<u>SYMBOLS</u>	LINEWORK		J
FOUND IRON PIN	EASEMENT		
LIGHT POLE POWER POLE	======================================	=======	
TELEPHONE PEDESTAL TV PEDESTAL	INTERMEDIATE CONTOUR		
MANHOLE	INDEX CONTOUR	205	
SANITARY SEWER CLEANOUT GAS METER	SANITARY SEWER LINE	— SS ——	
GAS VALVE	G G G G G	G	
STORM SEWER PIPE DOWN GUY	WATER LINE (SPECIFY SIZE & TYPE)		
WATER VALVE FIRE HYDRANT ASSEMBLY	UNDERGROUND TELEPHONE		
AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION		,.	
WATER METER	OVERHEAD ELECTRIC	·	
SPRINKLER HEAD ELECTRIC PEDESTAL	UNDERGROUND TELEVISION	— UGIV ——	
GRATED INLET	OVERHEAD TELEVISION	— OHTV ——	
	CHAIN LINK FENCE	/	
DROP INLET	WOOD FENCE		
	BARBED WIRE FENCE	X	
TREE	FIBER OPTIC	—— FO ———	
	RIGHT OF WAY	_	
TREE TO BE REMOVED	ROAD CENTERLINE		
	EGEND (CONSTRUCT)		
SYMBOLS	LINEWORK		
SET IRON PIN LIGHT POLF	EASEMENT		

•	SET IRON PIN
*	LIGHT POLE
X	POWER POLE
	TELEPHONE PEDESTAL
	TV PEDESTAL
\odot	MANHOLE
0	SANITARY SEWER CLEANOUT
A	GAS METER
M	GAS VALVE
	STORM SEWER PIPE
<u>(X-X)</u>	STRUCTURE NUMBER
M	WATER VALVE
- ♦ ▶ 4	FIRE HYDRANT ASSEMBLY
181	AIR RELEASE VALVE
*	FIRE DEPARTMENT CONNECTION
•	WATER METER
	BACK FLOW PREVENTER
	REDUCER
	RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)
\bigcirc	CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

Arkansas One Call

Know what's **below**

Call before you dig.

CURB	
INTERMEDIATE CONTOUR	
INDEX CONTOUR	
SANITARY SEWER LINE	- SS
GAS LINE	—G ———
WATER LINE	– w —
UNDERGROUND TELEPHONE	- UGT
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FIBER OPTIC	- FO
UNDERGROUND TELEVISION	
OVERHEAD TELEVISION	OHTV
CHAIN LINK FENCE	-00
WOOD FENCE	////////////
BARBED WIRE FENCE	
BUILDING SET BACK	
RIGHT OF WAY	
PROPERTY LINE	
ROAD CENTERLINE	

FLOOD NOTE:

THIS PROPERTY IS NOT IN FLOOD ZONE "A" OR "AE", AND IS OUTSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05143C0045 F, EFFECTIVE DATE MAY 16, 2008. THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY. THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAPS CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

GENERAL NOTES

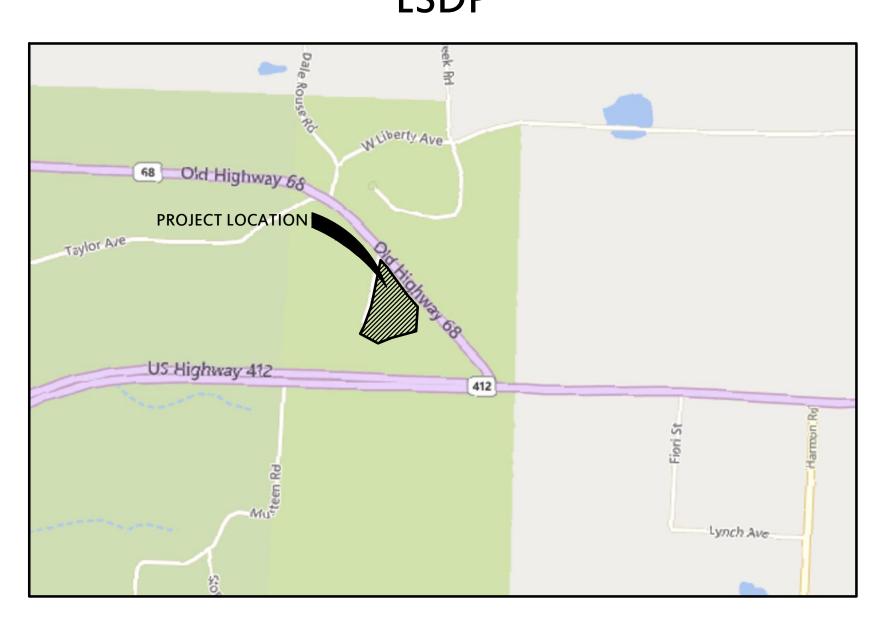
- ELEVATIONS.
- BEFORE BEGINNING WORK.

- SPECIFICATIONS.



CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

ASONS LANDSCAPE TONTITOWN, ARKANSAS LSDP



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BASIS OF BEARING: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83 HORIZONTAL DATUM AND NAVD 88 VERTICAL DATUM



THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE ONLY FOR COORDINATION OF THE WALL LOCATION AND

2. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION OF ALL FACILITIES

3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.

4. THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES, INC.

5. CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC. ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION. 6. CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR INCONSISTENCY IS IDENTIFIED IN THE PLANS OR

7. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.

SITE STABILIZATION AND CERTIFICATION

DETERMINED BY GPS OBSERVATION ON THE CITY OF SPRINGDALE CONTROL MONUMENTS USING THEIR PUBLISHED VALUES. ENGINEER OF RECORD SHALL OBSERVE THE INSTALLATION OF THE WATER & SEWER MAINS. BEYOND THAT SCOPE, CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES FOR THE WORK INDICATED ON THESE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON, TULL & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES, CONSTRUCTION

> SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL & ASSOCIATES AND THE OWNER. 9. ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

WETLANDS NOTE: NO WETLANDS ARE PRESENT ON THE PROPERTY AS DETERMINED BY FIELD INVESTIGATION. EXISTING SEPTIC SYSTEM NOTE: EXISTING UNDERGROUND SEPTIC SYSTEM PRESENT ON THE PROPERTY. **PROPERTY AGREEMENT NOTE:** NEAREST FIRE HYDRANT NOTE: PROPOSED ENTRANCE DRIVE. EROSION NOTE:

NO KNOWN EXISTING EROSION PROBLEMS ON-SITE OR WITHIN 100' DOWNSTREAM OF THE PROPERTY. HAZARD AREA NOTE:

NO KNOWN POTENTIAL DANGEROUS AREAS, AREAS SUBJECT TO FLOODING, SLOPE STABILITY, SETTLEMENT, EXCESSIVE NOISE, PREVIOUSLY FILLED AREAS, AND THE MEANS OF MITIGATING THE HAZARDS

CERTIFICATE OF PREL SURVEYING ACCURAC

HER SURVEY MADE BY ME LOCATION, SIZE, TYPE

DATE OF EXECUTION

CERTIFICATE OF PR ENGINEERING ACCU I, CAROLINE GARD

UNDER MY DIRECT **REGULATIONS HAVE**

DATE OF EXECUTION

CERTIFICATE OF PR PLAT APPROVAL

THIS PLAT HAS BEE APPROVED FOR REC EXPIRE ON ____

DATE OF EXECUTION

CHAIRMAN, CITY OF

PURSUANT TO THE BEEN COMPLETED, AUTHORITY OF THE

THIS APPROVAL DO DELIVERY OF DELIVERY OF IMPROVEMEN 4. APPROVAL F 5. ACCESS TO

DATE OF EXECUTION

TONTITOWN PLANNI

MAYOR, CITY OF T

CLERK/TREASURER,

PROJECT INFORMATION

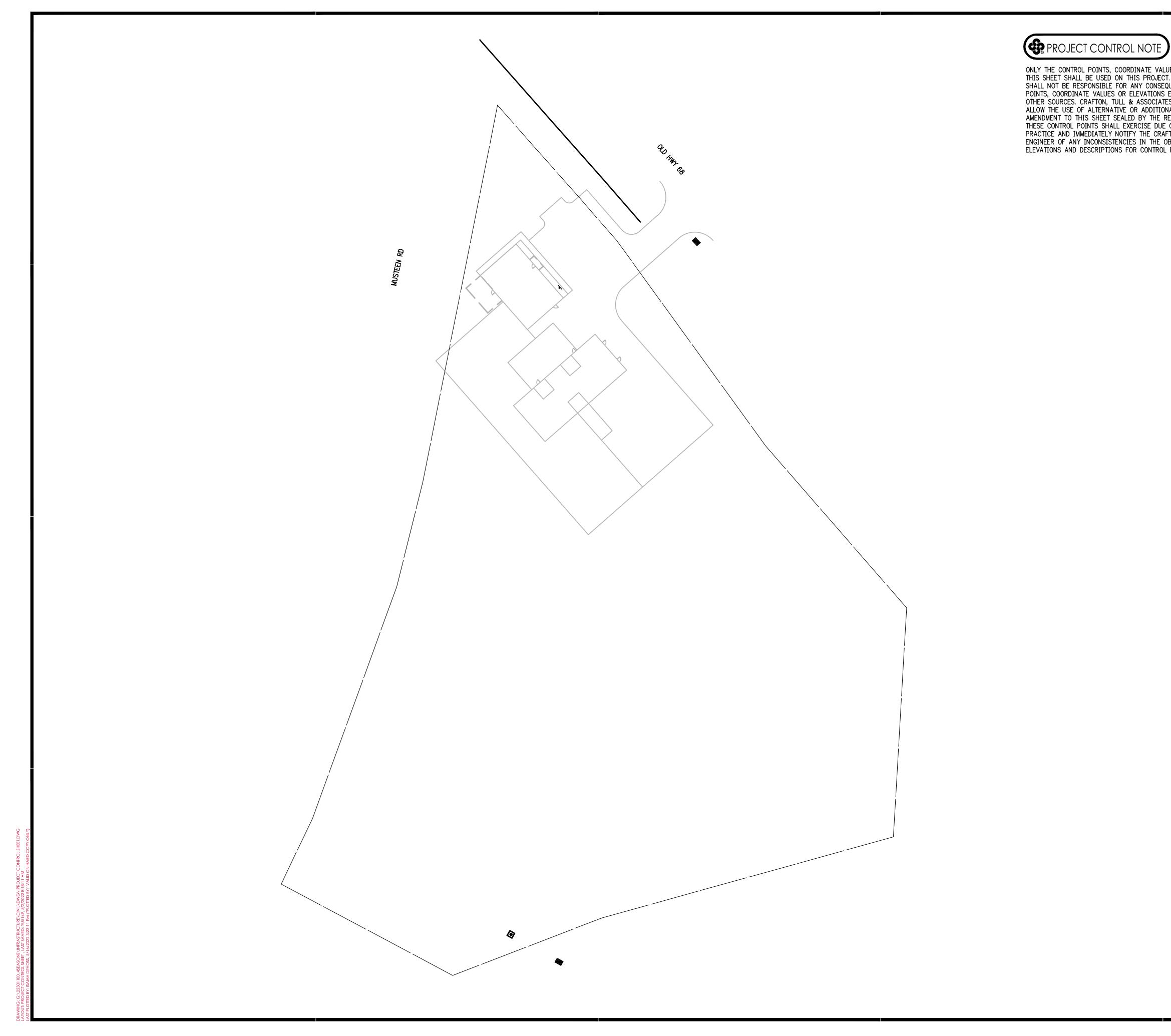
BUILDING SETBACK: FRONT 25' EXTERIOR SIDE INTERIOR SIDE REAR 25' SITE AREA: 5.88± AC. (256,3 **BUILDING 1:** BUILDING USAGE BUILDING SIZE: BUILDING HEIGHT FINISHED FLOOR BUILDING 2: BUILDING USAGE BUILDING SIZE: BUILDING HEIGHT FINISHED FLOOR C-2 PROPERTY USAGE: COMMERCIAL SITE OWNER: FOURX2,LLC 3437 HWY 68 SPRINGDALE, AR SITE ARCHITECT: FUGITT AND ASS KIM FUGITT A.I.A 1200 E. JOYCE FAYETTEVILLE, A 479-521-6686 SITE ENGINEER:

ZONING:

CRAFTON TULL CAROLINE GARDN 300 N. COLLEGE FAYETTEVILLE, A 479-636-4838

NO KNOWN EXISTING OR PROPOSED GROUND LEASES OR ACCESS AGREEMENTS EXIST FOR THE PROPERTY. N/A. FIRE HYDRANT TO BE INSTALLED ACROSS FROM

Sheet List TableSHEET NUMBERSHEET TITLEC-001COVER SHEETC-002PROJECT CONTROL SHEETC-101OVERALL SITE PLANC-102SITE & UTILITY PLAN (C)C-103GRADING PLANC-104EROSION CONTROL PLANC-201STORM SEWER LINE 1C-202STORM SEWER LINE 2	SON College Ave., Suite 317 Fayetteville, Arkansas 72701
LIMINARY CY	
EBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY AND ALL MONUMENTS SHOWN HEREIN ACTUALLY EXIST AND THEIR E AND MATERIAL ARE CORRECTLY SHOWN.	
KEVIN MONTGOMERY REGISTERED PROFESSIONAL LAND SURVEYOR NO. <u>1460</u> ARKANSAS RELIMINARY JRACY NER, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN ON AND ENGINEERING REQUIREMENTS TO THE TONTITOWN SUBDIVISION	
E BEEN COMPILED WITH.	
REGISTERED PROFESSIONAL ENGINEER NO. <u>20676</u> ARKANSAS RELIMINARY	
EN GIVEN PRELIMINARY PLAT APPROBAL ONLY AND HAS NOT BEEN CORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL (DATE).	
 N	TONTITOWN, AR
F TONTITOWN PLANNING COMMISSION	
TONTITOWN SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE E SAID RULES AND REGULATIONS.	Key Plan
DES NOT GUARANTEE ANY OF THE FOLLOWING F PUBLIC WATER OR SEWER SERVICE. F ANY OTHER UTILITY SERVICE. ITS TO ANY AFFECTED CITY STREETS OR COUNTY ROADS. ROM THE ARKANSAS DEPARTMENT OF HEALTH. THE PROPERTY VIA EASEMENTS OR OTHERWISE EITHER KNOWN OR UNKNOWN.	
 N	
ING COMMISSION CHAIRMAN	
ONTITOWN 	No. Description Date
^{25'} ^{10'} PROPERTY DESCRIPTION	
307 SQ.FT.)2: OFFICE2,375 SQ. FT.T: 18'-4"2: LEVATION: 1290.006: ELEVATION: 1290.006: SHOP3,586 SQ. FT.T: 23'-2"6: LEVATION: 1289.757: OLD7: OLD7: 70LD7: 72762SOCIATES, ARCHITECTS8.8.8.8.8.8.7. OLD8.7. 727628.8.8.8.8.8.8.8.8.8.7. 72738.8.7. 70LD8.8.8.8.8.8.8.8.8.8.8.8.8.7. 70LD8. <td>This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 22301100 ISSUE DATE: 04/03/2022 CONTACT: C. GARDNER QC by: QC Date: PRELIMINARY PLANS © 2022 Crafton, Tull & Associates, Inc. COVER SHEET</td>	This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 22301100 ISSUE DATE: 04/03/2022 CONTACT: C. GARDNER QC by: QC Date: PRELIMINARY PLANS © 2022 Crafton, Tull & Associates, Inc. COVER SHEET
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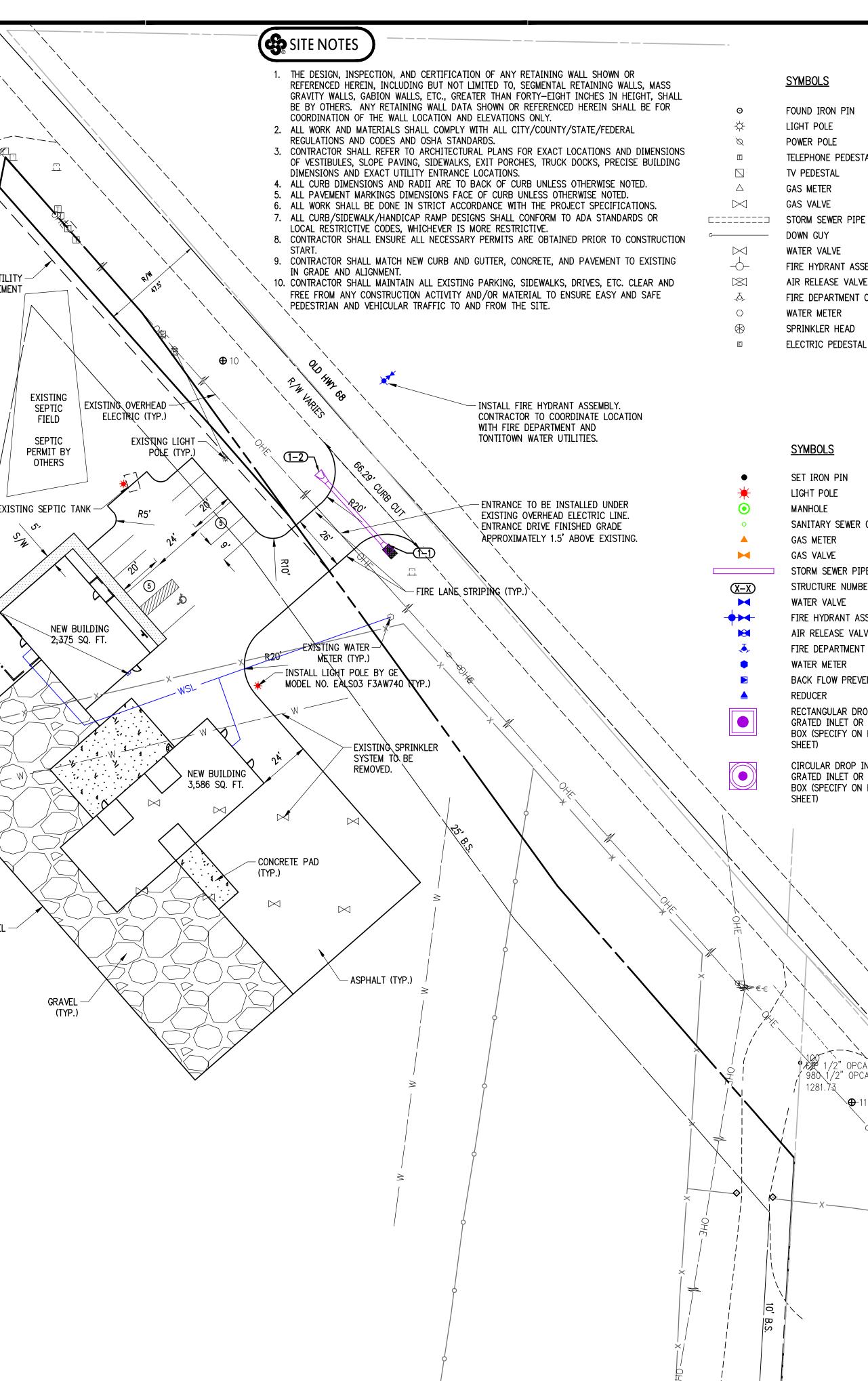
300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
Crafton Tull architecture engineering surveying
www.craftontull.com
479.636.4838 t www.craftontull.com
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CRAFTON, TULL & CRAFTON, TULL
No. 109
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MANSAS ENGINE
GRAPHIC SCALE IN FEET
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FOUR SEASONS
TONTITOWN, AR
Key Plan
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G	UTILITY NOTES		
1.	PLANS IS BASED ON RECORDS OF POSSIBLE, MEASUREMENTS TAKEN RELIED UPON AS BEING EXACT OR THE APPROPRIATE UTILITY COMPAN	OF EXISTING UTILITIES AS SHOWN ON THESE THE VARIOUS UTILITY COMPANIES AND, WHERE IN THE FIELD. THE INFORMATION IS NOT TO BE COMPLETE. THE CONTRACTOR MUST CONTACT NIES AT LEAST 72 HOURS BEFORE ANY IELD LOCATION OF EXISTING UTILITIES WITHIN	
2. 3.	CONTRACTOR SHALL NOTIFY THE U BEFORE CONNECTING TO ANY EXIS COORDINATE AND SCHEDULE TIE-I ALL UNDERGROUND LINES SHALL B	TILITY AUTHORITIES' INSPECTORS 72 HOURS TING FACILITIES. CONTRACTOR SHALL NS/CONNECTIONS WITH ALL UTILITY COMPANIES. E INSTALLED, INSPECTED, AND APPROVED PRIOR	
4.		/OR CERTIFICATIONS REQUIRED BY CODES L BE PERFORMED PRIOR TO ANNOUNCED BUILDING ECTION OF SERVICE.	
5. 6. 7. 8.	PRIOR TO CONSTRUCTION, ADJUST THRUST BLOCKING SHALL BE PROV DIMENSIONS SHOWN ARE TO CENTE MINIMUM HORIZONTAL SEPARATION AND THE OUTSIDE WALL OF THE S MANHOLE SHALL BE AT LEAST TEN SEWERS THE WATERLINE SHALL BE VERTICAL SEPARATION, OUTSIDE-T CONFORM TO THESE DIMENSIONS O	BETWEEN THE OUTSIDE WALL OF THE WATERLINE ANITARY SEWER LINE OR SANITARY SEWER FEET. WHERE WATERLINES CROSS SANITARY PLACED ABOVE THE SEWER WITH A MINIMUM O-OUTSIDE, OF 18". IF IT IS NOT POSSIBLE TO OR DEFINED PLACEMENT, THE WATERLINE SHALL BE	PROPOSED UTILITY
9.	LEAST TEN FEET EITHER SIDE OF THE CONTRACTOR SHALL INCLUDE ASSOCIATED WITH THE TESTING OF	TH SEALED WATERTIGHT ENDS EXTENDING AT THE CROSSING. IN THE BID PRICE ALL MATERIAL AND LABOR THE WATER AND SEWER LINES REQUIRED BY THE	
10. 11.	FINISHED PAVEMENT ELEVATIONS, ABOVE FINISHED GROUND ELEVATION	LL BE RAISED AS NECESSARY TO BE FLUSH WITH AND MANHOLES IN UNPAVED AREAS TO BE 1" DNS WITH WATER TIGHT LIDS.) BACKFILLING SHALL BE IN ACCORDANCE WITH	MUSTEEN R
12. 13.	FEDERAL REGULATIONS. REFER TO BUILDING PLANS FOR SI ALL MATERIALS, CONSTRUCTION, A	TE LIGHTING AND ELECTRICAL PLAN. ND INSPECTION FOR WATER AND SANITARY SEWER CATIONS OF THE APPROPRIATE AGENCY.	
14. 15.	THE CONTRACTOR SHALL COORDINA COMPANY TO PLAN THE IMPROVEM ADEQUATE FIRE PROTECTION IS CO THE PROJECT. CONTRACTOR WILL E WATER MAIN SHUT-OFFS WITH THE COSTS ASSOCIATED WITH WATERMA THE CONTRACTOR; NO ADDITIONAL DAMAGE TO ALL EXISTING FACILIT.	ATE WITH THE FIRE DEPARTMENT AND THE WATER — — ENTS TO THE WATER MAINS AND TO ENSURE DNSTANTLY AVAILABLE TO THE SITE THROUGHOUT BE RESPONSIBLE FOR ARRANGING ANY REQUIRED E WATER COMPANY DURING CONSTRUCTION. ALL AIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF COMPENSATION WILL BE PROVIDED. IES DESIGNATED TO REMAIN WILL BE REPLACED	
16.	DIMENSIONS OF VESTIBULES, SLOP	CHITECTURAL PLANS FOR EXACT LOCATIONS AND E PAVING, SIDEWALKS, EXIT PORCHES, TRUCK IONS, AND EXACT UTILITY ENTRANCE LOCATIONS.	IN\$TALL KNOX BOX. CONTRACTOR TO COORDINATE LOCATION WITH FIRE DEPARTMENT.
17.	GENERAL CONTRACTOR SHALL BE F	RESPONSIBLE FOR ALL TAP AND TIE ON FEES UNDERGROUND SERVICE CONNECTIONS TO THE	
18. 19.	VERIFY LOCATION OF UTILITY TIE- THE CONDUIT. THE CONTRACTOR SHALL INCLUDE THE RECORD CONDITION OF ALL O STAKE-OUT, PREPARATION OF THE	VIDE ALL CONDUITS AS SHOWN ON THE PLANS, INS, AND PROVIDE NYLON PULL CORDS INSIDE IN BID PRICE THE DAILY RECORD KEEPING OF F THE UNDERGROUND UTILITIES, CONSTRUCTION NECESSARY/REQUIRED WATER AND SEWER	
20.	OBTAINING PERMITS AND RELEASE ENERGIZED ELECTRICAL LINE SAFE OWNERS, GENERAL CONTRACTORS, PROJECT SHALL BE RESPONSIBLE F WITH, AND THE ENFORCEMENT OF ST 11-5-308 AND ANY OTHER CU NOTICE REQUIREMENTS AND FOR S	TY. WARNINGS. AND ADVANCED NOTICES: ALL / AND SUBCONTRACTORS ASSOCIATED WITH THIS / FOR FAMILIARIZING THEMSELVES WITH, COMPLYING / ARKANSAS CODES AR ST § 11–5–307 AND § AR / RRENT STATE CODES PERTAINING TO ADVANCE / AFETY OF ALL PERSONNEL, INCLUDING THE / ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE /	
21. 22.	ALL MECHANICAL EQUIPMENT AND SIDE OPPOSITE OLD HWY 68. SEPTIC DESIGN AND PERMIT TO BE	UTILITY METERS TO BE LOCATED ON BUILDING	
	PARKING CALCULATIONS: REQUIRED PARKING: RETAIL/SERVICE, BULKY ITEMS: WELDING OR MACHINE SHOP: ADA STALLS: TOTAL REQUIRED:	1 STALL PER 500 SQ.FT. 2,375 SQ.FT. / 500 = 5 STALLS 1 STALL PER 1000 SQ.FT. 3,586 SQ.FT. / 1000 = 4 STALLS 1-25 = 1 REQUIRED ADA STALL 9 PARKING STALLS	EDGE OF GRAVEL
	<u>PROVIDED PARKING:</u> ADA STALLS:	1 ADA VAN STALL	
	TOTAL STALLS: <u>TRASH COLLECTION:</u> PROPERTY TO CONTINUE UTILIZING BUILDING FOR TRASH SERVICE.	10 STALLS (INCLUDING ADA)	



æ	IFGEND	(FXISTING	SYMBOLS)
	LLOLIND		JINDOLJ)

FOUND IRON PIN TELEPHONE PEDESTAL WATER VALVE FIRE HYDRANT ASSEMBLY AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION WATER METER SPRINKLER HEAD ELECTRIC PEDESTAL

LINEWORK		
EASEMENT		
= = = = = = = = = = = = = = = = = = =	=====	========
CANTTADY COMED LINE		— — SS — G — — — G — — — — — — — — — — —
WATER LINE (SPECIFY SI	ZE & TYPE)	W
UNDERGROUND TELEPHON	IE	UGT
UNDERGROUND ELECTRIC		
OVERHEAD ELECTRIC	OHE	₩
PIPE FENCE	-	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
RIGHT OF WAY		
ROAD CENTERLINE		

(LEGEND (CONSTRUCT)

RON PIN
POLE
OLE
ARY SEWER CLEANOUT
METER
VALVE
M SEWER PIPE
CTURE NUMBER
R VALVE
HYDRANT ASSEMBLY
RELEASE VALVE
DEPARTMENT CONNECTION
R METER
FLOW PREVENTER
CER
ANGULAR DROP INLET, ED INLET OR JUNCTION SPECIFY ON PLAN T)

CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN

EASEMENT	
ASPHALT	
SANITARY SEWER LINE	SS
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WATER LINE	- W
UNDERGROUND TELEPHONE	UGT
UGE UNDERGROUND ELECTRIC OHE	ĮΫ
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FIBER OPTIC	FO
UNDERGROUND TELEVISION	
OVERHEAD TELEVISION	OHTV
BUILDING SET BACK	

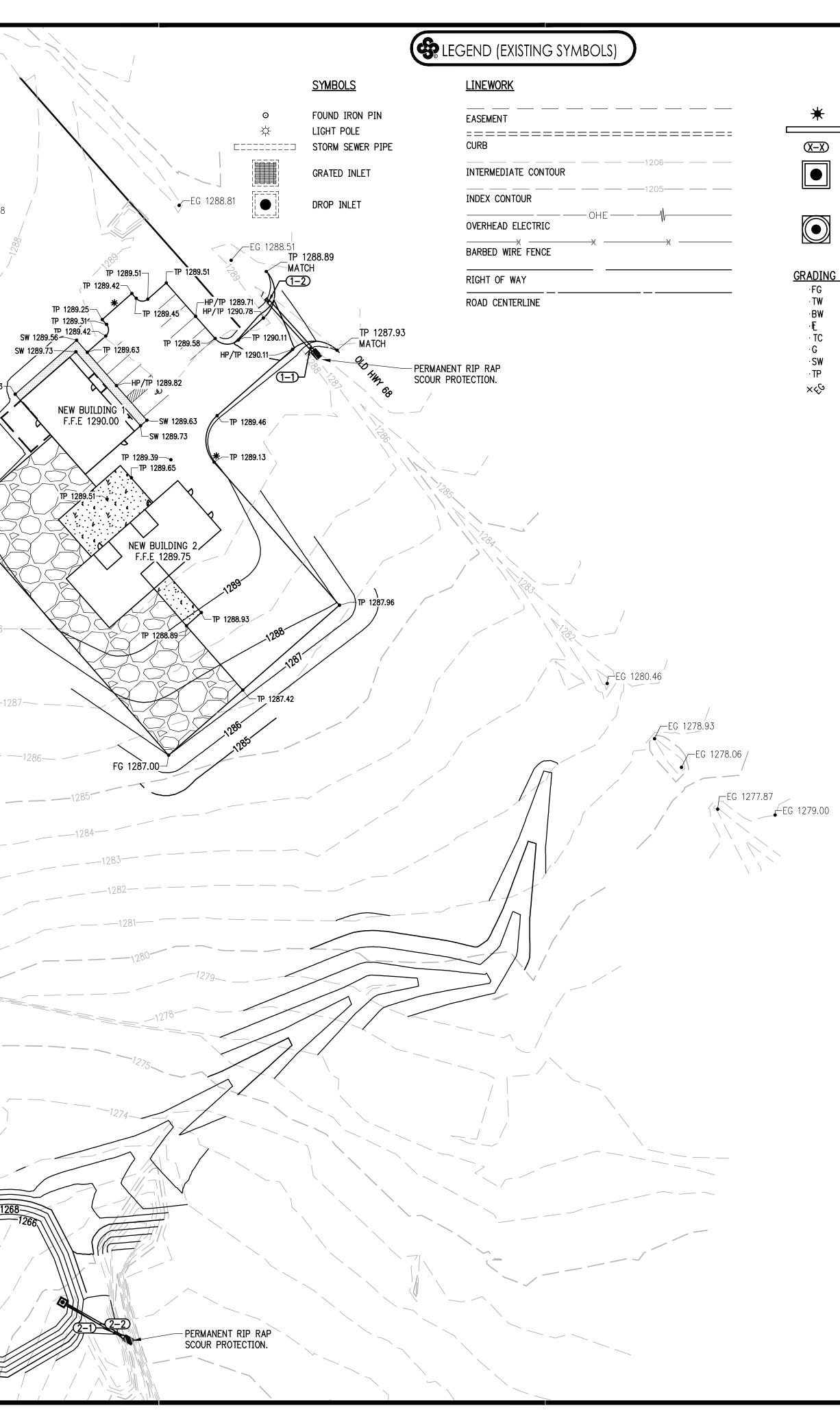
_ _ _ _

PROPERTY LINE

977 1/2" OPCAP CANT READ 980 1/2" OPCAP CANT READ

300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
Cr afton Tull
® architecture engineering surveying
479.636.4838 t www.craftontull.com
CERTIFICATE OF AUTHORIZATION:
CERTIFICATE OF AUTHORIZATION:
ASSOCIATES, INC. No. 109
The Ansas ENGINEER
Water ENG 11
GRAPHIC SCALE IN FEET
30' 0 30'
FOUR SEASONS
TONTITOWN, AR
Key Plan
No. Description Date
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CONTACT. C. GARDNER & DOCOMENTIS
PRELIMINARY A FINAL, SIGNED
PRELIMINARY A FINAL, SIGNED PLANS AND SEALED DOCUMENT
. NOITOURTEL
SITE & UTILITY PLAN (C)
C-102
$\nabla^{-} I \cup Z$

GRA	DING AND DRAINAGE NOTES	
OR RE RETAII FORTY DATA	ESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN FERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL NING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN -EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE LOCATION AND ELEVATIONS ONLY.	
2. THE O PROVI INSPE OTHER AND N	WNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND DING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, CTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED ECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, TRIAN SAFETY RAILS.	
3. THE L THESE AND V INFOR CONTR 72 HC	DCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, HERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE MATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE ACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST URS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF NG UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE	EG 1286.18
LOCAT 4. ALL W SPECI	ED PRIOR TO GRADING START. ORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT FICATIONS. JT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER UNLESS	1281
OTHER 6. IF AN CONST	WISE NOTED. Y EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING RUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR	
EXISTI 7. ALL S	OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO NG CONDITION OR BETTER. TORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUTED TO DE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER	SW 1289.93
INVER 8. ALL D	TURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM T IN TO INVERT OUT. RAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN	MUSTEEN RD
PAVED 9. ALL S PAVEM	AND TRAFFIC AREAS. TORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE IENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS.	
SHALL 10. SITE (SEDIM SHALL	DLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS BE LABELED PER JURISDICTIONAL SPECIFICATIONS. GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND ENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED	ÉG 1287.00 8
11. ALL U INCHE	CONSTRUCTION ACTIVITIES. NSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 S OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN. RAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND	
SHOWN 13. THE C	YORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS I ON PLANS, CONTACT ENGINEER IMMEDIATELY. ONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS LL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF	
CONST 14. CONTR AND D	RUCTION. ACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS IMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES,	
LOCAT 15. THE E	DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE IONS. ARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN DANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.	
AND E 17. CONTR	NG DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, XISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. ACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY SURE A SMOOTH FIT AND CONTINUOUS GRADE.	/EG 1285.06
18. CONTR ETC. C TO EN	ACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL SURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND THE SITE.	
19. IF WE COORE REPLA	FAREAS ARE ENCOUNTERED ON-SITE THE CONTRACTOR SHALL VINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND CEMENT OF A FRENCH DRAIN SYSTEM.	EG 1284.00
MINIM IN TH ESTAB GRADI OWNEF BE AT ELEVA	ON, TULL & ASSOCIATES, INC. (CTA) HAS NOT NECESSARILY ESTABLISHED JM FINISH FLOOR ELEVATIONS FOR EACH INDIVIDUAL BUILDING OR LOT IS SUBDIVISION. WHEN A MINIMUM BUILDING FLOOR ELEVATION IS NOT LISHED AND NOTED, THE ULTIMATE RESPONSIBILITY FOR THE PROPER NG OF EACH INDIVIDUAL LOT OR PARCEL SHALL REST WITH THE LOT'S R. TYPICALLY, THE MINIMUM FINISH FIRST FLOOR ELEVATIONS SHOULD LEAST TWELVE INCHES (12") ABOVE THE FINISHED TOP OF STREET CURB TION ASSOCIATED WITH EACH INDIVIDUAL LOT OR PARCEL OR AS	
REQUI	RED BY LOCAL AND STATE CODES.	
	~ 7	
		DETENTION POND P OF POND=1270.00
	BOTTOM	0 OF POND=1265.50 YEAR WSE=1268.75



¢,	LEGEND	(CONSTRUCT)
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<u>SYMBOLS</u>

LIGHT POLE STORM SEWER PIPE (X-X)
STRUCTURE NUMBER

> RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

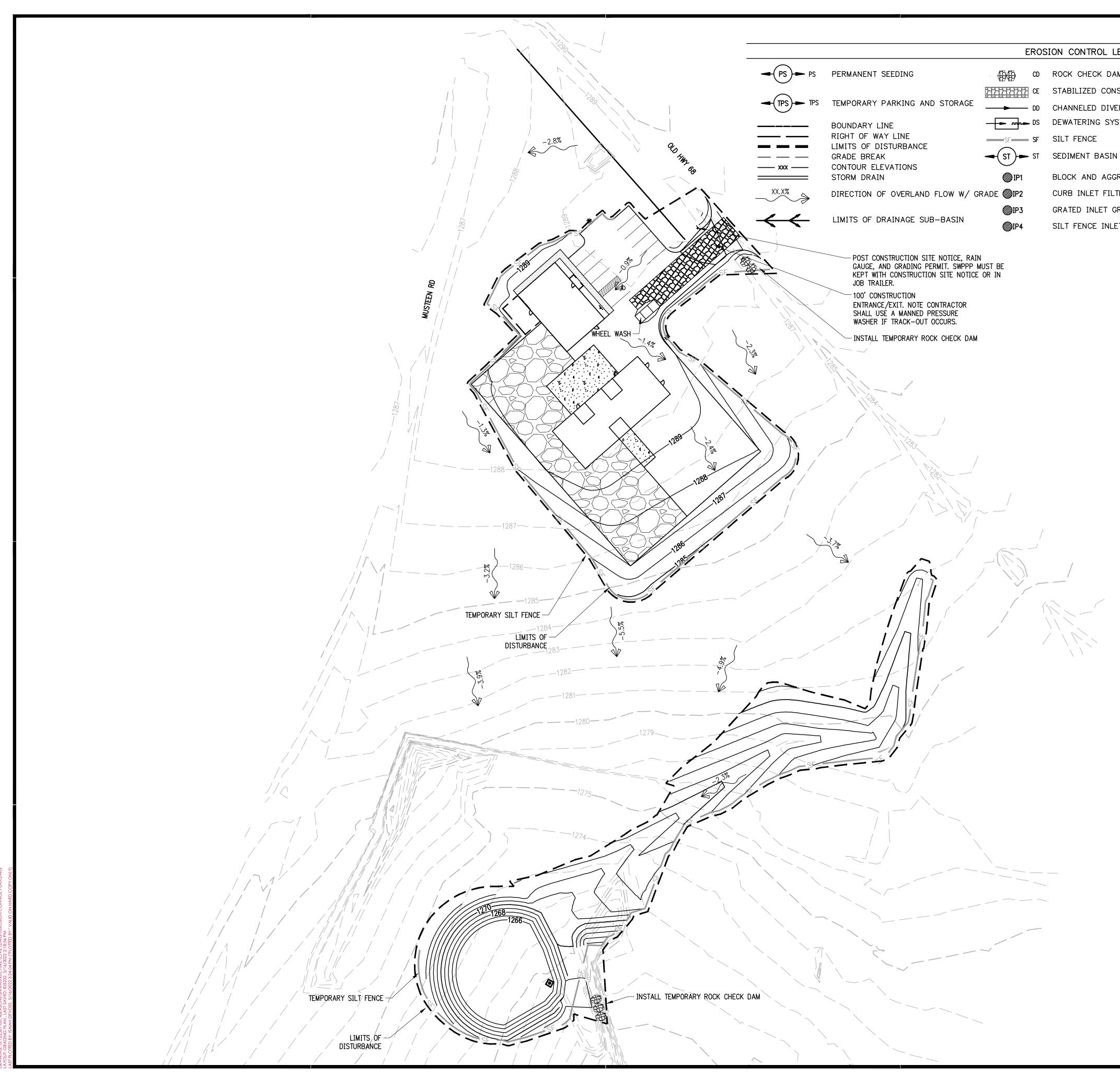
CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

GRADING PLAN SPOT ELEVATIONS

FINISHED GRADE TOP WALL BOTTOM WALL FLOW LINE TOP CURB GUTTER SIDEWALK TOP PAVEMENT EXISTING GRADE

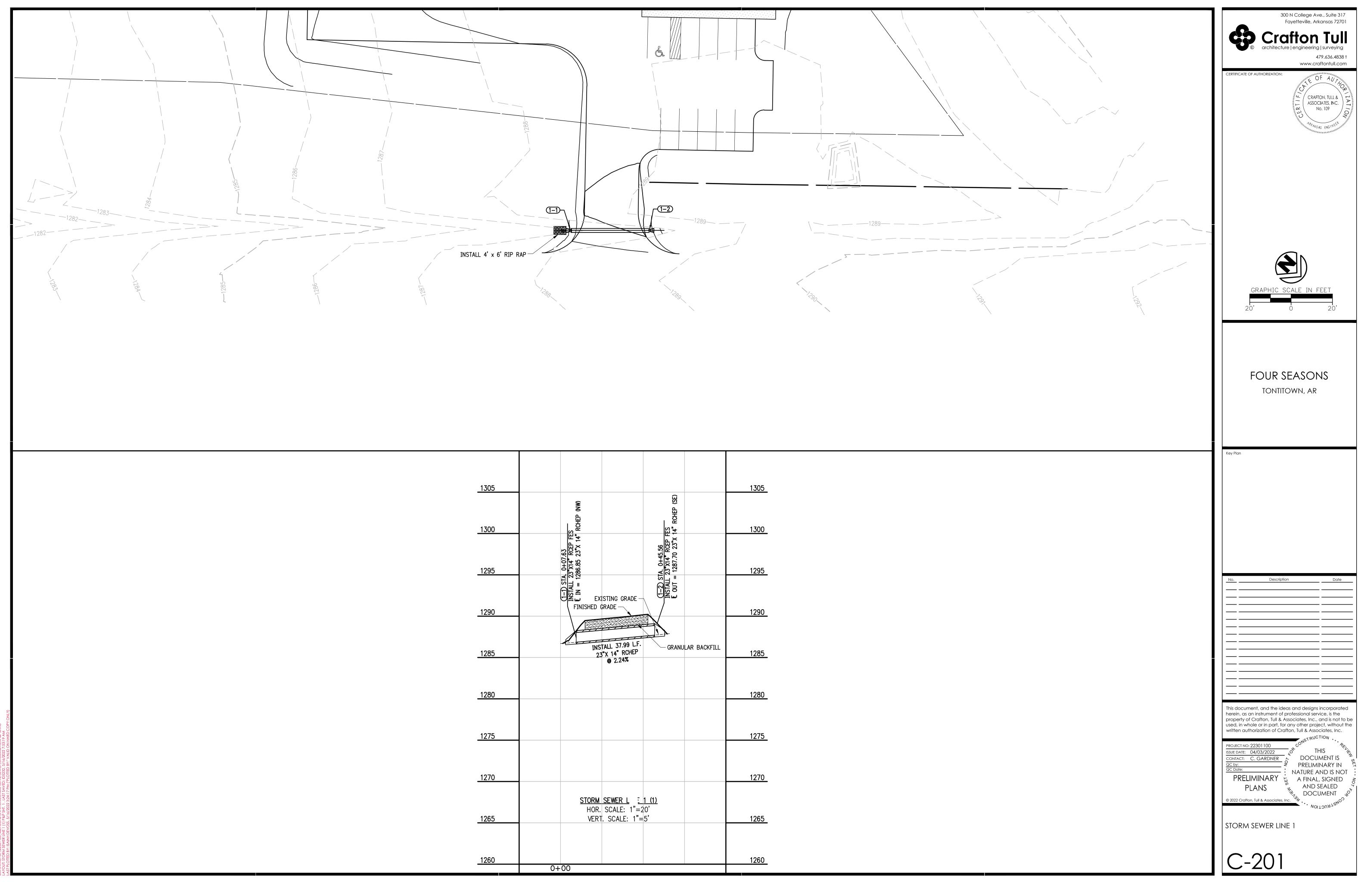
LINEWORK	
EASEMENT	
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RIGHT OF WAY	

300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
Crafton Tull
R architecture engineering surveying 479.636.4838 t
CERTIFICATE OF AUTHORIZATION:
GRAPHIC SCALE IN FEET
FOUR SEASONS tontitown, ar
Key Plan
No. Description Date
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GRADING PLAN
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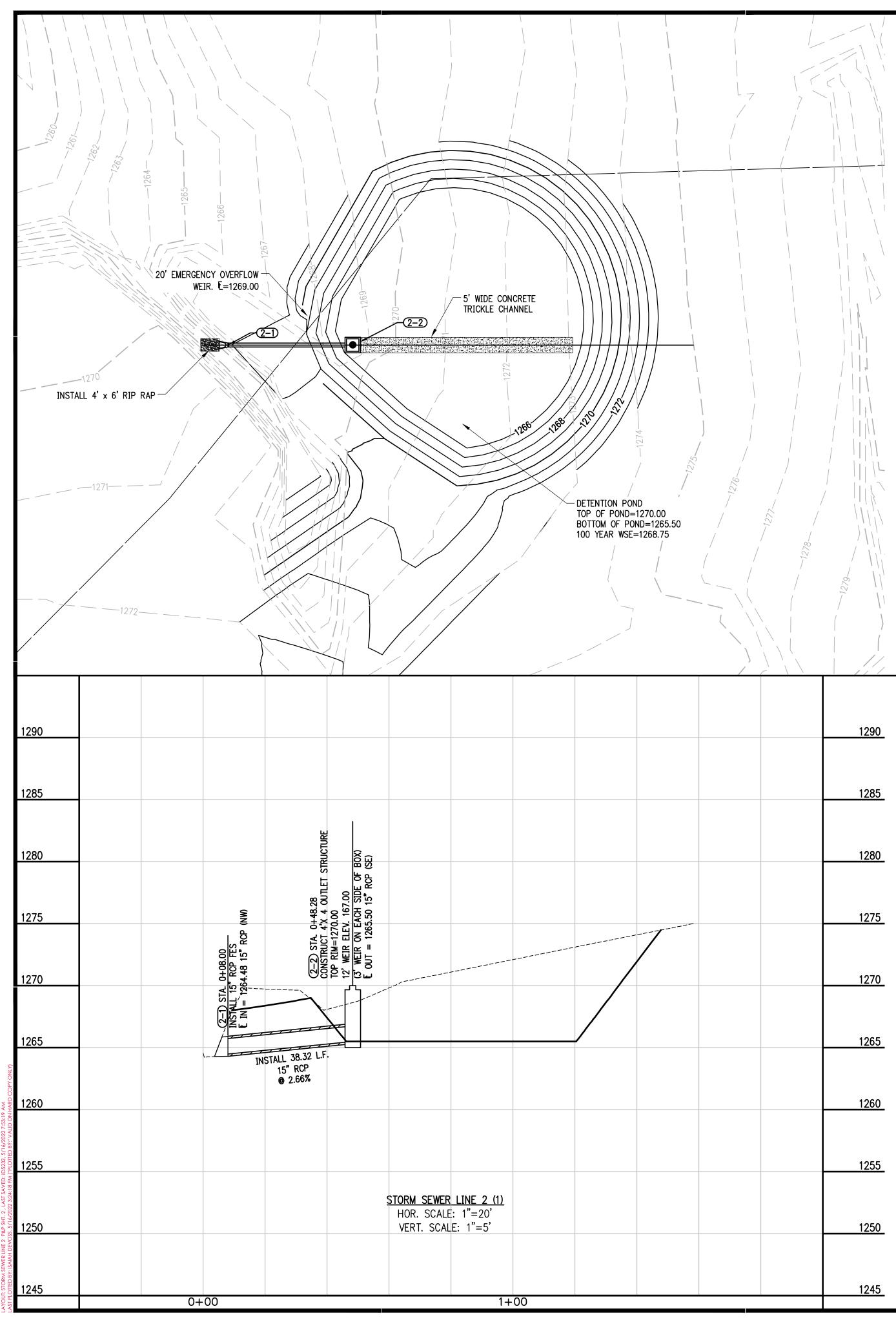


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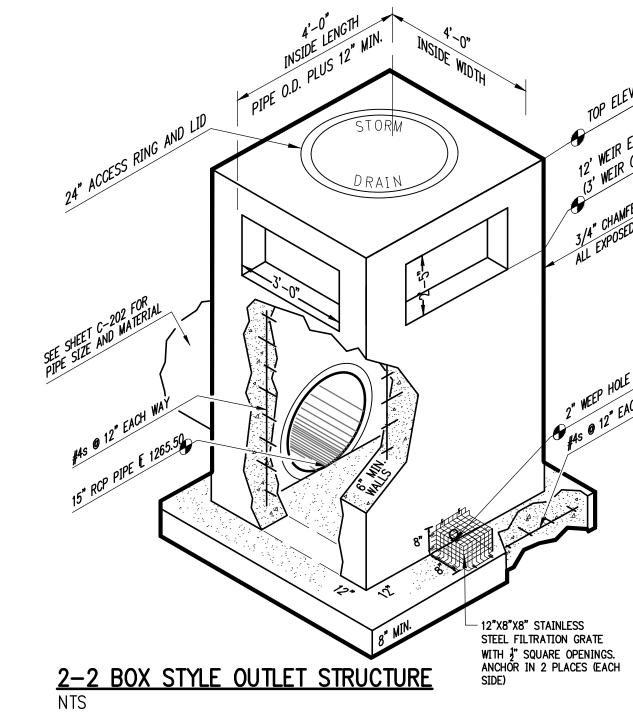
					300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
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ONSTRUCTION EXIT (ENTRANCE)		PERMANENT	EROSION CONT	ROL LINING	
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SYSTEM / STRUCTURE					CRAFTON, TULL & ASSOCIATES, INC. No. 109
SIN WITH STONE OUTLET	NOTE, CE	E SITE P			THE AND A CONVERSION OF THE ADDRESS
GGREGATE INLET SEDIMENT DEVICE		LEGEND			
ILTER SOCK			011112020		
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					QC by: PRELIMINARY IN
					PRELIMINARY A FINAL, SIGNED PLANS AND SEALED PLANS BOCUMENT S
					EROSION CONTROL PLAN
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MED DUES MED DUES MED DUES MED DUES NOTES: 1. PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES UNLESS ADJACENT TO SIDEWARKS OR OTHER CONCRETE SURFACES. 2. BASE AND INLET WALLS TO BE POURED MONOLTHICALLY. 3. PIPES MAY ENTER BOX FROM ANY ANGLE OR ELEVATION APPROVED BY THE ENSINEER. 4. ALL # 4 & #5 REINFORCING BARS TO BE GRADE OG AND HAVE 1-1/2" MINIMUM COVER.		200 N College Ave., Suite 317 Expetteville, Arkansas 72701
EV. 127000 B. BV, 1087,000 B. BV, 1088,000 B. BV, 1088,000 B. BV, 1088,000 B. BV, 1088,000		FOUR SEASONS
Image: Big 1265:50 NOTES: 1. PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES UNLESS ADJACENT TO SIDEWALKS OR OTHER CONCETE SUFFACES. 2. BASE AND INLET WALLS TO BE POURED MONOLITHICALLY. 3. PIPES MAY ENTER BOX FROM MAY ANGLE OR ELEVATION APPROVED BY THE ENGINEER. 4. ALL #4 & #5 REINFORCING BARS TO BE GRADE 60 AND HAVE 1-1/2" MINIMUM COVER.	R ELEV. EACH SIDE	
FOR SQUARE-TOP SLAB. 6. CONCRETE SHALL BE CLASS B, 4000#, 4%-7% A.E A.E A.E CLASS B, 4000#, 4%-7% A.E A.E AND SEALED DOCUMENT A.E	NOTES: NOTES:	QC by: PRELIMINARY IN QC Date: NATURE AND IS NOT PRELIMINARY A FINAL, SIGNED

