezoned has an existing structure on site, and the LSD review process would not apply if no additional structures or site improvements are planned.

(6) *Length of time the subject property has remained vacant as zoned, as well as its zoning at the time of purchase by the applicant; and*

STAFF ANALYSIS: This property is not vacant.

(7) *Impact of the proposed development on community facilities and services, including those related to utilities, streets drainage, parks, open space, fire, police, and emergency medical services.*

STAFF ANALYSIS: Information received from the water service provider states that the service to this property is residential (and was indicated as residential on the application for water service). If this property is commercial, additional regulations and standards will apply.

No drainage evaluation was required at the time the existing building was constructed (as it was indicated as non-commercial, and residential structures are not evaluated for drainage impacts).

TECHNICAL INFORMATION:

Technical information will be addressed if any additional structures or site improvements are added.

Additional information may be required if this property is rezoned for compliance with fire safety, utilities, and any additional information needed for the proper issuance of a business license.

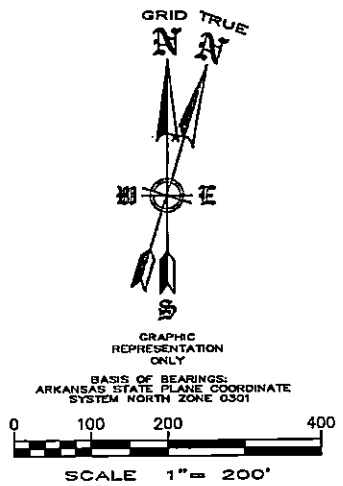
NEIGHBOR COMMENTS: All neighboring properties within 200 feet of the property boundary were notified by certified mail of this project. Staff has received twelve (12) “opposed” written comments, and multiple concerned phone calls, regarding this project, at the time of this staff report.

All written comments received are attached. Any additional comments that are received prior to the meeting will be distributed to the Planning Commission at that time.

STAFF RECOMMENDATION: Based on the marginal consistency with the Future Land Use Plan, the potential impact to surrounding properties, the different character that this rezoning could have on the surrounding area, and the lack of ability to review this site for compatibility via the LSD process, staff recommends **DENIAL** of the request to rezone property located at 2021 S. Pianalto Road from A1 to CT.

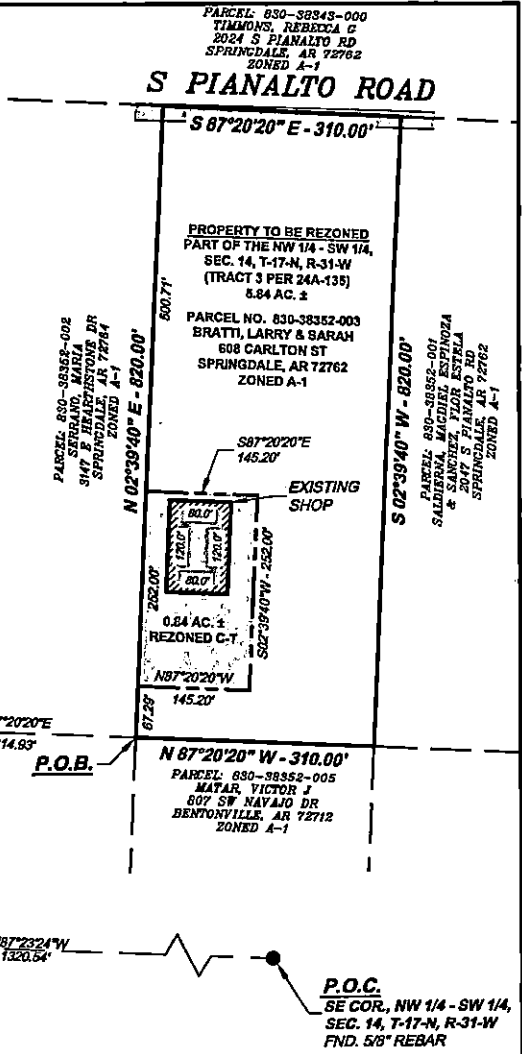
APPLICANT'S SUBMITTAL

NOTE:
NOT A BOUNDARY SURVEY



REMAINDER DESCRIPTION:
BEGINNING AT THE SOUTHWEST CORNER OF PARCEL NUMBER 630-38352-003; THENCE ALONG THE WEST LINE OF SAID PARCEL, N02°39'40"E A DISTANCE OF 67.29 FEET; THENCE LEAVING SAID WEST LINE, S87°20'20"E A DISTANCE OF 145.20 FEET; THENCE N02°39'40"E A DISTANCE OF 252.00 FEET; THENCE N87°20'20"W A DISTANCE OF 145.20 FEET TO A POINT ON THE WEST LINE OF SAID PARCEL; THENCE ALONG SAID WEST LINE, N02°39'40"E A DISTANCE OF 500.71 FEET TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE LEAVING SAID WEST LINE AND ALONG THE NORTH LINE OF SAID PARCEL, S87°20'20"E A DISTANCE OF 310.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE LEAVING SAID NORTH LINE AND ALONG THE EAST LINE OF SAID PARCEL, S02°39'40"W A DISTANCE OF 820.00 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL; THENCE LEAVING SAID EAST LINE AND ALONG THE SOUTH LINE OF SAID PARCEL, N87°20'20"W A DISTANCE OF 310.00 FEET TO THE POINT OF BEGINNING, CONTAINING 5.00 ACRES, MORE OR LESS.

PARENT TRACT LEGAL DESCRIPTION PER W.D. 2017-26846:
TRACT 3, VICTORY CHURCH NWA, INC., MINOR SUBDIVISION, TO THE CITY OF TONTITOWN, ARKANSAS, AS SHOWN ON PLAT FILED JANUARY 19, 2017 AS DOCUMENT NO. 24A PAGE 135, RECORDS OF WASHINGTON COUNTY, ARKANSAS, FURTHER DESCRIBED AS A PART OF THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 17 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SE CORNER OF SAID NW 1/4 OF THE SW 1/4, BEING A 5/8" IRON PIN FOUND BEARS S02°59'05"W 24.00 FEET; THENCE ALONG THE SOUTH LINE OF SAID NW 1/4 OF THE SW 1/4, N87°23'24"W 1320.54 FEET TO THE SW CORNER OF SAID NW 1/4 OF THE SW 1/4; THENCE ALONG THE WEST LINE OF SAID NW 1/4 OF THE SW 1/4, N03°00'19"E 506.69 FEET; THENCE S87°20'20"E 314.93 FEET TO THE POINT OF BEGINNING; THENCE N02°39'40"E 820.00 FEET TO THE NORTH LINE OF SAID NW 1/4 OF THE SW 1/4; THENCE ALONG SAID NORTH LINE, S87°20'20"E 310.00 FEET; THENCE S02°39'40"W 820.00 FEET; THENCE N87°20'20"W 310.00 FEET TO THE POINT OF BEGINNING, CONTAINING 5.84 ACRES, MORE OR LESS. SUBJECT TO THE RIGHT-OF-WAY OF S. PIANALTO RD.



REZONE DESCRIPTION:
COMMENCING AT THE SOUTHWEST CORNER OF PARCEL NUMBER 630-38352-003; THENCE ALONG THE WEST LINE OF SAID PARCEL, N02°39'40"E A DISTANCE OF 67.29 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N02°39'40"E A DISTANCE OF 252.00 FEET; THENCE LEAVING SAID WEST LINE, S87°20'20"E A DISTANCE OF 145.20 FEET; THENCE S02°39'40"W A DISTANCE OF 252.00 FEET; THENCE N87°20'20"W A DISTANCE OF 145.20 FEET TO THE POINT OF BEGINNING, CONTAINING 0.84 ACRES, MORE OR LESS.

REZONING EXHIBIT			
FOR LARRY BRATTI			
TONTITOWN, WASHINGTON COUNTY, ARKANSAS			
SCALE: 1"=200'	DATE: May 25, 2022	DRAWN BY: KND	
ENGINEERING SERVICES, INCORPORATED			
SPRINGDALE, ARKANSAS			
© COPYRIGHT 2013, ENGINEERING SERVICES, INC. & ENGINEER KND	W.O.# 22168	SHEET 1	



To Whom it may concern:

Hi there I would like to introduce myself. My name is Larry Bratti my wife Sarah and children Trenton, Jax and Xander purchased the property @ 2021 S Pianalto Rd to build or home and to also house my small business in the shop on the same property. We run a plumbing company that has very little customer interaction on location. We are looking to rezone a small portion of our property to be able coincide with the cities requirements for the type of business we have. I do have 12 employees that also come in to the shop for a brief morning meeting to get assignments for the day. We are a family oriented business that strives to be the best we can. Thank you for your time.

Sincerely, Larry Bratti

Property @ 2021 S Pinalto Rd

The current property is zoned A-1 and proposing to split .84 acres off of the 5.84 total acres to rezone C-T. We (Larry and Sarah Bratti) as the property owners are requesting to have the .84 acres rezoned to C-T for the ability to use out building for our commercial trade company (Plumbing).

We as a business would need to have property rezoned to conform to city zoning ordinance to allow us to use space for the company and employees of said company.

The building/property would be utilized for material storage and equipment parking pertaining to the plumbing field.

The business does not have any outside customers coming to location for sales. The traffic that would be associated will be employees and company vehicles arriving approximately 6:30 am to approximately 8:30 am and then again approximately 3:30 - 5:00 pm for drop off of employees not in company vehicles.

There would not be any signage associated with the business on the property due to not being used as customer service location.

Appearance of the building the business is being housed in is commercial style building along with any recommendation from corresponding entities to have a clean appearance.

The water to property is provided by Washington Water Authority and the sewer system is a stand alone septic that has design and approval by Arkansas Department of health. See Attached for septic design and approval.

Tannehill-McNair, Courtney E.

From: Larry Bratti <lb2plumbinginc@gmail.com>
Sent: Friday, June 17, 2022 12:05 PM
To: Tannehill-McNair, Courtney E.
Cc: Luann Jenison; Tontitown Planning
Subject: Re: FW: Pianalto neighbor comment
Attachments: Description of building use .pages; Property rezone narrative .pages

Hi there,

Here is the summary that was included with the other submission along with the certified letters that were given to city planning.

I would like to address some of the concerns that are listed in the letter sent in by the concerned neighbor. My Plumbing company does mainly new construction homes, so with the customer interaction I don't have customer interaction at the shop, most correspondence by phone or email. I do some service work (ie: repair and renovations) but that is limited to the new construction work load. My equipment consists of 2 - mini excavators along with two equipment trailers (1- gooseneck 27' and 1- tag/bumper pull 20') i do personally own a 40' fifth wheel enclosed and 28' enclosed used for my hobby. Also the material that we use is typically 4" down to 1 1/2" pvc.

My wife and I are also building a residential home that is still currently under construction and are also planning on putting a fence up in front of the shop with a gate to have trailers and equipment behind when not in use. with the dumpster this is in a temporary position so that i cant get all trailers and equipment situated. I will move the dumpster to the rear of east facing shop to keep from being an eye sore.

The proposed zoning exhibit of the 252' x 145.2' is situated so the septic system for the building is housed all on that portion of property. Also with the description it of the 145.2' also includes the 30' property easement to the west which isn't available to build on and with the septic there wouldn't be any building to be able to constructed on the remaining portion of the rezone area.

We also have children ages 19, 14, 6 so i wouldnt stand for any actions by my employees that would not be appropriate in front of my children or wife .

Thank You for Your time and consideration, Larry Bratti

On Fri, Jun 17, 2022 at 9:16 AM Tannehill-McNair, Courtney E. <CETMcNair@garverusa.com> wrote:

Mr. Bratti,

The City of Tontitown is having some technical difficulties with the Planning email, so they have asked me to reach out to you directly. If you have any additional information or response material, please reply all on this email.

Please submit your certified mail receipts and copy of the letter that you sent to neighbors by today in order to remain on the agenda for the June meeting.

Please see the below opposed neighbor comment regarding the proposed rezoning.

If you have any questions, please feel free to reach out.

Thank you,

Courtney McNair, AICP, CFM
Garver
479-287-4610

BUILDING PERMITS

Planning check fee: \$1003.44



**Residential
Single Family & Duplex**
Available on-line

at: <http://www.tontitown.com>

Office Use Only:	
Approved: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Permit Fee: \$ <u>2006.89</u>
Date: <u>8-10-21</u>	Water Tap: \$950.00
Approved by: <u>Roger Dunlap</u>	Sewer Tap: \$500.00
Permit #: <u>11499B</u>	COO Fee: <u>\$75.00</u>
Rec #: <u>7041</u>	TOTAL FEE DUES <u>3095.33</u>
Permit Box: \$10.00	

Application & Checklist

Please fill out this form completely, supplying all necessary information and documentation to support your request. Your application will not be accepted until the application is completed and required information provided.

CONTRACTOR INFORMATION:

Please check if information has changed.

Contractor: Chance Contractors Inc Contact Person: David Chance
 Phone # _____ Mobile # 479 601 3323 Fax # 479 927 1823
 Mailing Address: 598 E. Randall Wobbe Ln. City: Springdale State: Ar Zip: 72744
 Email Address: dchancec@yahoo.com

PROPERTY INFORMATION: Address: 2021 S Pinalto Road

Owner: Larry & Sarah Bratt Owner Phone #: 479 445 5071
 Subdivision: _____ Phase: _____ Lot #: _____ Is site located in Floodplain? NO

Zoning: A-1 R-E R-1 R-2 R-3 R-4 RMH RZL (check one box only)

BUILDING INFORMATION:

Total Heated SF:	<u>4155</u>	Garage SF:	<u>725</u>	Unfinished Basement SF:	<u>NA</u>	TOTAL SF:	<u>5164</u>
# Bedrooms:	<u>5</u>	# Bathrooms:	<u>4 1/2</u>	Foundation:	<u>Slab</u>	Height of Bldg:	<u>31</u>
# of Stories:	<u>2</u>	H2O Meter Size:		# H2O Meters:	<u>Bova/Cgr</u>	Termite Treatment:	<input type="checkbox"/> Slab <input type="checkbox"/> Framing

LIST OF SUB-CONTRACTORS:

A PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED, OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED

Electrician: Denco Heat & Air: Maron Co
 Insulation: Foster Plumber: LB 2
 Termite Co: Enviropest Other: _____

SUBMITTAL CHECKLIST:

- 1. Application form.
- 2. Site plan drawn to an Engineers scale (1"=10, 20, 30, etc.) 42"x32" folded to 8 1/2"x11. (must include lot dimensions, setbacks, easements, utility connections.)
- 3. Two paper copies of building drawings and one PDF copy. (must include floor plan and elevations)
- 4. Electronic copy of building plan in PDF format

I hereby certify that I have read and examined this document and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I understand inspections by City Inspectors will be made only to determine compliance with construction codes and not to assist the owner in properly locating the structure. I acknowledge my responsibility to insure, by boundary line survey if necessary, that the location of the structure will conform to setback requirements of the Tontitown Zoning Ordinance. I understand granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. **PERMIT FEES WILL DOUBLE IF WORK BEGINS BEFORE PERMIT IS APPROVED.**

David Chance _____ 6/10/21
 (SIGNATURE OF OWNER, CONTRACTOR OR AUTHORIZED AGENT) DATE

Note: Inspection of permitted work may reveal code violations not discovered during plan review.



Arkansas Department of Health

Environmental Health Protection

RECEIVED JUN 2 3 2021

Individual Onsite Wastewater System Permit Application

House

Receipt Number

24424566

Permit Type: [X] New Installation, [] Alteration / Repair

DR Environmental ID #

7 6 0 2 1 4 7 0 4 7

P

Fee Schedule for Structures table with columns for structure size and fee amount.

Part 1 Application

Treatment Type (check one)

Disposal Method (check one)

- Checkboxes for treatment types (STD, ISF, PMF, OTH, ATU, RSF, HCS, HLD) and disposal methods (STD, SUN, CFF, OTH, LPD, HLD, SFL, DPP).

1. Owner's/Applicant's Name: Larry Brazel

2. Phone Number: 479-445-5077

3. Mailing Address: 608 Cullton St., Springdale, AR, 72762

4. County: Washington

5. Address of Proposed System (if a 911 address is not available, attach detailed directions or map): 911: 2021 S. Phelan Rd., Springdale, AR, 72162 Parcel #: 830-38352-003

6. Subdivision Name: NA

7. Approval Date: NA

8. Date Recorded: NA

9. Lot Number: NA

10. Lot Dimensions: see survey

11. Total Area (Acres): 5.84

12. # Bedrooms # People: 5

13. Daily Flow (GPD): 500

14. Brief Legal Description of Property (Attach a separate sheet of paper, if necessary): PT NW SW S 84 AC. S-14 T-17 R-31

15. Water Supply (Specify supplier, if Public Water): WWA

16. GPS Coordinates: 36 8' 47" N 94 15' 47" W AA: 36 8' 40" N 94 15' 47" W

Table with 17 columns: 17. Loading Rates, 18. System Specifications (a-i), 19. Utilization Verification.

TO THE OWNER: The permit for construction may be deemed invalid by the local Environmental Health Specialist before the start of construction...

19. Utilization Verification: I hereby attest that item 12, the number of bedrooms (number of persons for commercial) and square footage of the structure that will utilize the designed individual onsite wastewater system in this permit application, is accurate...

Owned/Applicant Signature: [Signature] Date: [Blank]

20. I certify that I have conducted the above tests and that the above listed information is in accordance with the latest requirements of the Arkansas Department of Health Rules and Regulations Pertaining to Onsite Wastewater Systems.

Designated Representative Signature: [Signature] Title: [Blank]

Mark W. Corbett, Designated Representative Signature, 06/14/2021, Date, 479-466-6183, Phone Number

21. Approval of Health Authority: The information and specifications in the application has been reviewed and found to meet the requirements of the Arkansas Department of Health Rules and Regulations Pertaining To Onsite Wastewater Systems. A PERMIT FOR CONSTRUCTION is hereby issued. [Signature], 6831, [Signature], 07/28/2021, Date

* Optional System Utilization Verification Form



Arkansas Department of Health
Environmental Health Protection

Receipt Number
- 24424566

Individual Onsite Wastewater System Permit Application

Permit Type New Installation
 Alteration / Repair

DIR Environmental ID #

7 6 0 2 1 4 7 0 4 7

Homeowner

Builder/Developer

Fee Schedule for Structures	√
Structures 1500 sq ft or less \$ 30.00	<input type="checkbox"/>
Structures more than 1500 sq ft and up to 2000 sq ft \$ 45.00	<input type="checkbox"/>
Structures more than 2000 sq ft and up to 3000 sq ft \$ 90.00	<input type="checkbox"/>
Structures more than 3000 sq ft and up to 4000 sq ft \$ 120.00	<input type="checkbox"/>
Structures more than 4000 sq ft \$ 150.00	<input checked="" type="checkbox"/>
Alteration and Repair \$ 30.00	<input type="checkbox"/>

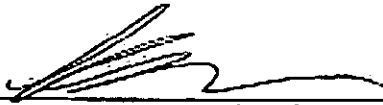
TO THE PROPERTY OWNER

Onsite Wastewater System Utilization Verification

Property location: 2021 S. Pianalto Rd Springdale, AR
(Address of Proposed System, City, State, Zip) 72762

I hereby attest there are 5 bedrooms (number of persons for commercial) and the square footage of the structure that will utilize the designed onsite wastewater system in this permit application is accurate. I have reviewed the permit application and understand the layout, installation, maintenance, operation and expense(s) that may be associated with this system.

As Developer/Builder, I hereby attest that the above information is correct and prior to the sale of the property, I will convey, to the buyer, all information associated with this system.

Owner/Applicant Signature 

Date 6-17-2021


This document must be submitted with the permit application, if the Owner/Applicant Signature Section (number 19 on the EHP-19) is not signed.

R2-24424566

Individual Sewage Disposal System Design Specs for: Larry Bratti, 2021 S. Pianalto Rd.

Tank & Leach Field: Designed with 6 lateral lines at 100'
Lateral lines are 18" inches deep, 24" inches wide on 10' centers,
1,500-gallon septic tank and 7-hole distribution box

Pipe Specifications: House to Tank is 4" SCH 40 Distance 11'
Tank to distribution box is 4" SCH 40 (first 10') Distance 10'
Tank to distribution box is 4" SDR 35 Distance 72'
All tight lines are 4" SCH 40 or SDR 35
Leach field lines are 4" ASTM 2729

- Installer Notes:** Top of tank must be installed above natural grade to achieve gravity. 
- Maximum trench depth should not exceed 18"
 - Flow line out of distribution box should be at or above ground elevation at Line 1.
 - Each soil absorption trench should be installed on contour as designed.
 - Gravel trench should begin 5' from the tight line.
 - Tight line trenches should be no deeper than 6".
 - Excavation of trenches by backhoe needs to be done in a manner to prevent compaction of trench bottom.
 - To avoid smearing of the sidewall of trenches, no digging should be done while the ground is wet.
 - Final grading over the absorption area shall be done to drain all surface water off and away from septic system.

The location and/or elevation of any existing utilities as shown on these plans should not be relied on as being exact or complete. The contractor is advised to contact Arkansas One Call at 1-800-482-8998 for information on existing utilities on this property.

System Elevations:

	Ground Elevation (top of natural grade)			Flow Line Elevation (bottom of pipe)		
Stub out	95.6			95.35		
Septic tank inlet	95.7			95.25		
Septic tank outlet	95.7			95.0		
D-box in	94.8			94.97		
D-box out	94.8			94.8		
	Ground Elevation			Flow Line Elevation (Bottom of Trench)		
	Beg	Mid	End	Beg	Mid	End
Line 1 ✓	94.8	94.8	94.8	93.3	93.3	93.3
Line 2 ✓	94.6	94.6	94.6	93.1	93.1	93.1
Line 3	94.3	94.3	94.3	92.8	92.8	92.8
Line 4	94.1	94.1	94.1	92.6	92.6	92.6
Line 5	93.9	93.9	93.9	92.4	92.4	92.4
Line 6	93.7	93.7	93.7	92.2	92.2	92.2

Benchmark: 90.5 Prop Pin

Property owner Notes:

- Guttering should be in such a manner to carry runoff water around and away from the lateral field.
- Garbage grinders are not recommended for septic systems.
- Recommend topsoil and seeding to prevent erosion.

South

934.93'

S87°20'20"E

31

310.00'

TRACT 3
5.84 ac.
120'

N02°39'40"E

N02°39'40"E

TRAC
5.84

820.00'

820.00'

R/W LINE
35' PARALLEL TO THE
CENTERLINE OF S
PINALTO RD.

310.00'

310.00'

S87°20'20"E

13

PARCEL
TRUSLOCK
Z

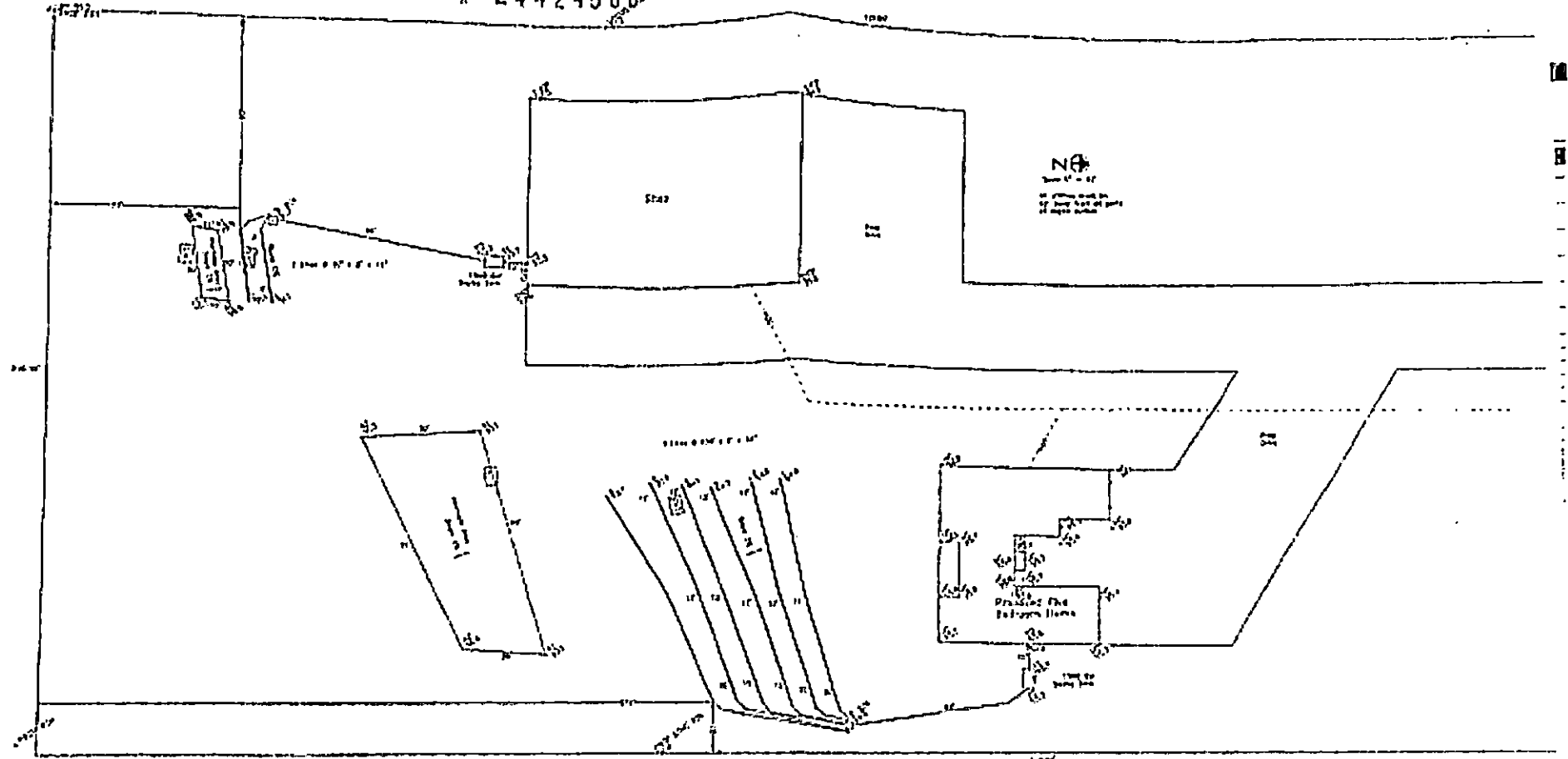
(72' R/W)
20' ASPHALT

North

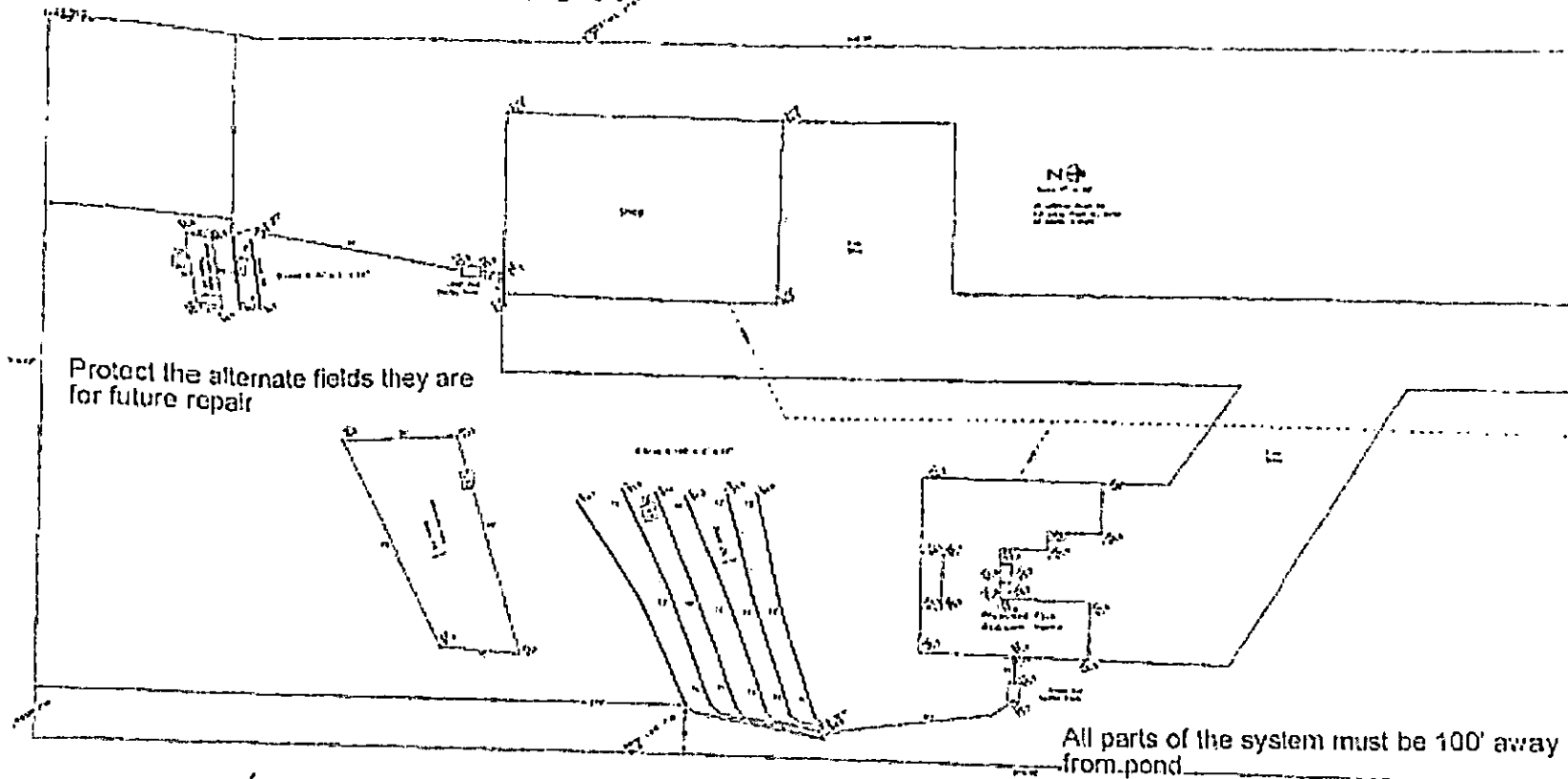
PARCEL ID 830-28543-000
TOWN OF TOWNERS, ROBERT LEE & REBECCA
ZONED A-1

138

17-24424566



SI-24424560



Protect the alternate fields they are for future repair

All parts of the system must be 100' away from pond

Keep lines at least 10' away from property lines

Adina Womart



Individual Onsite Wastewater System Permit Application

Receipt Number
24424566

Continue Part 1

22. Soil Criteria (Primary Area) Indicate the depth to items a-f, if observed in the soil (designate in inches)							
a. Bedrock >36"	b. BSWT NA	c. MSWT 22"	d. LSWT NA	e. Adj. MSWT NA	f. Adj. LSWT NA	g. H.C./Depth NA	h. Loading Rate (gpd/ft ²) 44
23. Soil Criteria (Secondary Area) Indicate the depth to items a-f, if observed in the soil (designate in inches)							
a. Bedrock >36"	b. BSWT NA	c. MSWT 28"	d. LSWT NA	e. Adj. MSWT NA	f. Adj. LSWT NA	g. H.C./Depth NA	h. Loading Rate (gpd/ft ²) 73
24. Seasonal Water Table (SWT) Classes Detail							
Primary Area			List Redoximorphic Features and/or Clay Content Restrictions				
Brief	NA	in	NA				
Moderate	22"	in	15% Chroma 2 Depletions	✓			
Long	NA	in	NA				
Secondary Area			List Redoximorphic Features and/or Clay Content Restrictions				
Brief	NA	in	NA				
Moderate	28"	in	10% Chroma 2 Depletions	✓			
Long	NA	in	NA				
Comments							

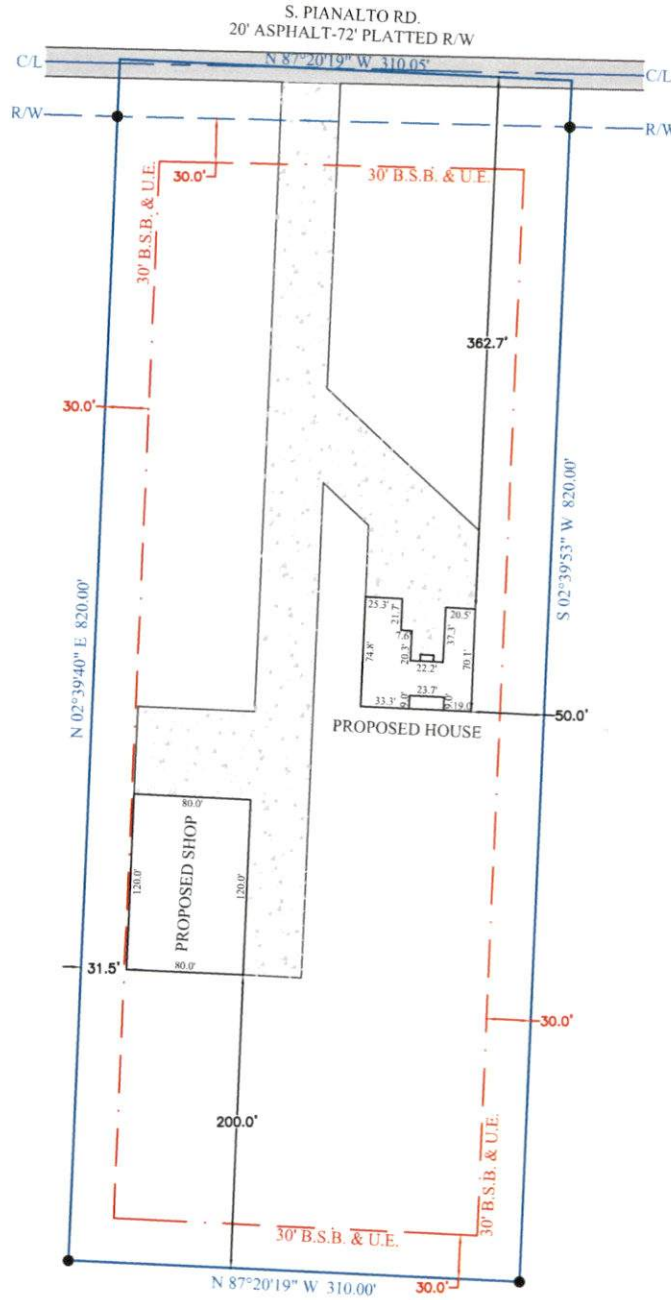
Part 2 Installation Inspection

Septic tank manufacturer		Pump information	
Septic tank material		Trench media and width	
Dose tank manufacturer		Depth of interceptor drain	
Dose tank material		Depth of scuffed fill	
Name of installer			License Number
Installation inspected by <input type="checkbox"/> Environmental Health Specialist <input type="checkbox"/> Designated Representative <small>(check one or installer signs System Installation Verification below)</small>			
Signature		EHS / License Number	Date
System Installation Verification I have installed this system as designed and in compliance with all Rules and Regulations Pertaining to Onsite Wastewater Systems.			
Installer Signature		License Number	Date

Part 3 Permit for Operation

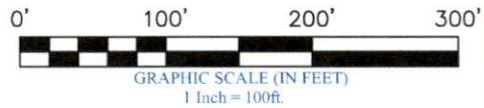
The information contained in Part 1 and 2 of this form has been reviewed and found to meet the requirements of the Arkansas Department of Health. THE PERMIT FOR OPERATION of this system is hereby issued.			
Environmental Health Specialist		Signature	EHS Number
Comments		Signature	Date
Site Revalidation conducted by <input type="checkbox"/> Environmental Health Specialist <input type="checkbox"/> Designated Representative <small>(check one)</small>			
Signature		EHS / License Number	Date

SITE PLAN



HOUSE LAYOUT NOT FOR CONSTRUCTION

- NOTES:
1. DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINES.
 2. THIS PLOT DEPICTS FUTURE CONSTRUCTION OF IMPROVEMENTS AS SHOWN.
 3. THIS IS NOT A BOUNDARY SURVEY, IT IS NOT INTENDED FOR TRANSFER OF TITLE.
 4. ALL DIMENSIONS MEASURED TO WALLS.
 5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF THE BUILDING AND BUILDING DIMENSIONS SHOWN HEREON MUST BE VERIFIED BEFORE PROCEEDING WITH CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BUILDING DOES NOT ENCROACH UPON ANY BUILDING SETBACKS AND OR EASEMENTS.



LEGEND: THESE STANDARD SYMBOLS WILL BE FOUND IN THE DRAWING.

- BOUNDARY LINE
- CENTERLINE OF ROAD
- - - RIGHT-OF-WAY
- - - BUILDING SETBACK
- - - UTILITY EASEMENT
- FOUND 5/8" REBAR

DRAWING #17-305

FOR USE AND BENEFIT OF:
LARRY BRATTI

ADDRESS:
**2291 S. PIANALTO ROAD
TONTITOWN, ARKANSAS**

DATE: 6/8/21
LOCATION:
SEC. 14
T-17-N, R-31-W

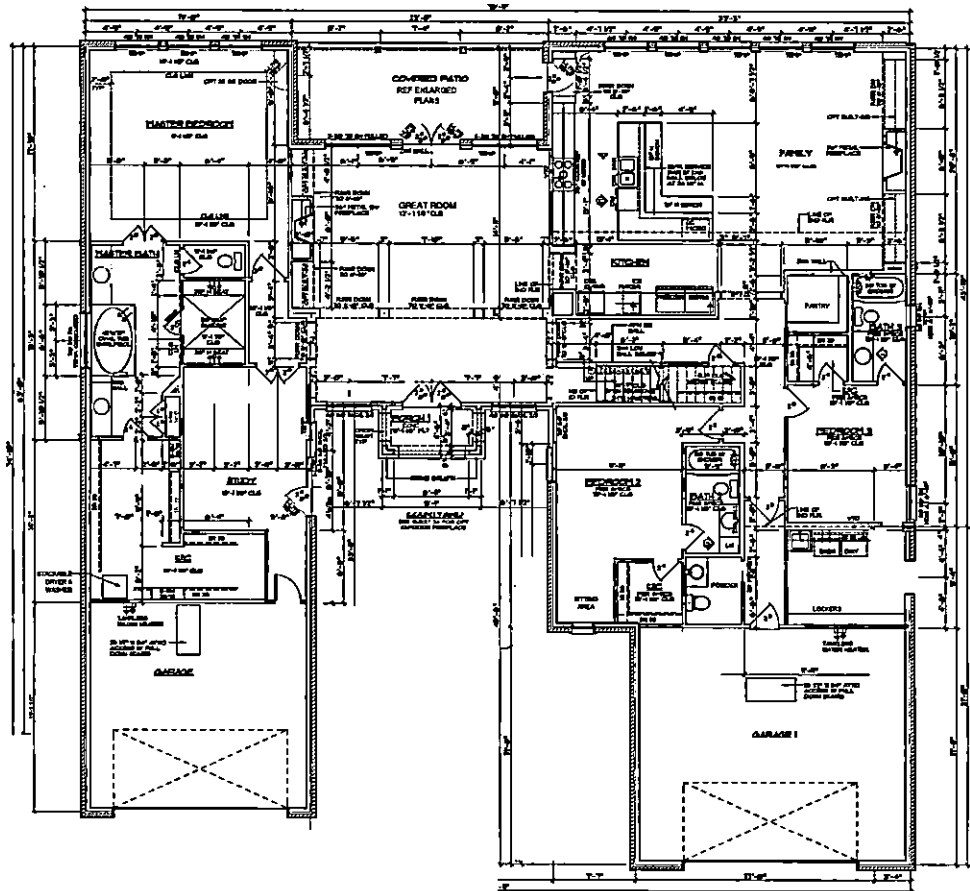
SCALE: 1" = 100'
SURVEYED: JR
DRAFTED: JN
REVIEWED: DT



Bates & Associates, Inc.
Engineers · Surveyors · Landscape Architects

7230 S. Pleasant Ridge Dr., Fayetteville, Arkansas 72704 · 479.442.9350 · Fax 479.521.9350

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Square Footage Chart Elevation 10'		
Area	Area	Area
1st Floor	2,875	2,875
2nd Floor	2,875	2,875
3rd Floor	2,875	2,875
4th Floor	2,875	2,875
5th Floor	2,875	2,875
6th Floor	2,875	2,875
7th Floor	2,875	2,875
8th Floor	2,875	2,875
9th Floor	2,875	2,875
10th Floor	2,875	2,875
11th Floor	2,875	2,875
12th Floor	2,875	2,875
13th Floor	2,875	2,875
14th Floor	2,875	2,875
15th Floor	2,875	2,875
16th Floor	2,875	2,875
17th Floor	2,875	2,875
18th Floor	2,875	2,875
19th Floor	2,875	2,875
20th Floor	2,875	2,875
21st Floor	2,875	2,875
22nd Floor	2,875	2,875
23rd Floor	2,875	2,875
24th Floor	2,875	2,875
25th Floor	2,875	2,875
26th Floor	2,875	2,875
27th Floor	2,875	2,875
28th Floor	2,875	2,875
29th Floor	2,875	2,875
30th Floor	2,875	2,875
31st Floor	2,875	2,875
32nd Floor	2,875	2,875
33rd Floor	2,875	2,875
34th Floor	2,875	2,875
35th Floor	2,875	2,875
36th Floor	2,875	2,875
37th Floor	2,875	2,875
38th Floor	2,875	2,875
39th Floor	2,875	2,875
40th Floor	2,875	2,875
41st Floor	2,875	2,875
42nd Floor	2,875	2,875
43rd Floor	2,875	2,875
44th Floor	2,875	2,875
45th Floor	2,875	2,875
46th Floor	2,875	2,875
47th Floor	2,875	2,875
48th Floor	2,875	2,875
49th Floor	2,875	2,875
50th Floor	2,875	2,875

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

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44. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

45. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

46. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

IMA

Isaac Moran
ARCHITECT

432 West 10th Street
Tulsa, Oklahoma 74103

(918) 581-0000

PROJECT

NEW RESIDENCE FOR:
MR. & MRS. BRATTI
TONTITOWN, ARKANSAS

SHEET
CONTENTS
1ST FLOOR
PLAN

SHEET
A1

GENERAL NOTES:

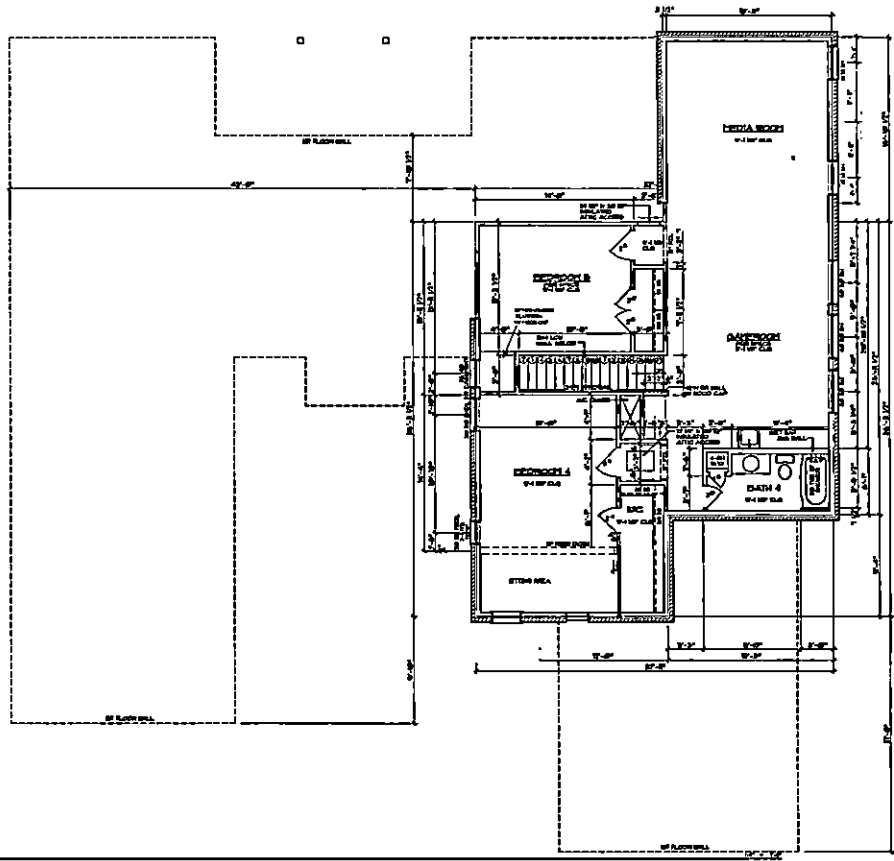
1. ALL DIMENSION ARE TO FACE OF STUD.
2. ALL WINDOWS ARE DIMENSIONED TO CENTER
3. MILLWORK TO BE INSTALLED BY THE BUILDER AS SELECTED BY THE OWNER.
4. BUILDER TO PROVIDE ALL PLUMBING, MECHANICAL, STRUCTURAL & ELECTRICAL, SEPTIC DESIGN AS REQUIRED. ROUGH-IN AS REQUIRED AND DIRECTED BY OWNER.
5. DESIGNER WILL BE HELD HARMLESS BY GENERAL CONTRACTOR / OWNER, AS DRAWINGS ARE PARTIAL AND MERELY INDICATIVE OF GENERAL ISSUES OF THE CONSTRUCTED BUILDING.


DESIGNER ASSUMES NO RESPONSIBILITY IN THE AREA OF CONSTRUCTION ADMINISTRATION, OR STRUCTURAL, ELECTRICAL, MECHANICAL, OR PLUMBING DESIGN.

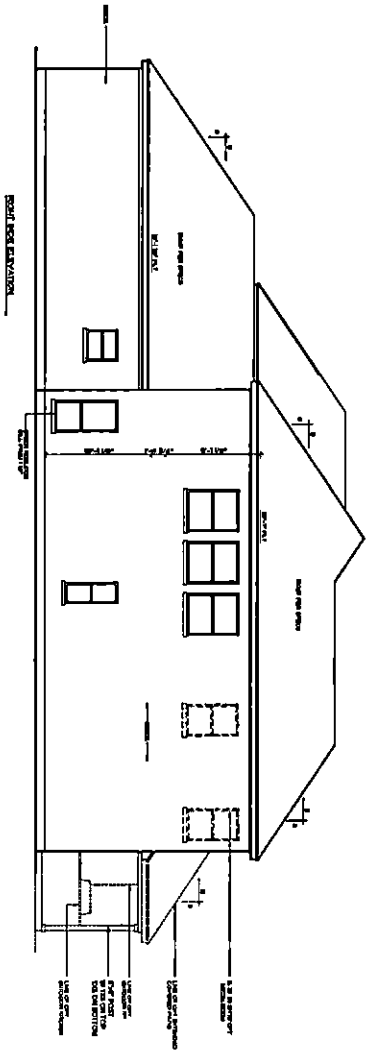
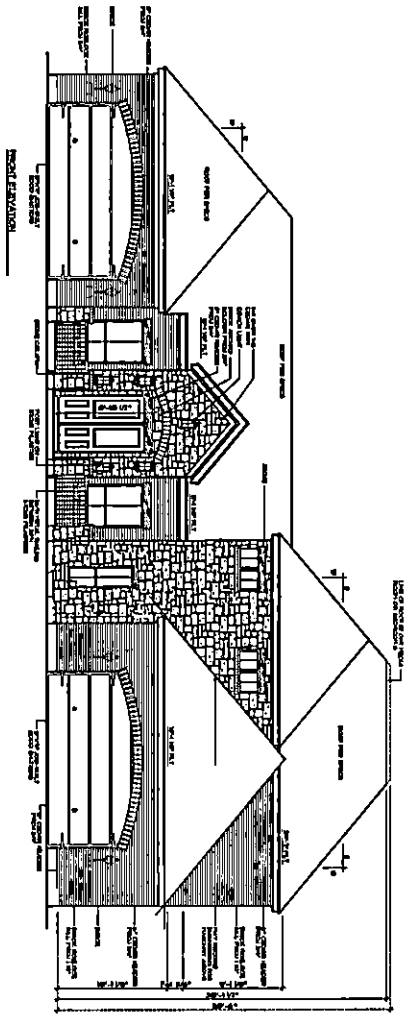
6. PLUMBING FIXTURES TO BE INSTALLED BY BUILDER AS SELECTED BY OWNER.
7. ALL DASHED-IN-FURNITURE & APPLIANCES ARE N.I.C. BUILDER TO PROVIDE THE REQUIRED CONNECTIONS.
8. FLOOR FINISH TO BE NOTED OR DIRECTED BY OWNER.
9. ALL WINDOWS TO BE COMPLETE W/ FRAMES, SASH, INTERIOR TRIM, SCREENS, STORM SASH & HARDWARE.
10. EXTERIOR PRE-HUNG DOORS TO INCLUDE JAMBS, SILL AND EXTERIOR CASING, INTERIOR TRIM, WEATHERSTRIPPING & HARDWARE.
11. INTERIOR PRE-HUNG DOORS TO INCLUDE JAMBS, INTERIOR TRIM ON BOTH SIDES & HARDWARE.
12. BUILDER TO VERIFY ALL EXISTING GRADE CONDITIONS.
13. BUILDER TO PROVIDE ALL LIGHTING AS REQUIRED BY OWNER.
14. ALL STRUCTURE, ELECTRICAL, MECHANICAL, OR PLUMBING DESIGN HAS NOT BEEN PERFORM.

ANY CANTILEVERED WOOD TRUSSES; WOOD BEAMS COLUMNS STRUCTURE TO BE DRAWN, DESIGNED, AND VERIFIED BY A STRUCTURAL ENGINEER AS DIRECTED BY OWNER.

SECOND FLOOR PLAN

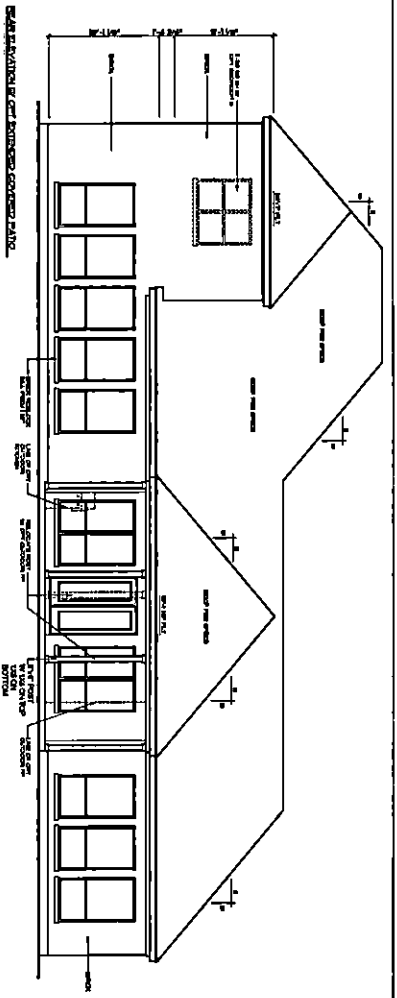


 IMA Isaac Moran ARCHITECT 400 West 10th Street, Suite 100 Fort Worth, Texas 76102 817-335-1111
PROJECT NEW RESIDENCE FOR: MR. & MRS. BRATTI TOWNTOWN, ARIZONA
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SHEET CONTENTS SECOND FLOOR
SHEET A2

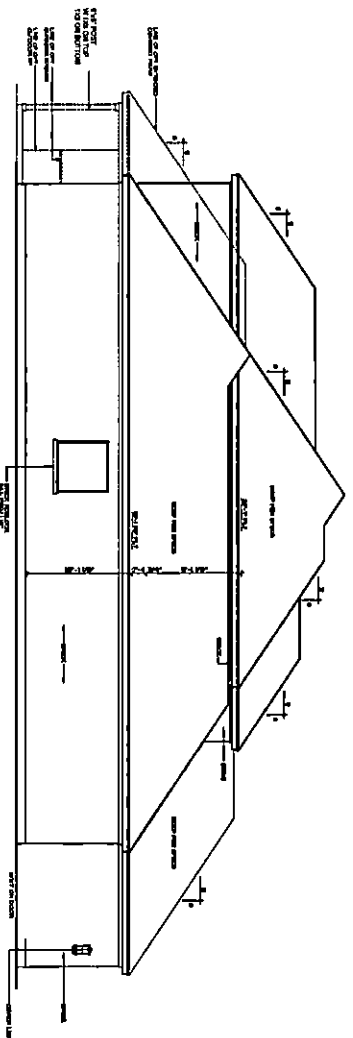


1
ALL EXT. ELEVATIONS

<p>IMA Interior Millwork Architectural Products 774 474-1411</p>	<p>PROJECT</p>	<p>NEW RESIDENCE FOR: MR. & MRS. BRATTI TONTITOWN, ARKANSAS</p>	<p>DATE: 11/11/11 DRAWN BY: J. BRATTI CHECKED BY: J. BRATTI SCALE: AS SHOWN</p>
--	----------------	---	---



FRONT ELEVATION OF COMPLETED GARAGE DETACHMENT



BACK ELEVATION

WOOD SHAKES
SHOULD BE PAINTED
SHOULD BE FINISHED
SHOULD BE PAINTED WITH AN APPLICABLE FINISH

ALL EXT. ELEVATIONS



Basic Morton
Project
2500 West 19th
Morton, Illinois 62450
(717) 435-5255

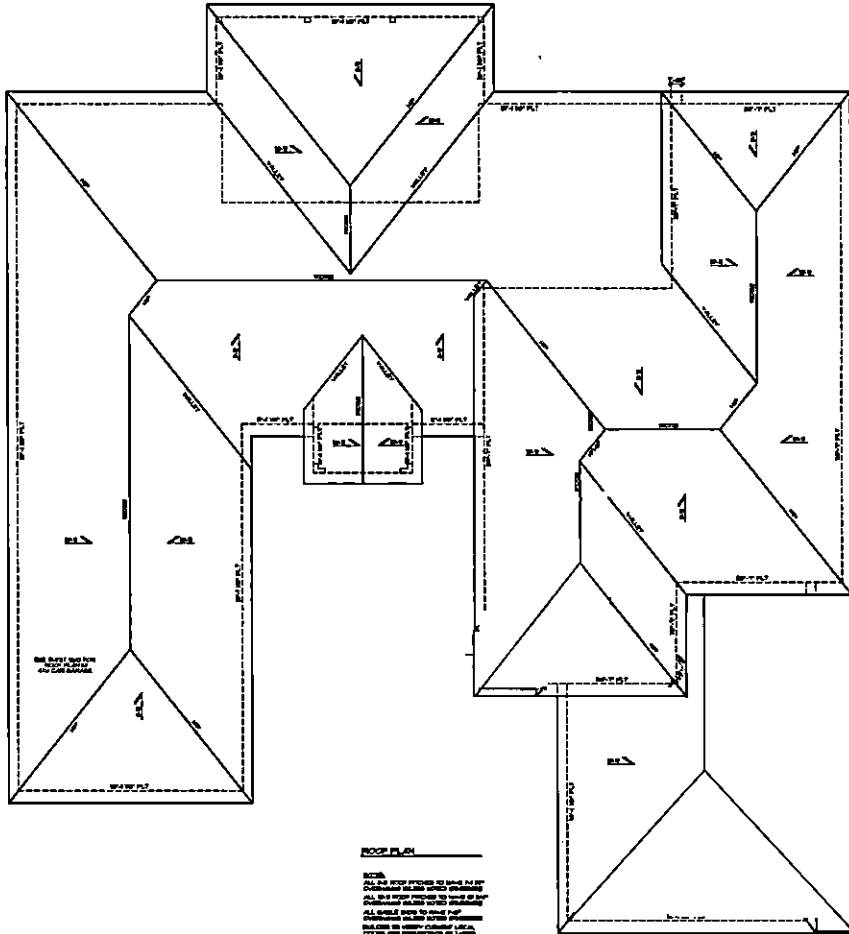
PROJECT

NEW RESIDENCE FOR:
MR. & MRS. BRATT
TONTTOWN, ARKANSAS

CONTRACT NUMBER

NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

SHEET
CONTENTS
EXTENSIVE
ELEVATIONS



ROOF PLAN
NOTES:
 ALL DIMENSIONS ARE TO FACE OF STUD.
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 ALL DIMENSIONS ARE TO FACE OF STUD.
 ALL DIMENSIONS ARE TO FACE OF STUD.

FINAL ROOF PLAN

GENERAL NOTES:

1. ALL DIMENSION ARE TO FACE OF STUD.
 2. ALL WINDOWS ARE DIMENSIONED TO CENTER.
 3. MILLWORK TO BE INSTALLED BY THE BUILDER AS SELECTED BY THE OWNER.
 4. BUILDER TO PROVIDE ALL PLUMBING, MECHANICAL, STRUCTURAL & ELECTRICAL SEPTIC DESIGN AS REQUIRED. ROUGH-IN AS REQUIRED AND DIRECTED BY OWNER.
 5. DESIGNER WILL BE HELD HARMLESS BY GENERAL CONTRACTOR / OWNER. AS DRAWINGS ARE PARTIAL AND MERELY INDICATIVE OF GENERAL ISSUES OF THE CONSTRUCTED BUILDING.
- DESIGNER ASSUMES NO RESPONSIBILITY IN THE AREA OF CONSTRUCTION ADMINISTRATION OR STRUCTURAL, ELECTRICAL, MECHANICAL OR PLUMBING DESIGN.**
6. PLUMBING FIXTURES TO BE INSTALLED BY BUILDER AS SELECTED BY OWNER.
 7. ALL DASHED-IN-FURNITURE & APPLIANCES ARE N.I.C. BUILDER TO PROVIDE THE REQUIRED CONNECTIONS.
 8. FLOOR FINISH TO BE NOTED OR DIRECTED BY OWNER.
 9. ALL WINDOWS TO BE COMPLETE W/ FRAMES, SASH, INTERIOR TRIM, SCREENS, STORM SASH & HARDWARE.
 10. EXTERIOR PRE-HUNG DOORS TO INCLUDE JAMBS, SILL AND EXTERIOR CASING, INTERIOR TRIM, WEATHERSTRIPPING & HARDWARE.
 11. INTERIOR PRE-HUNG DOORS TO INCLUDE JAMBS, INTERIOR TRIM ON BOTH SIDES & HARDWARE.
 12. BUILDER TO VERIFY ALL EXISTING GRADE CONDITIONS.
 13. BUILDER TO PROVIDE ALL LIGHTING AS REQUIRED BY OWNER.
 14. ALL STRUCTURE, ELECTRICAL, MECHANICAL OR PLUMBING DESIGN HAS NOT BEEN PERFORM.
- ANY CANTILEVERED WOOD TRUSSES, WOOD BEAMS COLUMNS STRUCTURE TO BE DRAWN, DESIGNED, AND VERIFIED BY A STRUCTURAL ENGINEER AS DIRECTED BY OWNER.

IMA

Isaac Moran

Principal

405 East Main Street, Suite 100

Arkadelphia, Arkansas 71923

501-326-1000

PROJECT

NEW RESIDENCE FOR

MR. & MRS. BRATTI

TIONTOON, ARKANSAS

SHEET

ROOF PLAN

SHEET

A5

IMA
 Isaac Moran
 401 West 10th Street
 Suite 200
 Des Moines, IA 50319
 515-281-4555

PROJECT

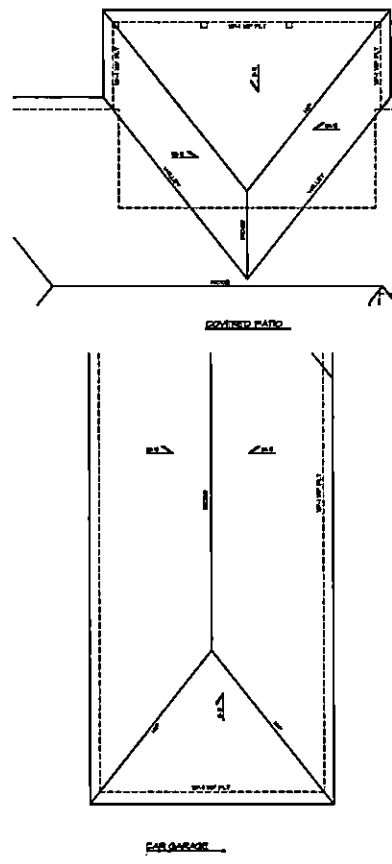
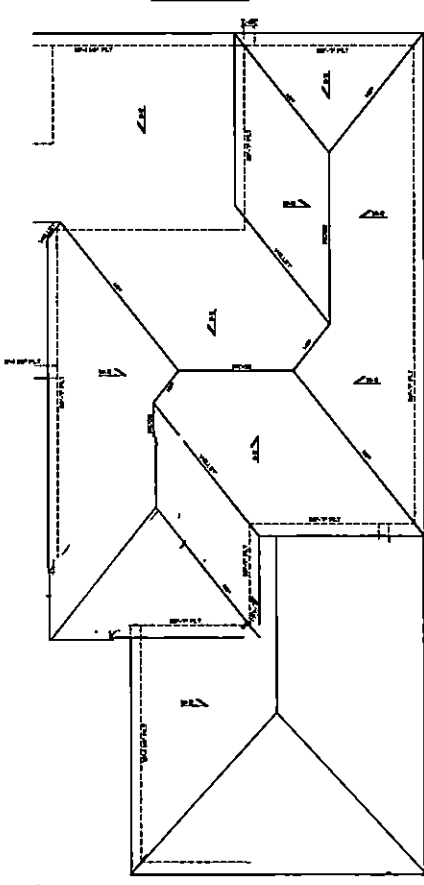
NEW RESIDENCE FOR:
 MR. & MRS. BRATTI
 TOWNTOWN, ARKANSAS

CONTRACT NUMBER:
 17-14

DATE:
 11/11/17

SHEET
 CONTENTS
 ENLARGED
 ROOF PLANS

17-14
 A6



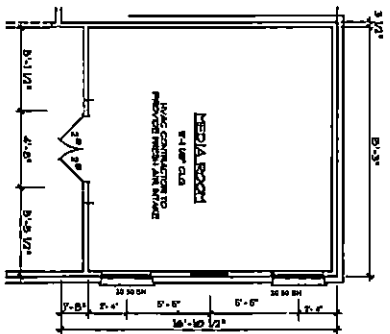
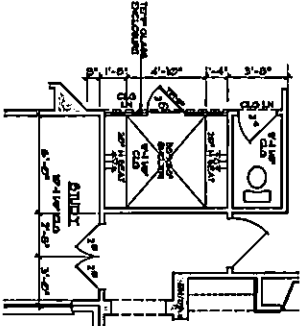
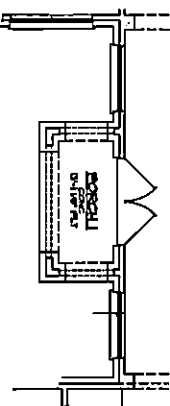
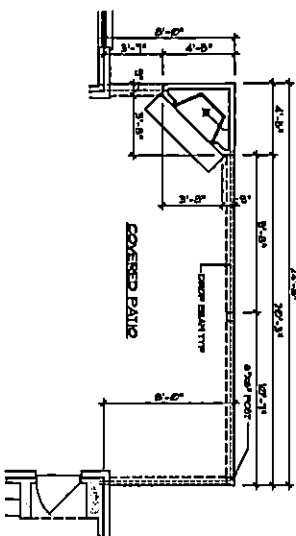
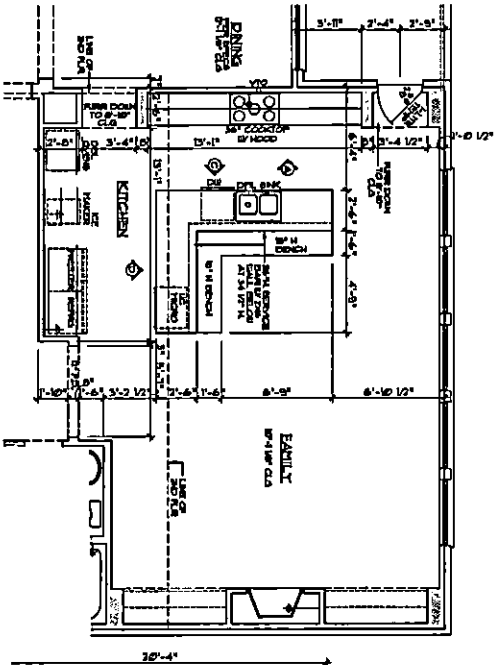
GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD.
 2. ALL WINDOWS ARE DIMENSIONED TO CENTER
 3. MILLWORK TO BE INSTALLED BY THE BUILDER AS SELECTED BY THE OWNER.
 4. BUILDER TO PROVIDE ALL PLUMBING, MECHANICAL, STRUCTURAL & ELECTRICAL, SEPTIC DESIGN AS REQUIRED. ROUGH-IN AS REQUIRED AND DIRECTED BY OWNER.
 5. DESIGNER WILL BE HELD HARMLESS BY GENERAL CONTRACTOR / OWNER AS DRAWINGS ARE PARTIAL AND MERELY INDICATIVE OF GENERAL ISSUES OF THE CONSTRUCTED BUILDING.
 6. DESIGNER ASSUMES NO RESPONSIBILITY IN THE AREA OF CONSTRUCTION ADMINISTRATION OR STRUCTURAL, ELECTRICAL, MECHANICAL OR PLUMBING DESIGN.
 7. ALL DASHED-IN FURNITURE & APPLIANCES ARE N.L.C. BUILDER TO PROVIDE THE REQUIRED CONNECTIONS.
 8. FLOOR FINISH TO BE NOTED OR DIRECTED BY OWNER.
 9. ALL WINDOWS TO BE COMPLETE W/ FRAMES, SASH, INTERIOR TRIM, SCREENS, STORM SASH & HARDWARE.
 10. EXTERIOR PRE-HUNG DOORS TO INCLUDE JAMBS, SILL AND EXTERIOR CASING, INTERIOR TRIM, WEATHERSTRIPPING & HARDWARE.
 11. INTERIOR PRE-HUNG DOORS TO INCLUDE JAMBS, INTERIOR TRIM ON BOTH SIDES & HARDWARE.
 12. BUILDER TO VERIFY ALL EXISTING GRADE CONDITIONS.
 13. BUILDER TO PROVIDE ALL LIGHTING AS REQUIRED BY OWNER.
 14. ALL STRUCTURE, ELECTRICAL, MECHANICAL OR PLUMBING DESIGN HAS NOT BEEN PERFORMED.
- ANY CANTILEVERED WOOD TRUSSES, WOOD BEAMS COLUMN'S STRUCTURE TO BE DRAWN, DESIGNED, AND VERIFIED BY A STRUCTURAL ENGINEER AS DIRECTED BY OWNER.

1

FINAL ROOF PLAN

17-14



BREAKFAST BAR

DINE-IN KITCHEN

SHOWER AT MASTER BATH

ENLARGED PLANS



Jared Morgan
 Designer
 400 W. Main St.
 Springfield, MO 65802
 417-836-0200

PROJECT

NEW RESIDENCE FOR:
 MR. & MRS. BRATT
 TONTITOWN, ARKANSAS

CONSTRUCTION NOTES

1. SEE ALL NOTES ON OTHER SHEETS.
 2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).
 3. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
 4. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).
 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).
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 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).

Sheet
 ENLARGED
 PLANS

Sheet
 AT

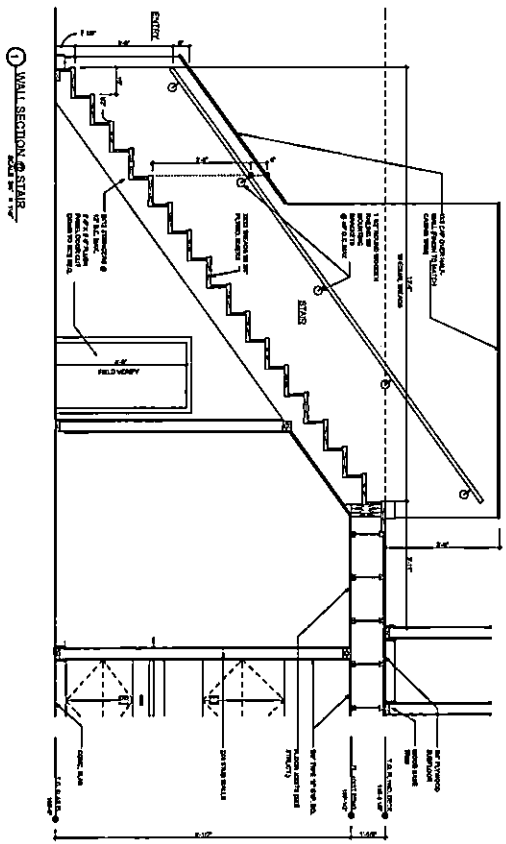
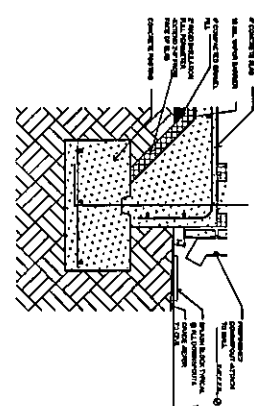
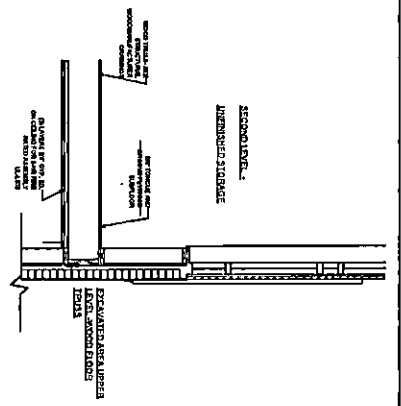


DIAGRAM FOOTING



foundation

1 2

WALL SECTION @ STAIR

CITY OF TONTITOWN

235 E. Henri de Tonti Blvd. • 479-361-2700

Rec Nbr: 07041

Date: 8-17-21

Received From: Chance Contractor Inc

Total \$ 3095.33

Description: Single Family Residential

Check # 51664

Permit# / Type 11499B

Credit Card# _____

Address 2021 S Pianalto

Distribution:


Permit Fee: \$ 3095.33
Conv Fee: \$ _____
Water Tap: \$ _____
Sewer Tap: \$ _____
Other: \$ _____ Desc: _____

Account Dist:

833 Fire _____ Payroll _____
988 Police _____ Street _____
City General X _____ Water _____
Parks & Trails _____ Other _____

Received by: UB

Temporary Service:	Setbacks/Footings:	Piers:	Termite/Slab:	Rough-in Plumbing:	Grid:
Do not pour concrete without above approval.			Do not pour slab without above approval.		

Dampers	<p>NOTICE: Contractors are required to notify the Inspection Division 24 hours prior to needed inspection.</p>  <p>BUILDING INSPECTION RECORD 479-263-9215 maintenance@tontitownar.gov</p>	Insulation
---------	---	------------

READ AND COMPLY WITH ALL NOTICES

This card must be posted, weather protected on job site, visible from and read from the street.

Address Number:
Street:

2021 S Piana HO

Do not sheetrock without approval.

Rough-In Mech:

Permit #

11499B

Rough-In Electric:

Contractor:

Chance Contractors, inc.

Top Out Plumbing:

SETBACKS

30 Front

7 Left Side

25 Rear

7 Right Side

Framing:

Zoning:

A-1

Gas Service:

Gas Yard Line:

Sewer Yard Line:

Water Yard Line:

Electric Service:

Electric Yard Line

DO NOT COVER WITHOUT THE ABOVE APPROVAL

Maegan Thomas

From: City of Tontitown, Arkansas <admins@tontitown.com>
Sent: Monday, August 9, 2021 8:48 AM
To: Roger Duncan; Anthony Apple; Leslee Bohannan; Maegan Thomas
Subject: Miscellaneous Construction Permit Application Form submitted on City of Tontitown, Arkansas
Attachments: Larry-Bratti-Site-Plan.pdf

Site Address: 2021 S Pinalto Rd
tontitown, Arkansas 72762

Subdivision: NA

Lot # (if known): NA

Name: Larry Bratti

Phone #: 479-445-5074

Email: LB2plumbinginc@gmail.com

Mailing Address: 608 Carlton St
Springdale, Arkansas 72762

Business Name: Larry Bratti

Phone #: 479-445-5074

Mailing Address: 608 Carlton St
Springdale, Arkansas 72762

Contact Person: Larry Bratti

Phone #: 479-445-5074

Email: LB2plumbinginc@gmail.com

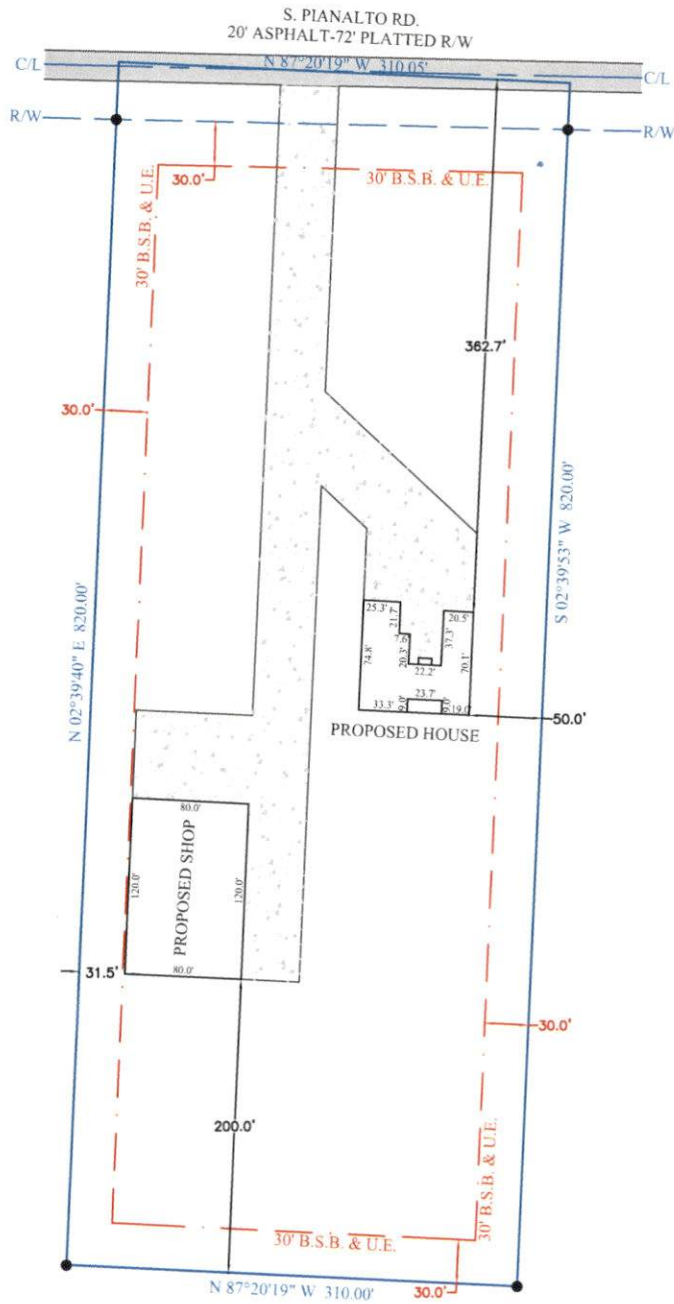
Master License #: NA

Expiration Date: December 31, 2021

Permit Nbr: 11527Bmis
Approved By: ROGER DUNCAN
Date Approved: 8-13-21
Building Fee: \$ 948.41
~~**COO Fee:** \$~~
~~**Water Tap:** \$~~
~~**Sewer Tap:** \$~~
Total Fee's: \$ 948.41
Receipt #: 7045

Type of Work:	Shop Building
Description of Work:	Construction of New Shop Building
Total SF of existing home:	0
Dimensions:	80x120
Total SF:	9600
Contract Price:	150,000.00
Check all that apply:	Concrete Floors, Electric, HVAC
Is the property commercial?	No
<p><i>By checking this box I agree that I have attached the Site Plan in a digital file, or will deliver a copy. Site plans must conform to all setbacks. Files can be attached below or delivered in person.</i></p>	
Site Plan	https://www.tontitown.com/wp-content/uploads/formidable/16/Larry-Bratti-Site-Plan.pdf
<p><i>By checking this box I recognize that this permit is issued with a hold harmless agreement with the City of Tontitown for any damage from Arkansas State Law Title 14-SubTitle16-Chapter271. "Arkansas Underground Facilities Damage Prevention Act." Also known as 811 – Arkansas One Call.</i></p>	
<p><i>By checking this box I recognize that this permit becomes null and void if work or construction authorized is not commenced within 6 months, or if construction or work is suspended or abandoned for a period of 6 months at any time after work is commenced.</i></p>	
<p><i>I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.</i></p>	
Applicant Signature:	Larry Bratti
Date:	August 9, 2021

SITE PLAN



HOUSE LAYOUT NOT FOR CONSTRUCTION

NOTES:

1. DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINES.
2. THIS PLOT DEPICTS FUTURE CONSTRUCTION OF IMPROVEMENTS AS SHOWN.
3. THIS IS NOT A BOUNDARY SURVEY, IT IS NOT INTENDED FOR TRANSFER OF TITLE.
4. ALL DIMENSIONS MEASURED TO WALLS.
5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF THE BUILDING AND BUILDING DIMENSIONS SHOWN HEREON MUST BE VERIFIED BEFORE PROCEEDING WITH CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BUILDING DOES NOT ENCROACH UPON ANY BUILDING SETBACKS AND OR EASEMENTS.



GRAPHIC SCALE (IN FEET)

1 Inch = 100ft.

LEGEND: THESE STANDARD SYMBOLS WILL BE FOUND IN THE DRAWING.

- BOUNDARY LINE
- - - CENTER LINE OF ROAD
- - - RIGHT-OF-WAY
- - - BUILDING SETBACK
- - - UTILITY EASEMENT
- FOUND 5/8" REBAR

DRAWING #17-305

FOR USE AND BENEFIT OF:

LARRY BRATTI

ADDRESS:
**2291 S. PIANALTO ROAD
TONTITOWN, ARKANSAS**

DATE: 6/8/21
LOCATION:
SEC. 14
T-17-N, R-31-W

SCALE: 1" = 100'
SURVEYED: JR
DRAFTED: JN
REVIEWED: DT



Bates & Associates, Inc.
Engineers · Surveyors · Landscape Architects

7230 S. Pleasant Ridge Dr., Fayetteville, Arkansas 72704 · 479.442.9350 · Fax 479.521.9350

BATES & ASSOCIATES, INC. Copyright 2017
This survey was conducted for the person or persons whose name(s) appear on this plan. This plan is protected by copyright. No one including the person(s) named may reproduce this plan without the express written consent of Bates & Associates, Inc. Surveyor has made no independent investigation for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other fact which a complete and accurate title search may disclose. Any flood statement provided on this plan is for information only and Bates & Associates, Inc. assumes no liability for the correctness of the herein cited maps, furthermore the above statement does not represent the opinion of Bates & Associates, Inc. of the probability of flooding.

CITY OF TONTITOWN

235 E. Henri de Tonti Blvd. • 479-361-2700

Rec Nbr: 07045

Received From: LB2 Plumbing

Date: 8-18-21

Description: 2021 S Pransko

Total \$ 948.41

Permit# / Type Misc# 11527RMIS

Check # 4047

Address _____

Credit Card# _____

Distribution:

Account Dist:

Permit Fee: \$ _____
Conv Fee: \$ _____
Water Tap: \$ _____
Sewer Tap: \$ _____
Other: \$ _____ Desc: _____

833 Fire _____ Payroll _____
988 Police _____ Street _____
City General X _____ Water _____
Parks & Trails _____ Other _____

Received by: [Signature]



Arkansas Department of Health
Environmental Health Protection
RECEIVED JUN 2 3 2021

Receipt Number
- 24424551

Individual Onsite Wastewater System Permit Application

Permit Type New Installation
 Alteration / Repair

OR Environmental ID #

7 6 0 2 1 4 7 0 4 7

P

Fee Schedule for Structures		
Structures 1500 sq ft or less	\$ 30.00	<input checked="" type="checkbox"/>
Structures more than 1500 sq ft and up to 2000 sq ft	\$ 45.00	<input type="checkbox"/>
Structures more than 2000 sq ft and up to 3000 sq ft	\$ 90.00	<input type="checkbox"/>
Structures more than 3000 sq ft and up to 4000 sq ft	\$ 120.00	<input type="checkbox"/>
Structures more than 4000 sq ft	\$ 150.00	<input type="checkbox"/>
Alteration and Repair	\$ 30.00	<input type="checkbox"/>

Part 1 Application Treatment Type (check one) Disposal Method (check one)

<input checked="" type="checkbox"/> STD = Standard Septic Tank	<input type="checkbox"/> ATU = Aerobic Treatment Unit	<input type="checkbox"/> STD = Standard Absorption Field	<input type="checkbox"/> LPD = Low Pressure Distribution
<input type="checkbox"/> ISF = Intermittent Sand Filter	<input type="checkbox"/> RCF = Re-circulating Sand Filter	<input type="checkbox"/> SUR = Surface Discharge	<input type="checkbox"/> HLD = Holding Tank
<input type="checkbox"/> PMF = Proprietary Media Filter	<input type="checkbox"/> RCF = Re-circulating Ceramic Filter	<input type="checkbox"/> CPF = Capping Field	<input type="checkbox"/> SFD = Serial Distribution
<input type="checkbox"/> OTH = Other (Describe)	<input type="checkbox"/> HLD = Holding Tank	<input type="checkbox"/> OTH = Other	<input type="checkbox"/> DRP = Dry Infiltration

1. Owner's/Applicant's Name Larry Dittli		2. Phone Number 479-445-5074	
3. Mailing Address 608 Canton St., Springdale, AR 72762		4. County Washington	
5. Address of Proposed System (If a 911 address is not available, attach detailed directions or map) Rt 11, 2021 S. Pinnacle Rd., Springdale, AR, 72762 Parcel ID: 830-30352-003			
6. Subdivision Name NA	7. Approval Date NA	8. Date Recorded NA	9. Lot Number NA
10. Lot Dimensions see survey	11. Total Area (Acres) 5.84	12. #Bedrooms # People 2 Employees ✓	13. Daily Flow (GPD) 30 Gallons ✓
14. Brief Legal Description of Property (Attach a separate sheet of paper, if necessary) PT NW SW 5.84 AC. S-14 T-17 R-31			
15. Water Supply (Specify supplier, if Public Water) WWA		16. GPS Coordinates 30 0' 45" N 94 15' 48" W AA: 36 0' 45" N 94 15' 48" W	

17. Loading Rates (gpd/ft²)		18. System Specifications					
Primary Area	75	a. Size of Septic Tank	1000	gal	f. Trench Depth	18"	inches
Secondary Area	57	b. Size of Dose Tank	NA	gal	g. Trench Spacing	8'	feet
Percolation Test	(min/in)	c. Absorption Area	120	ft²	h. Trench Media (List Below)		i. Trench Width
Primary Area Avg	NA	d. Number of Field Lines	2		Pipe and Gravel		24 in
Secondary Area	NA	e. Length of Field Lines	30	ft	EZ Flow 1201		18 in

TO THE OWNER
The permit for construction may be deemed invalid by the local Environmental Health Specialist before the start of construction, if the site and/or soil conditions have changed after approval of this permit, or if the information within this permit is inaccurate or has been found to be misrepresented. Approval for operation does not constitute a guarantee that the system will function properly. The approval states that the system was designed and installed according to the Arkansas Department of Health Rules and Regulations Pertaining to Onsite Wastewater Systems, unless there are exceptions or deviations noted in the comments. A Permit for Construction is valid for one (1) year from the date of approval. The authorized agent must revalidate a permit more than one (1) year old prior to the start of any construction.

19. Utilization Verification
I hereby attest that item 12, the number of bedrooms (number of persons for commercial) and square footage of the structure that will utilize the designed individual onsite wastewater system in this permit application, is accurate. I have reviewed the permit application and understand the layout, installation, maintenance, operation and expense(s) that may be associated with this system.

Owner/Applicant Signature Larry Dittli Date _____

20. I certify that I have conducted the above tests and that the above listed information is in accordance with the latest requirements of the Arkansas Department of Health Rules and Regulations Pertaining to Onsite Wastewater Systems.

Designated Representative Signature Mark W. Cochran Title _____
Date 06/11/2021 Designated Representative Phone Number 479-466-6183

21. Approval of Health Authority
The information and specifications in the application has been reviewed and found to meet the requirements of the Arkansas Department of Health Rules and Regulations Pertaining to Onsite Wastewater Systems. A PERMIT FOR CONSTRUCTION is hereby issued.
Signature Melissa Wearmouth Title 0831 Date 07/28/2021

* Optional System Utilization Verification Form



Arkansas Department of Health
Environmental Health Protection

Receipt Number
- 24424551

Individual Onsite Wastewater System Permit Application

Permit Type New Installation
 Alteration / Repair

DR Environmental ID #

7 6 0 2 1 4 7 0 4 7

Fee Schedule for Structures	
Structures 1500 sq ft or less	<input checked="" type="checkbox"/>
\$ 30.00	
Structures more than 1500 sq ft and up to 2000 sq ft	<input type="checkbox"/>
\$ 45.00	
Structures more than 2000 sq ft and up to 3000 sq ft	<input type="checkbox"/>
\$ 50.00	
Structures more than 3000 sq ft and up to 4000 sq ft	<input type="checkbox"/>
\$ 120.00	
Structures more than 4000 sq ft	<input type="checkbox"/>
\$ 150.00	
Alteration and Repair	<input type="checkbox"/>
\$ 20.00	

Homeowner

Builder/Developer

TO THE PROPERTY OWNER

Onsite Wastewater System Utilization Verification

Property location: 2021 S. Pianalto Rd. Springdale, AR
(Address of Proposed System, City, State, Zip) 72762

I hereby attest there are 2 bedrooms (2 number of persons for commercial) and the square footage of the structure that will utilize the designed onsite wastewater system in this permit application is accurate. I have reviewed the permit application and understand the layout, installation, maintenance, operation and expense(s) that may be associated with this system.

As Developer/Builder, I hereby attest that the above information is correct and prior to the sale of the property, I will convey, to the buyer, all information associated with this system.

Owner/Applicant Signature [Signature]

Date 6-17-2021

This document must be submitted with the permit application, if the Owner/Applicant Signature Section (number 19 on the EHP-19) is not signed.

Individual Sewage Disposal System Design Specs for: Larry Bratti, SHOP 2021 S. Pinalto Rd.

Tank & Leach Field: Designed with 2 lateral lines at 30'
Lateral lines are 18" inches deep, 24" inches wide on 8' centers.
1,000-gallon septic tank and 7-hole distribution box

Pipe Specifications:

House to Tank is 4" SCH 40	Distance	10'
Tank to distribution box is 4" SCH 40 (first 10')	Distance	10'
Tank to distribution box is 4" SDR 35	Distance	78'
All tight lines are 4" SCH 40 or SDR 35		
Leach field lines are 4" ASTM 2739		

- Installer Notes:**
- Maximum trench depth should not exceed 18".
 - Flow line out of distribution box should be at or above ground elevation at Line 1.
 - Each soil absorption trench should be installed on contour as designed.
 - Gravel trench should begin 5' from the tight line.
 - Tight line trenches should be no deeper than 6".
 - Excavation of trenches by backhoe needs to be done in a manner to prevent compaction of trench bottom.
 - To avoid smearing of the sidewall of trenches, no digging should be done while the ground is wet.
 - Final grading over the absorption area shall be done to drain all surface water off and away from septic system.

The location and/or elevation of any existing utilities as shown on these plans should not be relied on as being exact or complete. The contractor is advised to contact Arkansas One Call at 1-800-482-8998 for information on existing utilities on this property.

System Elevations:

	Ground Elevation (top of natural grade)			Flow Line Elevation (bottom of pipe)		
Stub out	93.5			91.85		
Septic tank inlet	93.7			91.75		
Septic tank outlet	93.3			91.5		
D-box in	91.2			91.27		
D-box out	91.2			91.1		
	Ground Elevation			Flow Line Elevation (Bottom of Trench)		
	Beg	Mid	End	Beg	Mid	End
Line 1	91.1	91.1	91.1	89.6	89.6	89.6
Line 2	91.1	91.1	91.1	89.6	89.6	89.6

*All lines
18" minimum*

Benchmark: 90.5 Prop Pin

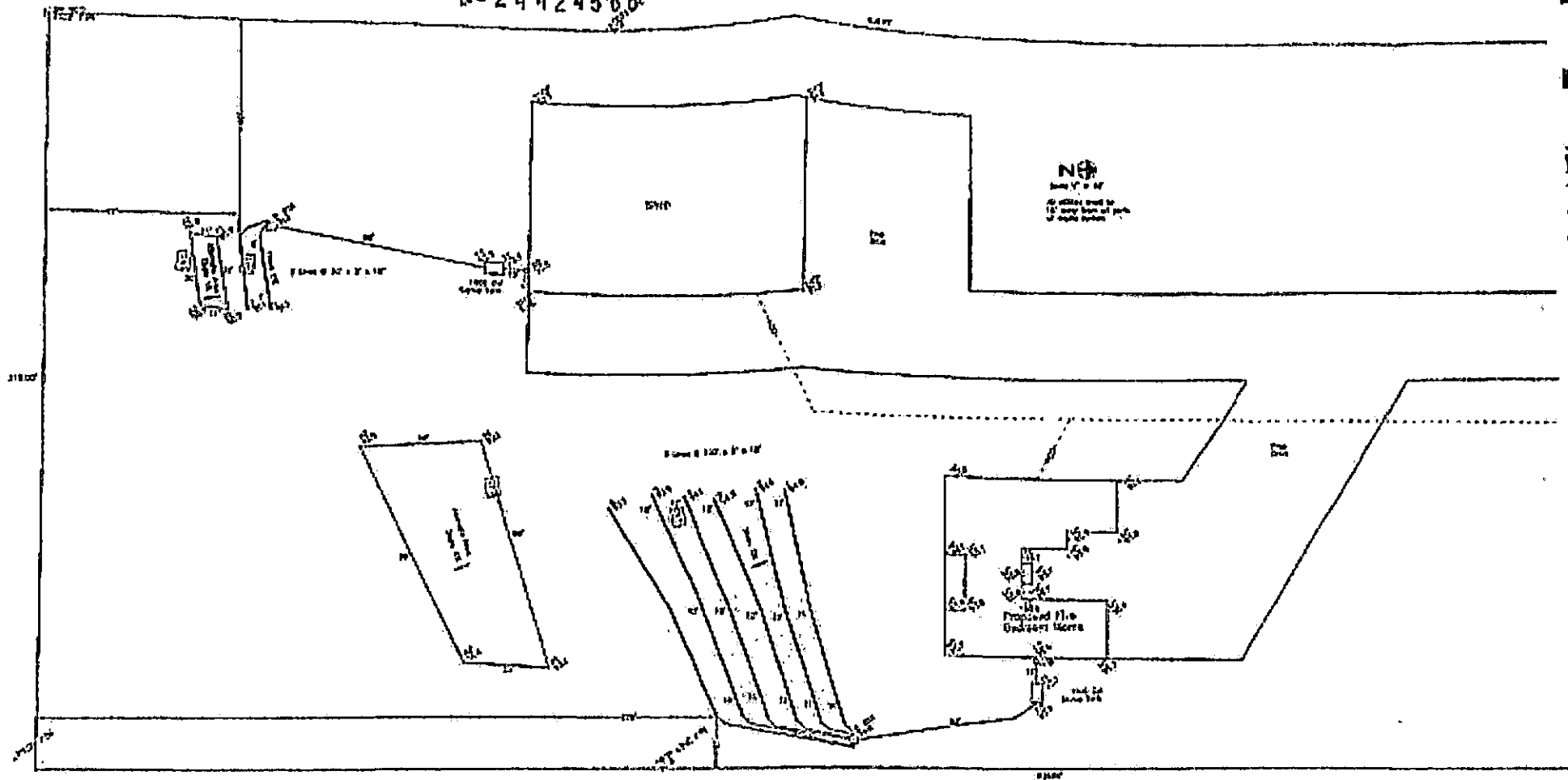
Trench bottom level and ground level

Property owner Notes:

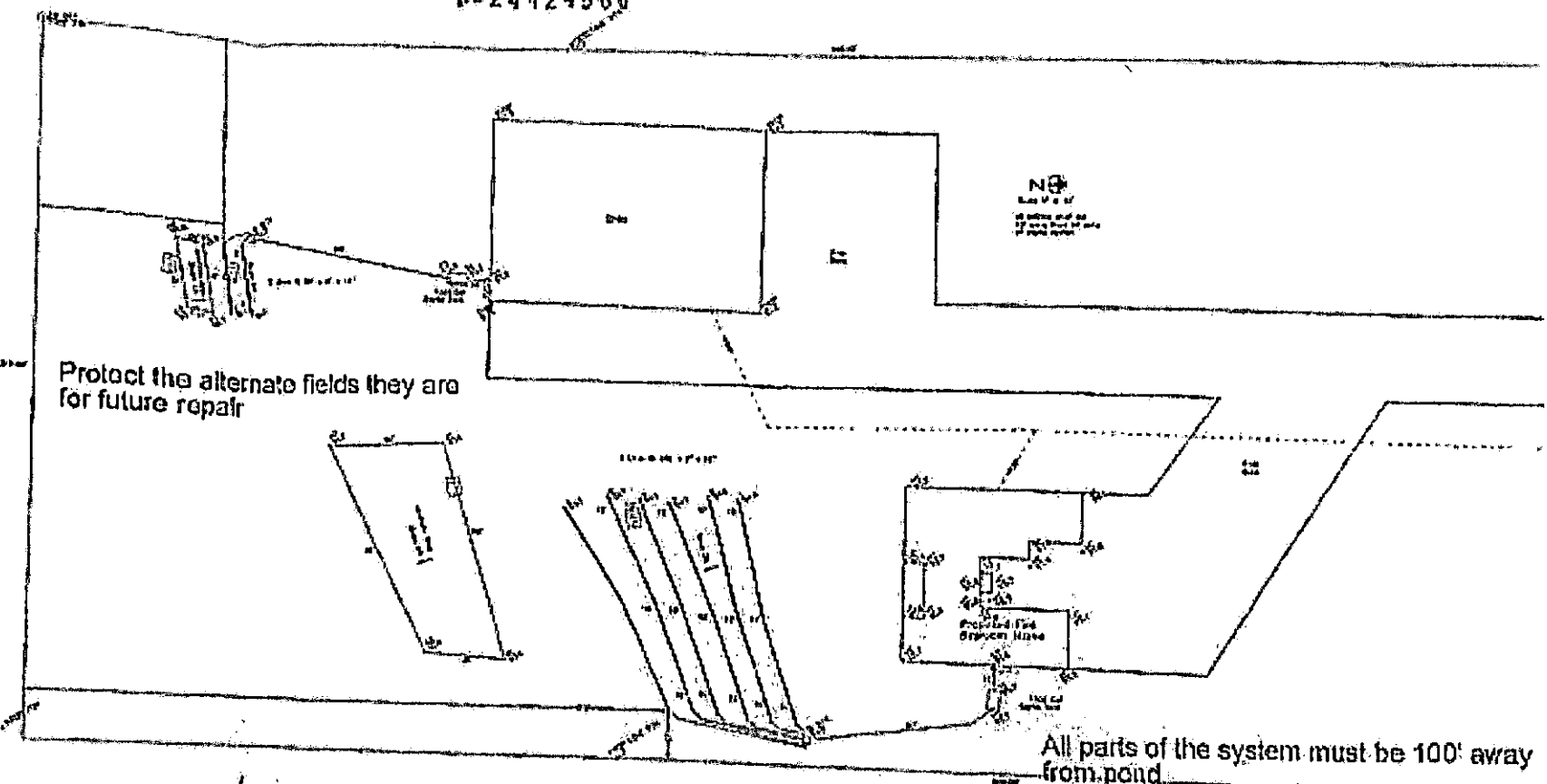
- Guttering should be in such a manner to carry runoff water around and away from the lateral field.
- Garbage grinders are not recommended for septic systems.
- Recommend topsoil and seeding to prevent erosion.

Notice: This is only a plan and does not necessarily reflect the actual size shape or location of any improvements, which may be constructed on this property. This individual sewage disposal system was designed according to the Arkansas Department of Health Rules and Regulations Pertaining to Sewage Disposal Systems, DR's, and installers. However, this does not constitute a guarantee that the system will function properly.

13-24424566



H-24424566



Protect the alternate fields they are for future repair

Keep lines at least 10' away from property lines

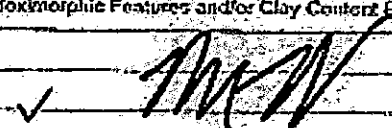
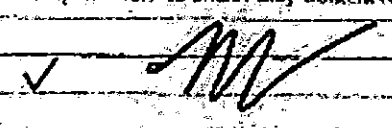
All parts of the system must be 100' away from pond

Adina Warner

Individual Onsite Wastewater System Permit Application

Receipt Number
 No. 24424551

Continue Part 1

22. Soil Criteria (Primary Area)								Indicate the depth to items a-d, if observed in the soil (designate in inches)	
a. Bedrock	b. BSWT	c. MSWT	d. LSWT	e. Adj. MSWT	f. Adj. LSWT	g. H.C./Depth	h. Loading Rate (gpd/ft ²)		
>36"	NA	31"	NA	NA	NA	NA	.75		
23. Soil Criteria (Secondary Area)								Indicate the depth to items a-d, if observed in the soil (designate in inches)	
a. Bedrock	b. BSWT	c. MSWT	d. LSWT	e. Adj. MSWT	f. Adj. LSWT	g. H.C./Depth	h. Loading Rate (gpd/ft ²)		
>36"	NA	29"	NA	NA	NA	NA	.67		
24. Seasonal Water Table (SWT) Classes Detail									
Primary Area				List Redoximorphic Features and/or Clay Content Restrictions					
Brief	NA	in	NA						
Moderate	31"	in	5% Chroma 2 Depletions						
Long	NA	in	NA						
Secondary Area				List Redoximorphic Features and/or Clay Content Restrictions					
Brief	NA	in	NA						
Moderate	29"	in	5% Chroma 2 Depletions						
Long	NA	in	NA						
Comments									

Part 2 Installation Inspection

Septic tank manufacturer		Pump information	
Septic tank material		Trench media and width	
Dose tank manufacturer		Depth of interceptor drain	
Dose tank material		Depth of notified fill	
Name of installer			License Number
Installation Inspected by		Designated Representative	
(check one or installer signs System Installation Verification below)			
Signature		EHS / License Number	Date
System Installation Verification			
I have installed this system as designed and in compliance with all Rules and Regulations Pertaining to Onsite Wastewater Systems.			
Installer Signature		License Number	Date

Part 3 Permit for Operation

The information contained in Part 1 and 2 of this form has been reviewed and found to meet the requirements of the Arkansas Department of Health. THE PERMIT FOR OPERATION of this system is hereby issued.			
Environmental Health Specialist		Date	
Signature		EHS Number	Date
Comments			
Site Revalidation conducted by		Designated Representative	
(check one)			
Signature		EHS / License Number	Date

NEIGHBOR COMMENTS

DATE: 6-22-22

TO: The City of Tontitown: Mayor Angela Russel, The Planning Commission, The City Council

FROM: Janette Smithson
1723 S. Pinalto Rd
Springdale, AR 72762

REGARDING: Commercial re-zoning request for 2021 S. Pinalto Road, Tontitown, AR

Greetings,

As a resident of South Pinalto Road, I am requesting the Tontitown City Council and Planning Commission deny the request of Mr. Larry Bratti of 2021 S. Pinalto Road to re-zone a portion of his property to commercial use.

We wish to preserve our residential neighborhood from property devaluation, increased traffic, and noise. Also, approving this request would set a precedent, likely resulting in even more commercial re-zoning applications within residential areas for which the city would have to contend.

We love our end of the road. We know our neighbors. We look out for each other.

We request Tontitown government officials to respect our wishes and help us protect our homes and our neighborhood.

Thank you,

Janette Smithson

DATE: 6/17/2022

TO: The City of Tontitown: Mayor Angela Russel, The Planning Commission, The City Council

FROM: Phillip McGarrah
1880 Floyd Rd
Springdale Ar 72762
- Tontitown -

REGARDING: Commercial re-zoning request for 2021 S. Pinalto Road, Tontitown, AR

Greetings,

As a resident of South Pinalto Road, I am requesting the Tontitown City Council and Planning Commission deny the request of Mr. Larry Bratti of 2021 S. Pinalto Road to re-zone a portion of his property to commercial use.

We wish to preserve our residential neighborhood from property devaluation, increased traffic, and noise. Also, approving this request would set a precedent, likely resulting in even more commercial re-zoning applications within residential areas for which the city would have to contend.

We love our end of the road. We know our neighbors. We look out for each other.

We request Tontitown government officials to respect our wishes and help us protect our homes and our neighborhood.

Thank you,

Phillip McGarrah

DATE: June 21 2022

TO: The City of Tontitown: Mayor Angela Russel, The Planning Commission, The City Council

FROM: Donnie & Debra NEWMAN

2049 S. PIANALTO
Tontitown, Ar 72762

REGARDING: Commercial re-zoning request for 2021 S. Pionalto Road, Tontitown, AR

Greetings,

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Thank you,

Donnie Newman
Debra Newman

REZONING RESPONSE

- () I/we have no objections to the rezoning.
- I/we object to the rezoning because:

THIS IS A NEIGHBORHOOD OF FAMILIES, WE DIDN'T PURCHASE OUR PROPERTIES
SO THAT WE COULD LIVE NEXT TO THIS COMMERCIAL BUSINESS. WE WOULDN'T
HAVE MOVED HERE IF THERE WAS COMMERCIAL BUSINESSES HERE. BRATTI
HAS 12 EMPLOYEES & DOES CONSTRUCTION PLUMBING FOR COMMERCIAL SITES
HE WAS GIVEN HIS PERMIT TO BUILD A RESIDENTIAL SHOP IN ERROR!
THEY FAILED TO LOOK AT SQ FOOTAGE WHEN THEY ISSUED THIS PERMIT,
THIS WAS COMPOUNDED BY CODE INSPECTOR, WHO DIDN'T COMPARE SQ FOOTAGE

Signature _____ for _____ Signature Rebecca Jiminiano
 WITH REQUIREMENTS ^{for} RESIDENTIAL SHOP

ratimmi@gmail.com

(479) 422-9115

OPTIONAL: email/phone number

This form can be mailed to:
 City of Tontitown Planning Department,
 P.O. Box 305,
 Tontitown, AR 72770.

Or emailed to:
planning@tontitownar.gov

MR BRATTI, HAS NO REGARD FOR THIS
 RESIDENTIAL NEIGHBORHOOD. HE HAS
 ↑ VEHICLES PARKED, OF ALL SIZES, PARKED
 BETWEEN THE SHOP & THE RODE. AT ALL TIMES.
 THERE IS MORE ISSUES THAN THIS.

TONTITOWN CODE FOR RESIDENTIAL
 BUSINESS IS: OWNER, PLUS 1 EMPLOYEE!
 YOUR OWN CODE INSPECTOR (MR DUNCAN)
 TOLD ME, WHEN I WAS IN HIS OFFICE,
 THAT, HE "NEVER HEARD OF THAT".

THE LACKING EDUCATION OF EMPLOYEES
 HAS CREATED A MESS THAT RESIDENTS
 IN THIS NEIGHBORHOOD, ^{SHOULDN'T} ~~WANT~~ HAVE TO LIVE WITH!

DATE: 06/20/22

TO: The City of Tontitown: Mayor Angela Russel, The Planning Commission, The City Council

FROM: Enrique A. Reyes
1971 S Pinalto Rd
Springdale AR 72762

REGARDING: Commercial re-zoning request for 2021 S. Pinalto Road, Tontitown, AR

Greetings,

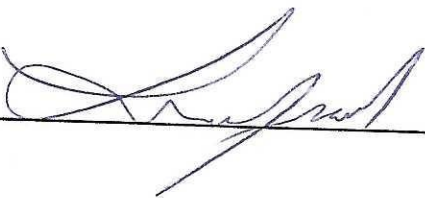
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Thank you,



DATE: 6-21-22

TO: The City of Tontitown: Mayor Angela Russel, The Planning Commission, The City Council

FROM: Abigail Reyes
1971 S. Pinalto Rd
Springdale AR 72764

REGARDING: Commercial re-zoning request for 2021 S. Pinalto Road, Tontitown, AR

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Thank you,

Abigail Reyes

DATE: 6-20-22

TO: The City of Tontitown: Mayor Angela Russel, The Planning Commission, The City Council

FROM: Eva Reyes

1971 S. Pinalto Rd.

Springdale AR 72764

REGARDING: Commercial re-zoning request for 2021 S. Pinalto Road, Tontitown, AR

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Thank you,

Eva N. Reyes

DATE: 06/20/22

TO: The City of Tontitown: Mayor Angela Russel, The Planning Commission, The City Council

FROM: Alejandro E. Reyes
1971 S. Pianalto Rd.
Springdale Ar. 72762

REGARDING: Commercial re-zoning request for 2021 S. Pianalto Road, Tontitown, AR

Greetings,

As a resident of South Pianalto Road, I am requesting the Tontitown City Council and Planning Commission deny the request of Mr. Larry Bratti of 2021 S. Pianalto Road to re-zone a portion of his property to commercial use.

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Thank you,

Alejandro E. Reyes

DATE: 6/23/22

TO: The City of Tontitown: Mayor Angela Russel, The Planning Commission, The City Council

FROM: TAMMY D. GRAHAM

1984 S. PIANALTO RD

SPRINGDALE, AR 72762 (TONTITOWN)

REGARDING: Commercial re-zoning request for 2021 S. Pianalto Road, Tontitown, AR

Greetings,

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Thank you,



Luann Jenison

From: Rebecca Timmons <rgtimmi@gmail.com>
Sent: Tuesday, June 14, 2022 9:24 AM
To: Luann Jenison; Mayor
Subject: 2021 S Pinalto

Greetings:

I live directly across the street from 2021 S Pinalto, property of Mr. Larry Bratti. While watching this monstrosity of a shop going up and learning to navigate city hall, it has been a stressful few months for me. I appreciate the members of the planning commission taking the time to read this letter and seriously consider the people in this neighborhood.

After speaking to Mr Bratti in the early part of March, he told me he had, "a plumbing business and he was going to run his TRUCKS out of here", I went to city hall. I spoke with (at that time) city hall employees, Nathan & Ms. Bybe, who assured me that a, "residential business consisted of OWNER and only 1 employee". That this was a "Tontitown code". I told them what Mr Bratti had said about having multiple trucks and thought they would follow-up.

Sometime later, I see how big the shop is going to be, so I go back into city hall and i'm directed to the, Code Inspector Mr. Duncan. I told him how large this shop was and about the residential business code in Tontitown. He tells me, "I've never heard of that code before". There was no help to be had there, he was a complete disconnect from anything I was telling him. I asked to see someone in planning.

Eventually, I find out that, a residential permit was issued to Mr Bratti in error! Another, city employee, failed to look at the square footage of his shop, when she issued the permit. The shop is 9,600 square feet!!! This is no residential business, it is a full blown "COMMERCIAL TRADE COMPANY", this should not be in the middle of an established residential community. Many citizens on this street have lived here for decades.

Mr. Briatti's business is not a typical plumbing business, he is not coming to your home, to fix your faucet. LB2 plumbing is a large "CONSTRUCTION SALES & SERVICE" business. He has TWELVE employees and various pieces of heavy equipment and vehicles (skid steer, backhoe, dump truck, long trailers hauling at least 12-16" round & 20' long PVC pipes, box trucks, box trailers, flat bed trailers, pick-ups & vans etc.). Mr Bratti does have some customer interaction at this location, per his own admission in an introductory letter that he wrote. Neighbors received a copy of his letter, from city hall.

Mr. Bratti has made no attempt to make the property look residential, up until this time 6/13/22. The area between the front of the shop and the road is littered with, box trailer, flat bed trailer, pick-ups, cars and employee vehicles all day. Recently, eco-vista brought a large dumpster and placed it directly in front of the north side of the building (which faces the road). He has ample room on the south side of the shop for these vehicles and equipment. Even Sgt. McCullough of the Tontitown PD, remarked, "there was a lot of vehicles out front, when I drove by".

I recently was back in the planning office asking, if the shop is the only area to be rezoned? I was assured that, "it is only the shop". This is not the case! The area being rezoned is 145.20' x 252.0' which is 36,590.4 s.f. now the shop is 9,600 s.f., what is Mr Bratti's plan for the remaining 26,990.4 sq. footage? He could build two more shops, of the same size, if

he wanted to, that is certainly not a residential business, nor is it, residential transition-commercial, according to your future map. The definition RT-C (per city hall guidelines) is, "neighborhood scale commercial". This business belongs in an industrial park or up on the highway, nothing about this shop is, neighborhood scale.

Nobody in this area wanted to live in town or even in a suburb of a smaller community. So we looked for and bought a little more property to build our homes, raise our families. If this business had been here when we were looking for property, we would not have purchased any ground in this location. The idea of having 12 strangers rolling into our neighborhood, in the morning, some stay all day, some go for a few hours, they arrive back a various times. We have little children in this neighborhood, elderly, this is also a safety issue. We do not want this business bullying its way into the middle of our homes. There have some issues already with these men. We want our families to safely be outdoors without adult men ogling our daughters or shouting obscenities at female adults in this neighborhood.

I vote No, on rezoning 2021 S Pinalto

Thank-you for you consideration in is matter,

Rebecca Timmons, 2024 S Pinalto

1851 S. Pinalto Rd.
Tontitown, Ar.

Tontitown Planning Commission,
Mayor Angela Russell
City Council

6/23/22

Please do Not Allow the Re-Zone at
2021 S. Pinalto Rd.!!
It has already impacted our lives and
Neighborhood.

There are many unanswered questions
as to how the business was allowed to
start at 2021 S. Pinalto. - Residential
area -

It does not fit the criteria of the
surrounding area.

The building (Shop) was built under a
Residential Miscellaneous permit with Mr.
Bratti signing - NO - to the question: Is This
property Commercial?

There are many unanswered questions on
how he can run a business without a
License in Tontitown.?

This is no small business - There are
big trucks, Trailers, Heavy Equipment from
early morning until dark or after sometimes.

If he wanted to move to Tontitown to Run
his Plumbing business, ok buy in a Commercial
Zone, not in the middle of our neighborhood.

We, friends and families have many concerns
and unanswered question on How / Why this
has gotten so far. It certainly seems to
be in violation of our City Codes - Zoning
and even Permits, in my opinion - and understanding.

This is
his AND
wife's
Attitude
for
The
Neighborhood

Posts



Larry Bratti



Jun 3 · 🌐

In need of someone that might make statues. I am needing a statue for our pond I'm putting in on our property. Statue would consist of me, standing on one leg. It could be 1st, 2nd or 3rd leg with a pipe wrench over my shoulder...check that, 3rd leg will need to be used to aerate the water from the pond and would be a nice "little" water feature! 🤔🤔

I'm sure our neighbors would definitely enjoy that!

Also, might be interested in a fire feature that comes out of the brown eye on the back side. 🤔 - with **Sarah Dovell Bratti**.

👤 Sheri Carter and 22 others

Regarding the 2021 South Pianalto Road rezoning request proposed by Larry and Sarah Bratti, we the neighbors at 2047 South Pianalto Road Object, ultimately for several reasons, let us firstly remember that the shop within itself should have never happened in reality, in my opinion it was an act of negligence on behalf of the city of Tontitown, disappointing really, since we ourselves have made this city our home for the past 15 years.

When this lot was sold to us it was zoned as agricultural along with every lot on this large parcel, it was never meant to be commercial, as per code one could have a small shop it only it were the business owner and one employee. However, every morning save for the weekend starting at 6:30am. We've had multiple vehicles coming in through South Pianalto Road, traffic has skyrocketed and it's become dangerous to even just take a simple walk, that being said it's clear that Mr. Bratti is already running his business with no regard to how we as neighbors feel about it.

In regality the biggest issue we have with the rezoning is our privacy and safety, we're a family of 6, myself, my wife, and our 4 kids, the warehouse remains open constantly, throughout the day, for one it's an eyesore to look at in general, it's an enormous metal building that disrupts the landscape and ultimately serves as a reminder that the peace of mind we use to have is no more.. Two, a lot of the trash that they produce blows over to our property line and not once since they've begun to construct or conduct business have they ever made even the slightest attempt to pick it up. From bags of product, to stray pieces of plastic, pipe, and in one instance a slab of sheet metal, all of these are dangerous and could cause a safety hazard to anyone in my family and in my neighborhood. Cleanliness and landscaping aside, let us move back to privacy, for one there is no fence, no border to separate us, it's essentially an open field, completely eliminating our privacy.

Privacy being tied into our overall family safety, to reiterate again besides my wife and I we have 4 children (a five year old son and 3 teenage daughters), they used to go outside and play, enjoy their days. That all changed when the shop began to run their business, they no longer go outside due to the lack of privacy and safety. How should I as a father feel safe when unknown vehicles are coming in and out constantly.? When strangers come in and out? When random men show up a couple of feet

from my property line? My wife was verbally harassed, my 16 year old daughter has been catcalled on multiple occasions, my 3 daughters in general can't go outside in fear of being eyed up and down, there is no peace anymore. And there will be no peace for my family if no one does anything to stop this. I moved here to this neighborhood for peace and tranquility, but it seems as if that is no more.

Continuing on with another point I feel I should mention; Personally I invested a lot of money into my home, from the material, to the land it's on, I bought it all with my savings no bank/loan or anything of the sort, now with this property having the possibility of being commercial our property value will ultimately go down dramatically, it's a given, all this while Mr. Brattis property value goes up. How is that fair? Simple, it's not. With that being said, I conclude my reasoning as to why I object to the rezoning.

Thank you for your time,

Magdiel Esipnoza and Flor Estela Sanchez

2047 S Pianalto Road