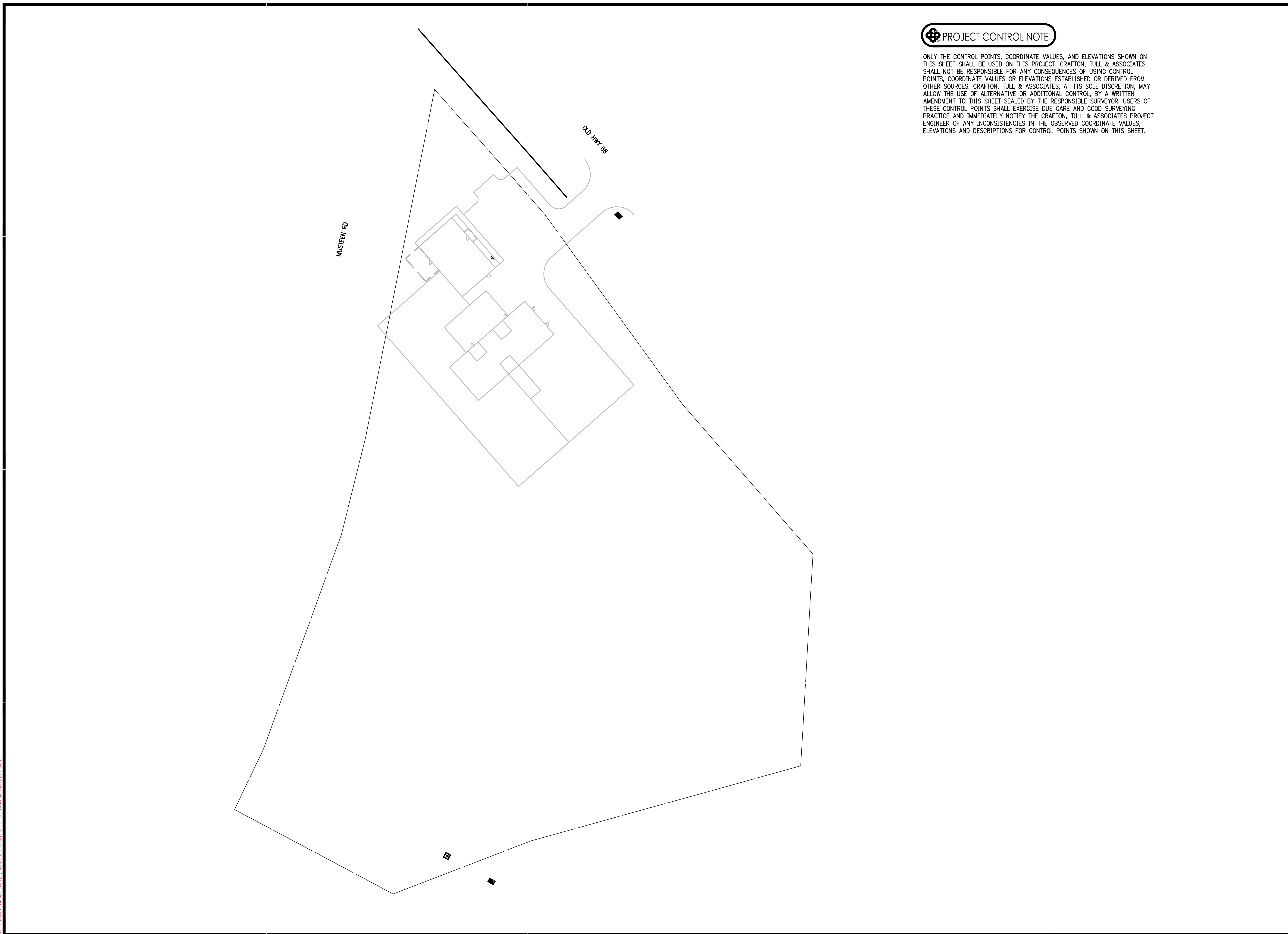
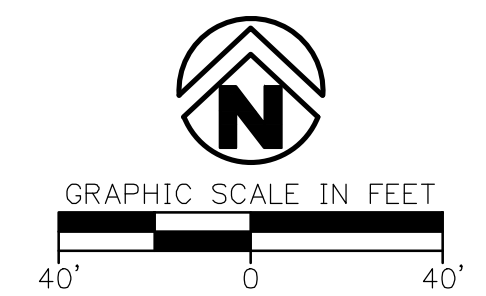


DRAWING: 01/22/2019, 04:34:03 PM, UNRATED, UNCONTROLLED, UNPROJECT CONTROL SHEETS
 LAYOUT PROJECT CONTROL SHEET, LAST SAID, 10:01 AM, 02/22/22 08:11 AM
 CONTROL POINT COORDINATE VALUES, ELEVATIONS, AND DESCRIPTIONS FOR CONTROL POINTS SHOWN ON THIS SHEET



PROJECT CONTROL NOTE

ONLY THE CONTROL POINTS, COORDINATE VALUES, AND ELEVATIONS SHOWN ON THIS SHEET SHALL BE USED ON THIS PROJECT. CRAFTON, TULL & ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES OF USING CONTROL POINTS, COORDINATE VALUES OR ELEVATIONS ESTABLISHED OR DERIVED FROM OTHER SOURCES. CRAFTON, TULL & ASSOCIATES, AT ITS SOLE DISCRETION, MAY ALLOW THE USE OF ALTERNATIVE OR ADDITIONAL CONTROL, BY A WRITTEN AMENDMENT TO THIS SHEET SEALED BY THE RESPONSIBLE SURVEYOR. USERS OF THESE CONTROL POINTS SHALL EXERCISE DUE CARE AND GOOD SURVEYING PRACTICE AND IMMEDIATELY NOTIFY THE CRAFTON, TULL & ASSOCIATES PROJECT ENGINEER OF ANY INCONSISTENCIES IN THE OBSERVED COORDINATE VALUES, ELEVATIONS AND DESCRIPTIONS FOR CONTROL POINTS SHOWN ON THIS SHEET.



FOUR SEASONS
 TONTITOWN, AR

Key Plan

No.	Description	Date

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PROJECT NO: 22301100	<p style="text-align: center;"> THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT </p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);"> NOT FOR CONSTRUCTION... REVIEW SET... NOT FOR CONSTRUCTION... </p>
ISSUE DATE: 04/03/2022	
CONTACT: C. GARDNER	
QC Date: _____	

PRELIMINARY PLANS

PROJECT CONTROL SHEET

C-002

UTILITY NOTES

- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES WITHIN THE WORK ZONE.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS/CONNECTIONS WITH ALL UTILITY COMPANIES. ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES. THRUST BLOCKING SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- MINIMUM HORIZONTAL SEPARATION BETWEEN THE OUTSIDE WALL OF THE WATERLINE AND THE OUTSIDE WALL OF THE SANITARY SEWER LINE OR SANITARY SEWER MANHOLE SHALL BE AT LEAST TEN FEET. WHERE WATERLINES CROSS SANITARY SEWERS THE WATERLINE SHALL BE PLACED ABOVE THE SEWER WITH A MINIMUM VERTICAL SEPARATION, OUTSIDE-TO-OUTSIDE, OF 18". IF IT IS NOT POSSIBLE TO CONFORM TO THESE DIMENSIONS OR DEFINED PLACEMENT, THE WATERLINE SHALL BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING.
- THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH FINISHED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 1" ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL REGULATIONS.
- REFER TO BUILDING PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- ALL MATERIALS, CONSTRUCTION, AND INSPECTION FOR WATER AND SANITARY SEWER LINES SHALL BE PER THE SPECIFICATIONS OF THE APPROPRIATE AGENCY.
- THE CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND THE WATER COMPANY TO PLAN THE IMPROVEMENTS TO THE WATER MAINS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE PROJECT. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE WATER COMPANY DURING CONSTRUCTION. ALL COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR; NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING FACILITIES DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS AS SHOWN ON THE PLANS, VERIFY LOCATION OF UTILITY TIE-INS, AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT.
- THE CONTRACTOR SHALL INCLUDE IN BID PRICE THE DAILY RECORD KEEPING OF THE RECORD CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKE-OUT, PREPARATION OF THE NECESSARY/REQUIRED WATER AND SEWER RECORD DRAWINGS TO BE SUBMITTED, AND ALL OTHER INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE OF BONDS.
- ENERGIZED ELECTRICAL LINE SAFETY WARNINGS AND ADVANCED NOTICES:** ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.
- ALL MECHANICAL EQUIPMENT AND UTILITY METERS TO BE LOCATED ON BUILDING SIDE OPPOSITE OLD HWY 68.
- SEPTIC DESIGN AND PERMIT TO BE COMPLETED BY OTHERS.

PARKING CALCULATIONS:
REQUIRED PARKING:
 RETAIL/SERVICE, BULKY ITEMS: 1 STALL PER 500 SQ.FT. / 500 = 5 STALLS
 2,375 SQ.FT. / 500 = 4 STALLS
 WELDING OR MACHINE SHOP: 1 STALL PER 1000 SQ.FT. / 3,586 SQ.FT. = 4 STALLS
 1-25 = 1 REQUIRED ADA STALL
 TOTAL REQUIRED: 9 PARKING STALLS
PROVIDED PARKING:
 ADA STALLS: 1 ADA VAN STALL
 TOTAL STALLS: 10 STALLS (INCLUDING ADA)
TRASH COLLECTION:
 PROPERTY TO CONTINUE UTILIZING DUMPSTER AT EXISTING SHOP BUILDING FOR TRASH SERVICE.

SITE NOTES

- THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- ALL CURB DIMENSIONS AND RADI ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS DIMENSIONS FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MATCH NEW CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

LEGEND (EXISTING SYMBOLS)

SYMBOLS

- FOUND IRON PIN
- LIGHT POLE
- POWER POLE
- TELEPHONE PEDESTAL
- TV PEDESTAL
- GAS METER
- GAS VALVE
- STORM SEWER PIPE
- DOWN GUY
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- AIR RELEASE VALVE
- FIRE DEPARTMENT CONNECTION
- WATER METER
- SPRINKLER HEAD
- ELECTRIC PEDESTAL

LINEWORK

- EASEMENT
- CURB
- SANITARY SEWER LINE
- GAS LINE
- WATER LINE (SPECIFY SIZE & TYPE)
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- PIPE FENCE
- BARBED WIRE FENCE
- RIGHT OF WAY
- ROAD CENTERLINE

LEGEND (CONSTRUCT)

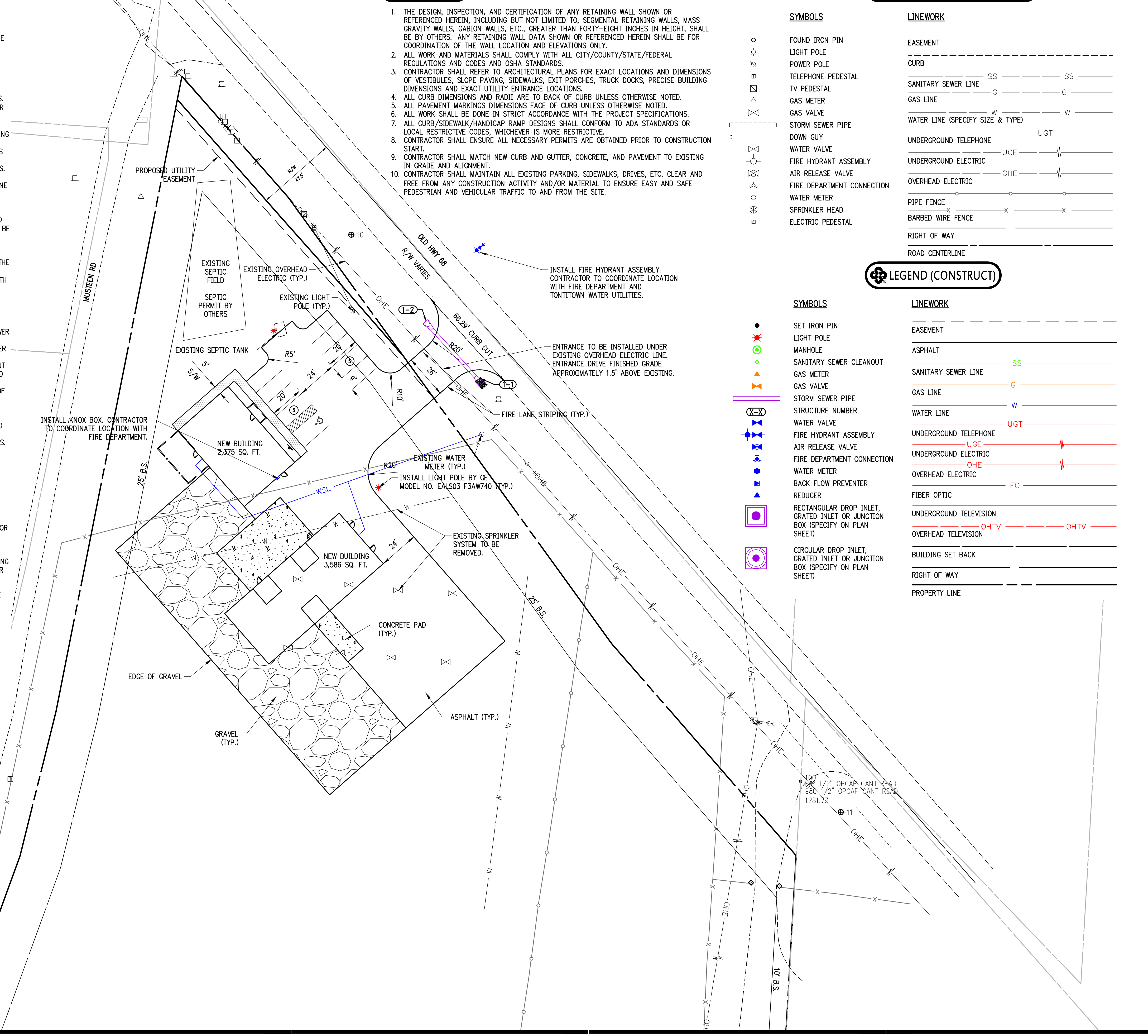
SYMBOLS

- SET IRON PIN
- LIGHT POLE
- MANHOLE
- SANITARY SEWER CLEANOUT
- GAS METER
- GAS VALVE
- STORM SEWER PIPE
- STRUCTURE NUMBER
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- AIR RELEASE VALVE
- FIRE DEPARTMENT CONNECTION
- WATER METER
- BACK FLOW PREVENTER
- REDUCER
- RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)
- CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

LINEWORK

- EASEMENT
- ASPHALT
- SANITARY SEWER LINE
- GAS LINE
- WATER LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- FIBER OPTIC
- UNDERGROUND TELEVISION
- OVERHEAD TELEVISION
- BUILDING SET BACK
- RIGHT OF WAY
- PROPERTY LINE

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 CRAFTON TULL & ASSOCIATES, INC.
 No. 109
 PROFESSIONAL ENGINEER
 ARKANSAS

GRAPHIC SCALE IN FEET
 30' 0 30'

FOUR SEASONS
TONTITOWN, AR

No. Description Date

PROJECT NO: 22301100
 ISSUE DATE: 04/03/2022
 CONTACT: C. GARDNER
 QC BY:
 QC DATE:

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PRELIMINARY PLANS

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SITE & UTILITY PLAN (C)

C-102

GRADING AND DRAINAGE NOTES

1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
2. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, INSPECTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.
3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING START.
4. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
5. ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER UNLESS OTHERWISE NOTED.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
7. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
8. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H2O) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.
9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS.
10. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.
12. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY.
13. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.
14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
15. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
16. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
17. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
18. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
19. IF WET AREAS ARE ENCOUNTERED ON-SITE THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND REPLACEMENT OF A FRENCH DRAIN SYSTEM.
20. CRAFTON, TULL & ASSOCIATES, INC. (CTA) HAS NOT NECESSARILY ESTABLISHED MINIMUM FINISH FLOOR ELEVATIONS FOR EACH INDIVIDUAL BUILDING OR LOT IN THIS SUBDIVISION. WHEN A MINIMUM BUILDING FLOOR ELEVATION IS NOT ESTABLISHED AND NOTED, THE ULTIMATE RESPONSIBILITY FOR THE PROPER GRADING OF EACH INDIVIDUAL LOT OR PARCEL SHALL REST WITH THE LOT'S OWNER. TYPICALLY, THE MINIMUM FINISH FIRST FLOOR ELEVATIONS SHOULD BE AT LEAST TWELVE INCHES (12") ABOVE THE FINISHED TOP OF STREET CURB ELEVATION ASSOCIATED WITH EACH INDIVIDUAL LOT OR PARCEL OR AS REQUIRED BY LOCAL AND STATE CODES.

LEGEND (EXISTING SYMBOLS)

SYMBOLS

- FOUND IRON PIN
- ☆ LIGHT POLE
- X—X— STORM SEWER PIPE
- GRATED INLET
- DROP INLET

LINWORK

- EASEMENT
- CURB
- INTERMEDIATE CONTOUR
- INDEX CONTOUR
- OVERHEAD ELECTRIC
- BARBED WIRE FENCE
- RIGHT OF WAY
- ROAD CENTERLINE

LEGEND (CONSTRUCT)

SYMBOLS

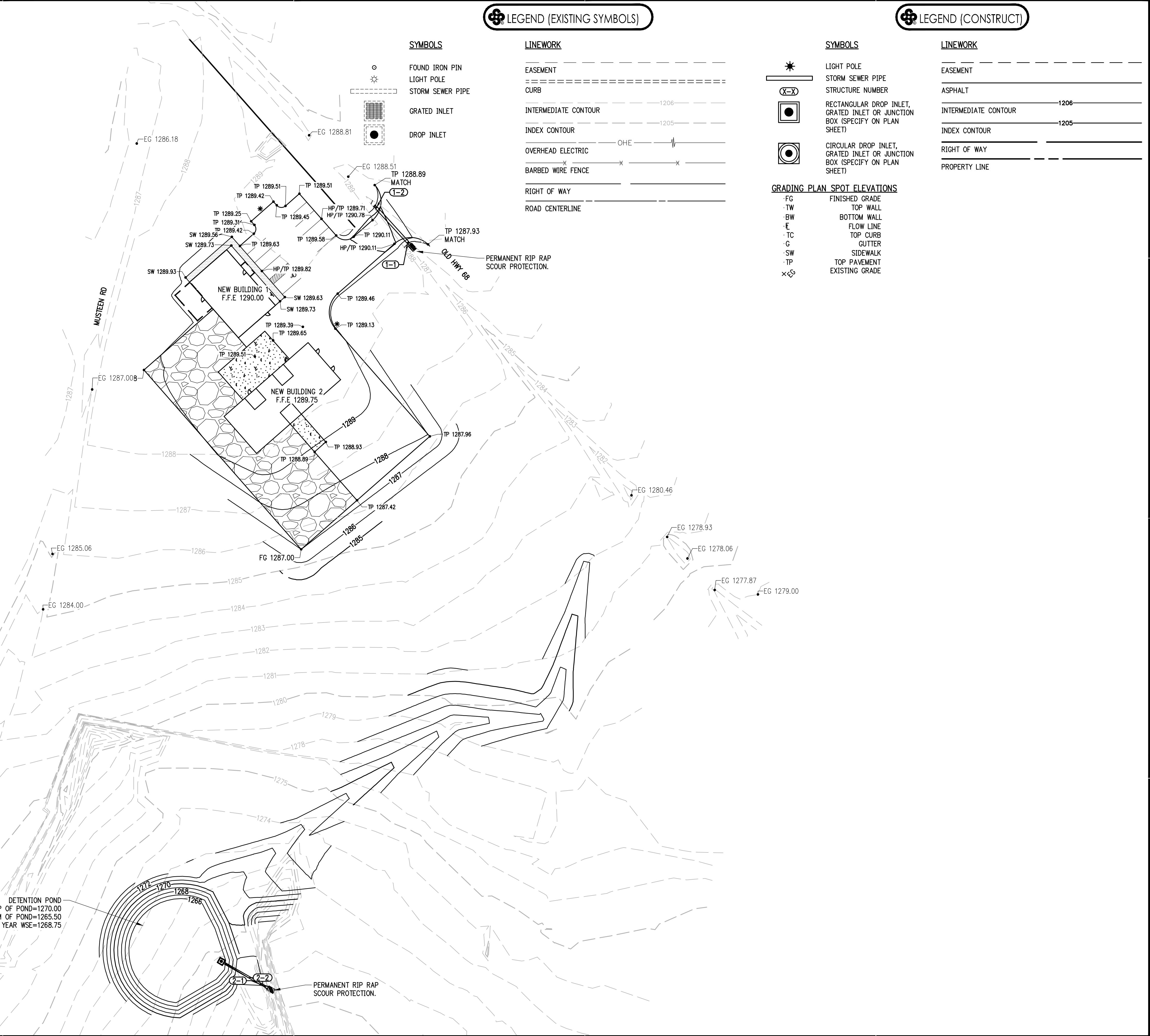
- * LIGHT POLE
- X—X— STORM SEWER PIPE
- STRUCTURE NUMBER
- RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)
- CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

LINWORK

- EASEMENT
- ASPHALT
- INTERMEDIATE CONTOUR
- INDEX CONTOUR
- RIGHT OF WAY
- PROPERTY LINE

GRADING PLAN SPOT ELEVATIONS

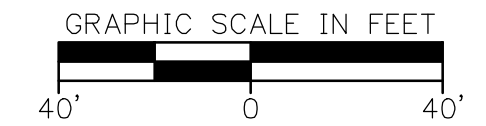
- FG FINISHED GRADE
- TW TOP WALL
- BW BOTTOM WALL
- E FLOW LINE
- TC TOP CURB
- G GUTTER
- SW SIDEWALK
- TP TOP PAVEMENT
- ×EG EXISTING GRADE



DETENTION POND
 TOP OF POND=1270.00
 BOTTOM OF POND=1265.50
 100 YEAR WSE=1268.75

PERMANENT RIP RAP
 SCOUR PROTECTION.

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FOUR SEASONS
 TONTITOWN, AR

Key Plan

No.	Description	Date

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PRELIMINARY PLANS

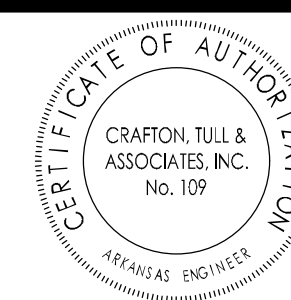
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GRADING PLAN

C-103

CERTIFICATE OF AUTHORIZATION



GRAPHIC SCALE IN FEET
30' 0 30'

FOUR SEASONS
TONTITOWN, AR

Key Plan

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PRELIMINARY PLANS

EROSION CONTROL PLAN

C-104

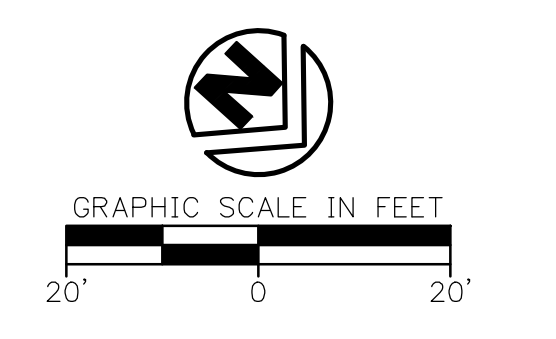
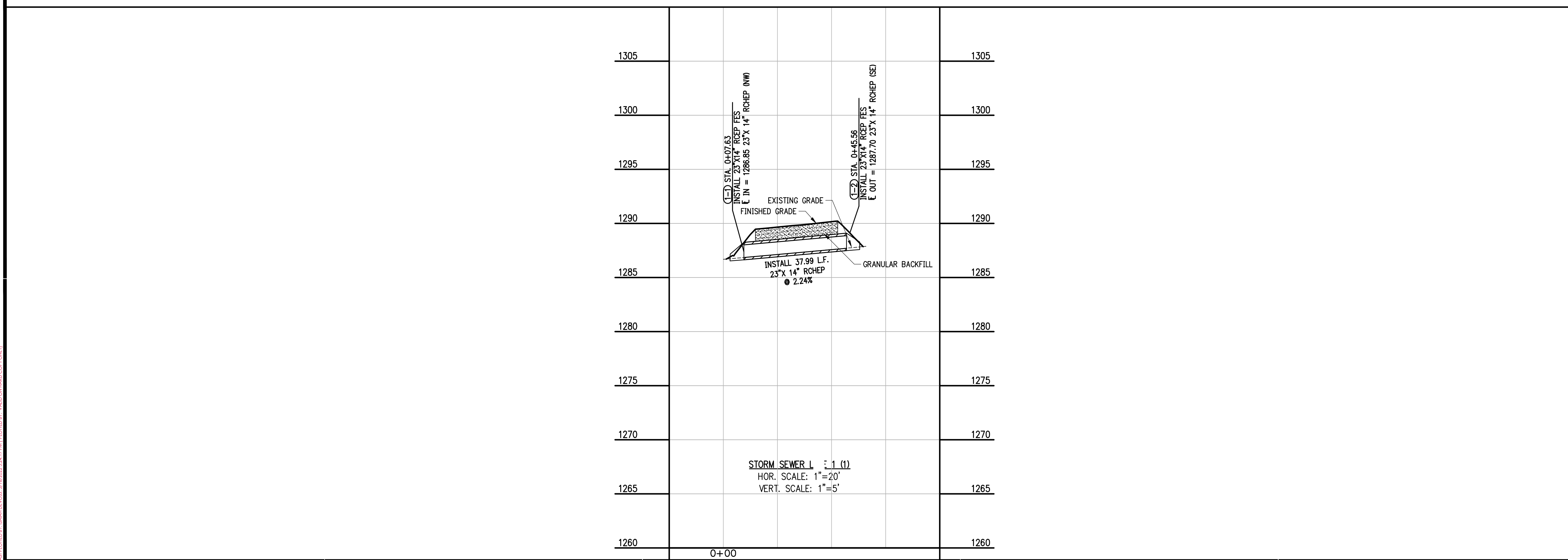
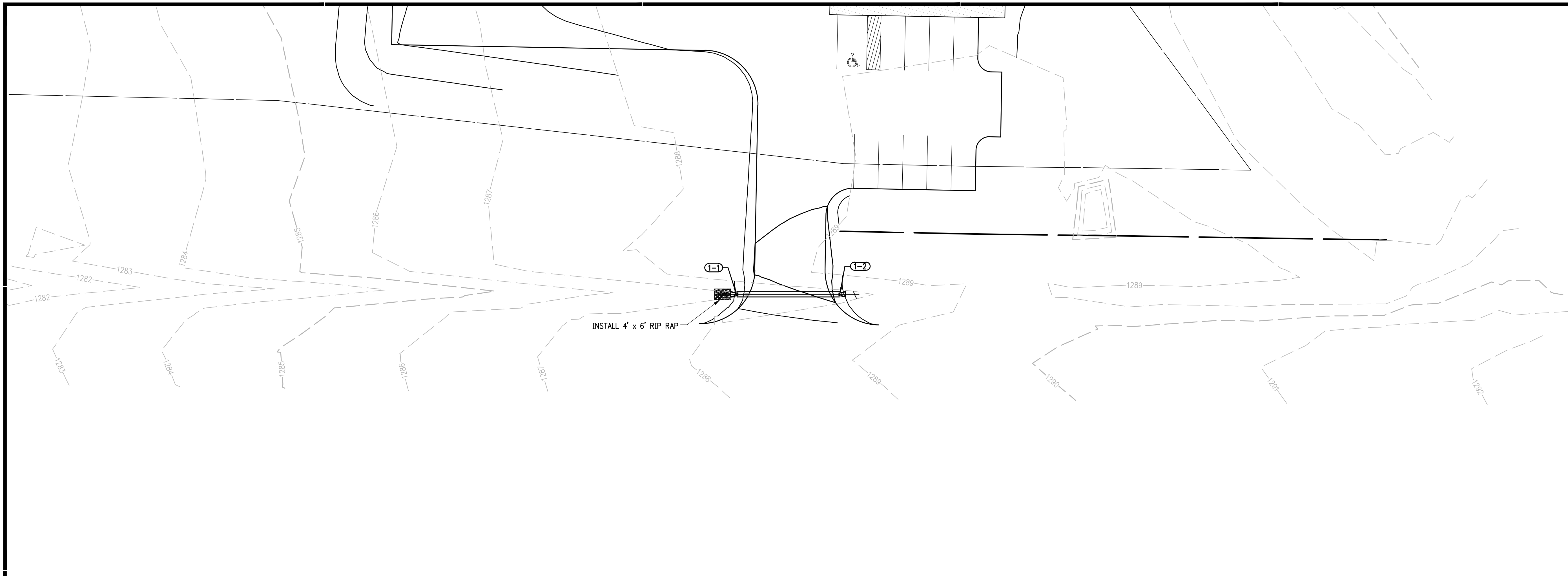
EROSION CONTROL LEGEND

- ⊙ PS → PS PERMANENT SEEDING
- ⊙ TPS → TPS TEMPORARY PARKING AND STORAGE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LIMITS OF DISTURBANCE
- GRADE BREAK
- CONTOUR ELEVATIONS
- STORM DRAIN
- XX, X% DIRECTION OF OVERLAND FLOW W/ GRADE
- ⇄ LIMITS OF DRAINAGE SUB-BASIN
- CD ROCK CHECK DAM
- CE STABILIZED CONSTRUCTION EXIT (ENTRANCE)
- DD CHanneled DIVERSIONS
- DS DEWATERING SYSTEM / STRUCTURE
- SF SILT FENCE
- ST SEDIMENT BASIN WITH STONE OUTLET
- IP1 BLOCK AND AGGREGATE INLET SEDIMENT DEVICE
- IP2 CURB INLET FILTER SOCK
- IP3 GRATED INLET GRAVEL SEDIMENT FILTER
- IP4 SILT FENCE INLET PROTECTION
- OP1 RIP-RAP SLOPE PROTECTION (SEE SIZE THIS SHEET)
- ECL PERMANENT EROSION CONTROL LINING
- SB → SB TEMPORARY SEDIMENT BASIN

NOTE: SEE SITE PLAN FOR EXISTING LEGEND SYMBOLS

- POST CONSTRUCTION SITE NOTICE, RAIN GAUGE, AND GRADING PERMIT. SWPPP MUST BE KEPT WITH CONSTRUCTION SITE NOTICE OR IN JOB TRAILER.
- 100' CONSTRUCTION ENTRANCE/EXIT. NOTE CONTRACTOR SHALL USE A MANNED PRESSURE WASHER IF TRACK-OUT OCCURS.
- INSTALL TEMPORARY ROCK CHECK DAM

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LAYOUT: GARDNER, C. LAST DATE: 03/22/22 2:18:04 PM
CRAFTON TULL & ASSOCIATES, INC. 11202 N. COLLEGE AVE., FAYETTEVILLE, AR 72701



FOUR SEASONS
 TONTITOWN, AR

Key Plan

No.	Description	Date

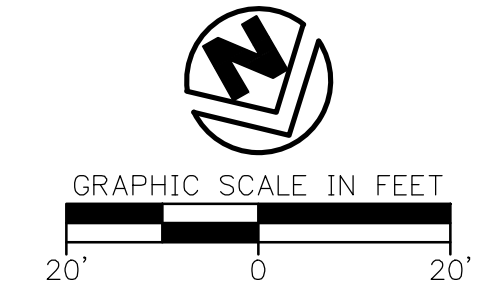
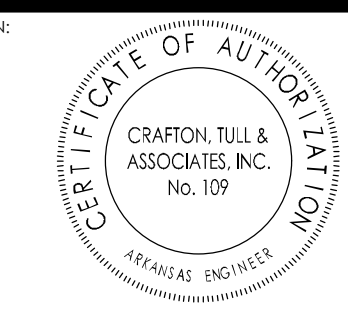
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STORM SEWER LINE 1

C-201

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FOUR SEASONS
TONTITOWN, AR

Key Plan

No.	Description	Date

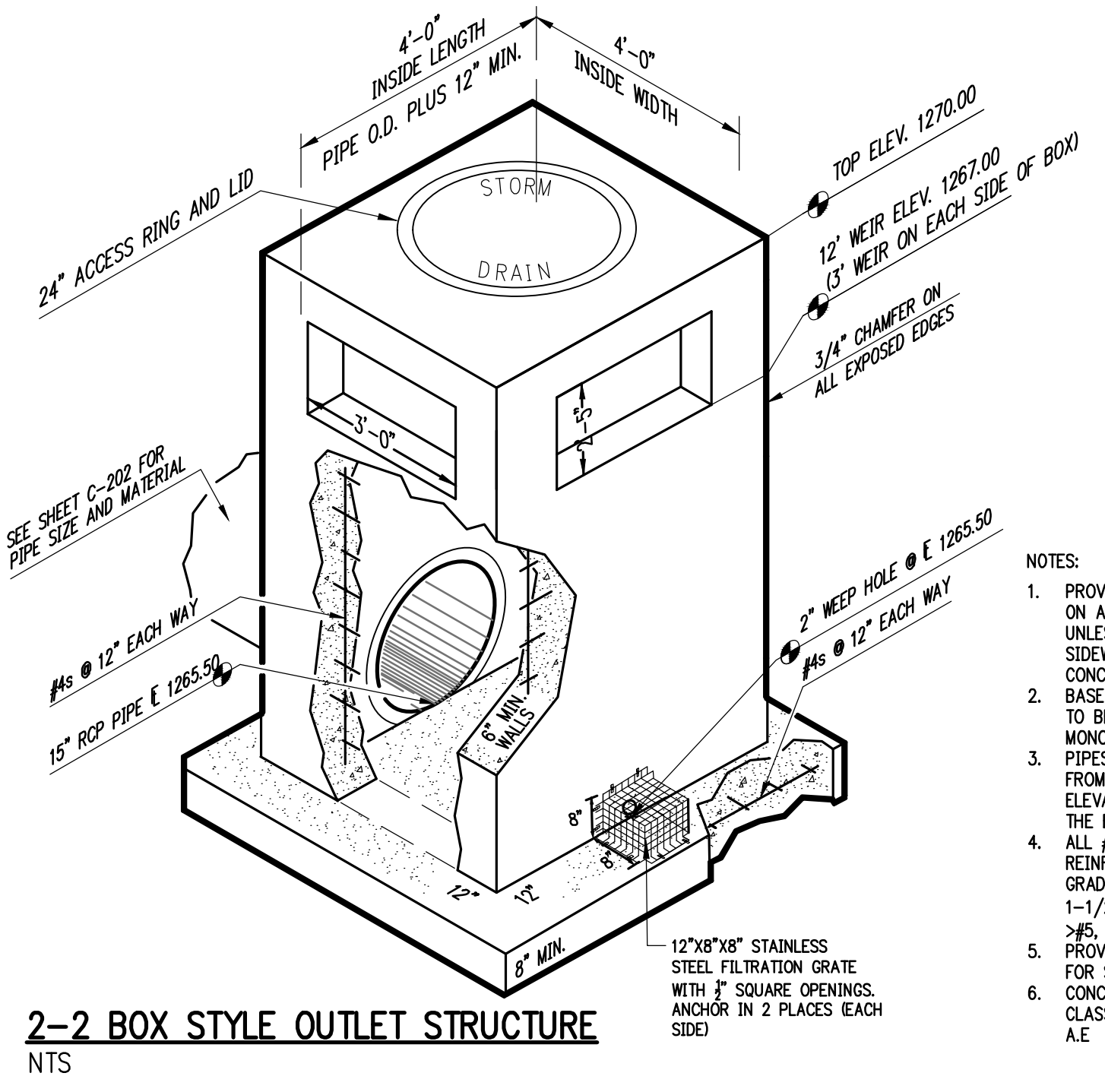
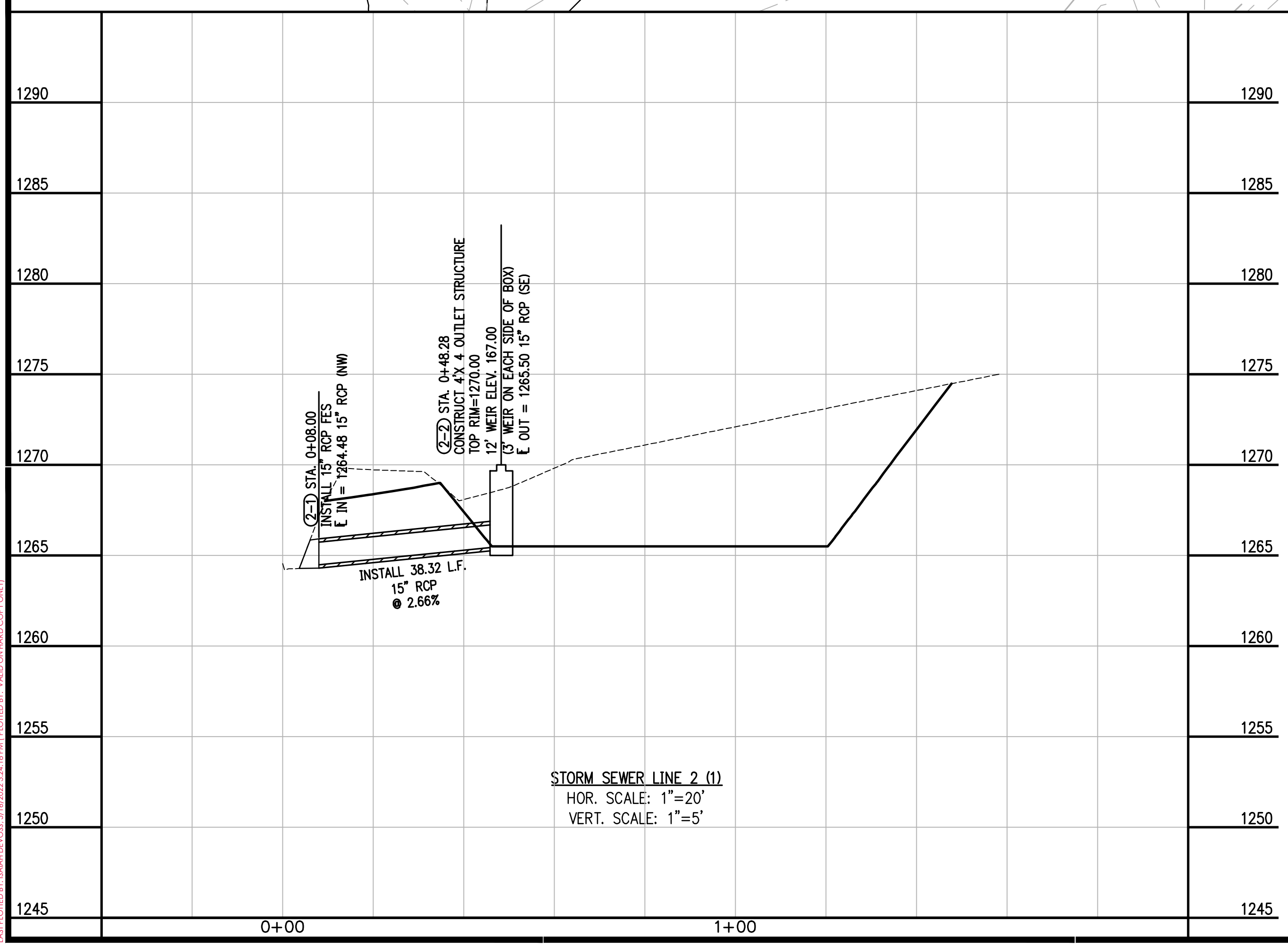
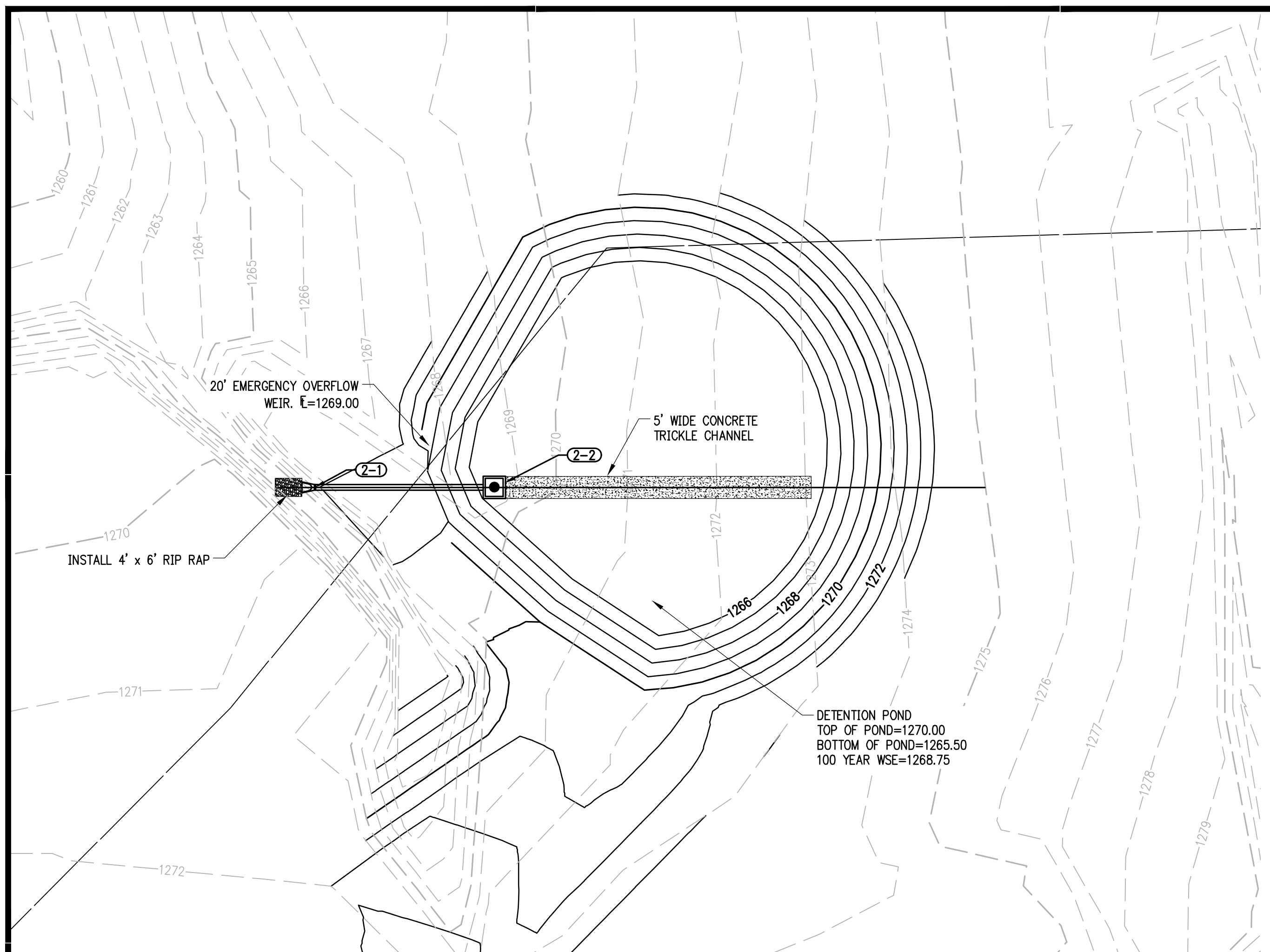
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PROJECT NO: 22301100
ISSUE DATE: 04/03/2022
CONTACT: C. GARDNER
CIC by:
CIC Date:
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STORM SEWER LINE 2

C-202



- NOTES:
- PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES UNLESS ADJACENT TO SIDEWALKS OR OTHER CONCRETE SURFACES.
 - BASE AND INLET WALLS TO BE POURED MONOLITHICALLY.
 - PIPES MAY ENTER BOX FROM ANY ANGLE OR ELEVATION APPROVED BY THE ENGINEER.
 - ALL #4 & #5 REINFORCING BARS TO BE GRADE 60 AND HAVE 1-1/2" MINIMUM COVER. >#5, 2" COVER.
 - PROVIDE DOUBLE MAT FOR SQUARE-TOP SLAB. CONCRETE SHALL BE CLASS B, 4000#, 4%-7% A/E.

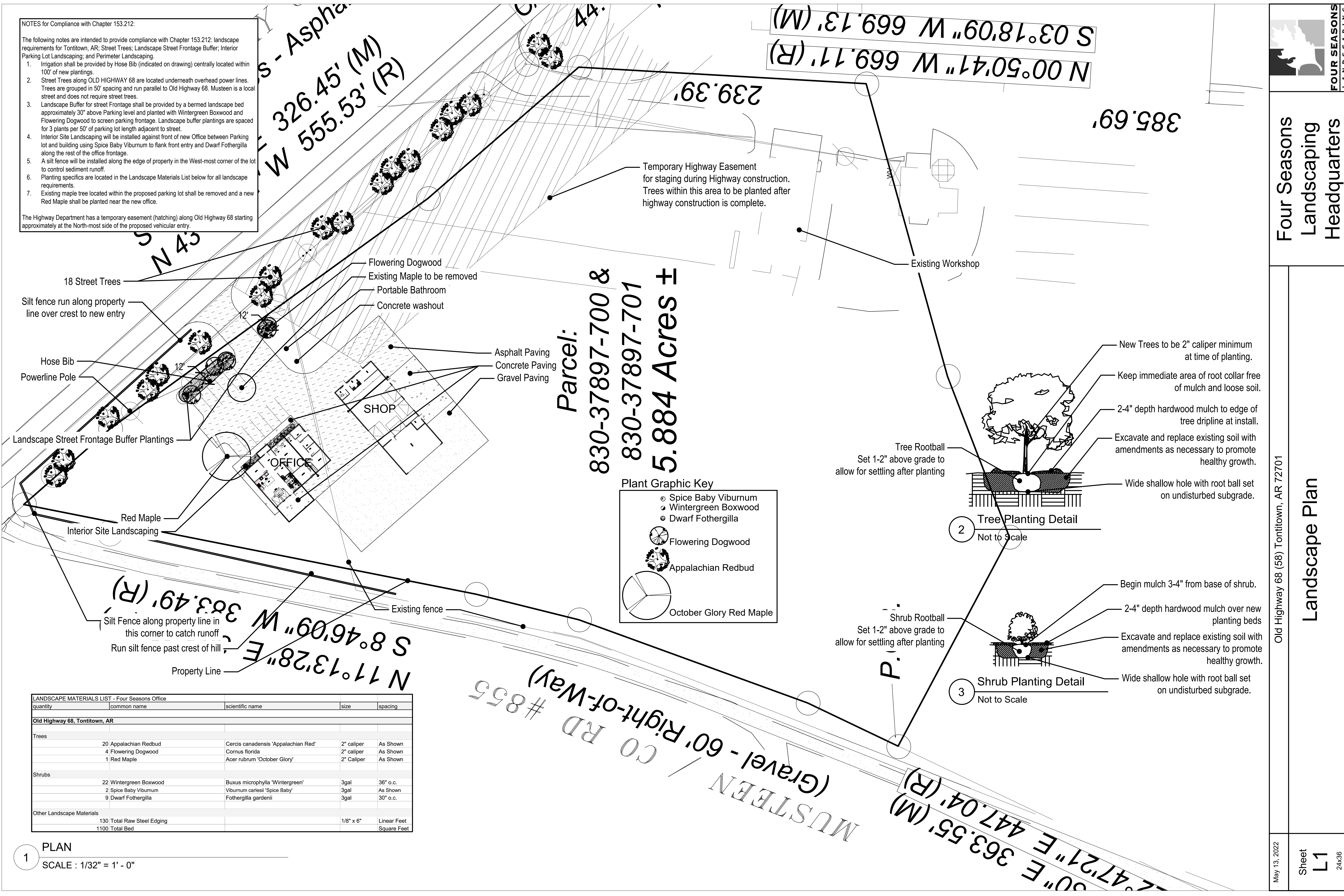
DRAWING: C:\22301100_454\ACAD\PLANS\STRUCTURE\CONCRETE\STORMSEWER\2.DWG
LAYOUT: STORM SEWER LINE 2, RCP PIPE, 2, LATEST: 04/03/2022, 10:56:27 AM, 2022.04.03
PROJECT: FOUR SEASONS TONTITOWN, AR

NOTES for Compliance with Chapter 153.212:

The following notes are intended to provide compliance with Chapter 153.212: landscape requirements for Tontitown, AR; Street Trees; Landscape Street Frontage Buffer; Interior Parking Lot Landscaping; and Perimeter Landscaping.

- Irrigation shall be provided by Hose Bib (indicated on drawing) centrally located within 100' of new plantings.
- Street Trees along OLD HIGHWAY 68 are located underneath overhead power lines. Trees are grouped in 50' spacing and run parallel to Old Highway 68. Musteen is a local street and does not require street trees.
- Landscape Buffer for street Frontage shall be provided by a bermed landscape bed approximately 30" above Parking level and planted with Wintergreen Boxwood and Flowering Dogwood to screen parking frontage. Landscape buffer plantings are spaced for 3 plants per 50' of parking lot length adjacent to street.
- Interior Site Landscaping will be installed against front of new Office between Parking lot and building using Spice Baby Viburnum to flank front entry and Dwarf Fothergilla along the rest of the office frontage.
- A silt fence will be installed along the edge of property in the West-most corner of the lot to control sediment runoff.
- Planting specifics are located in the Landscape Materials List below for all landscape requirements.
- Existing maple tree located within the proposed parking lot shall be removed and a new Red Maple shall be planted near the new office.

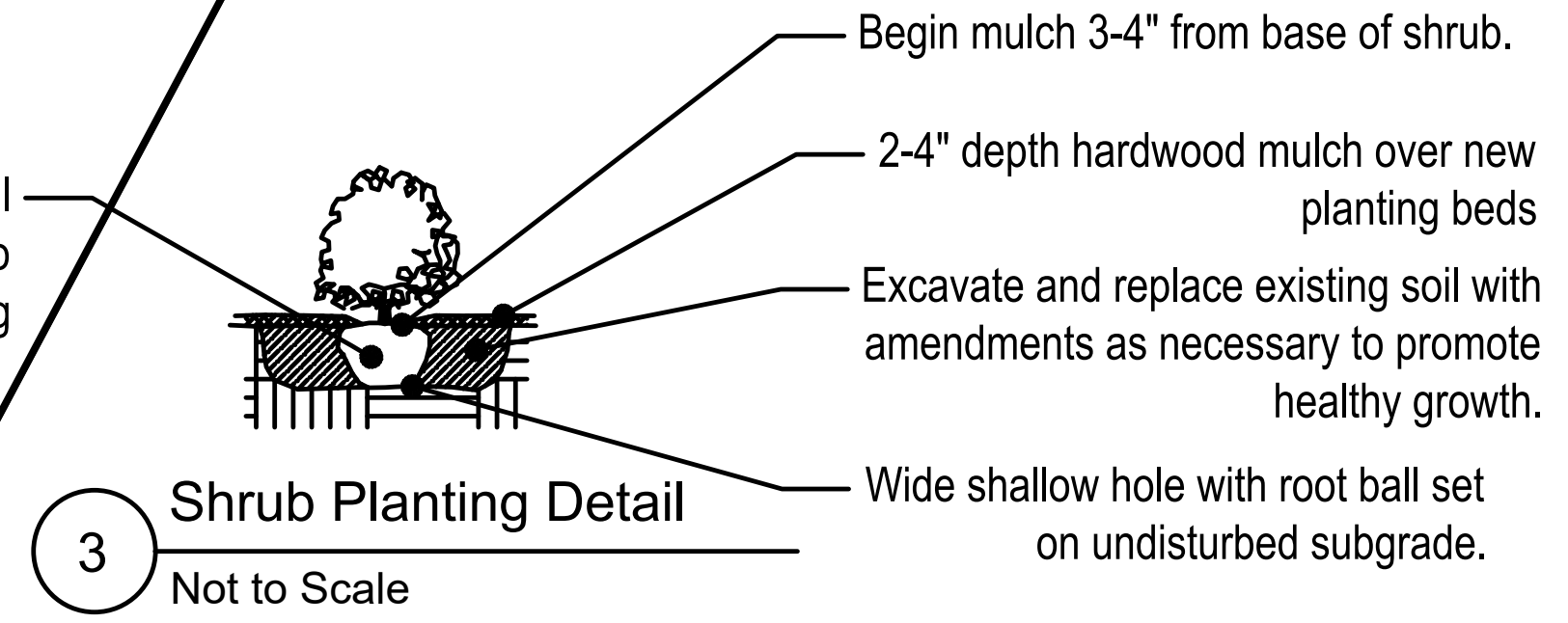
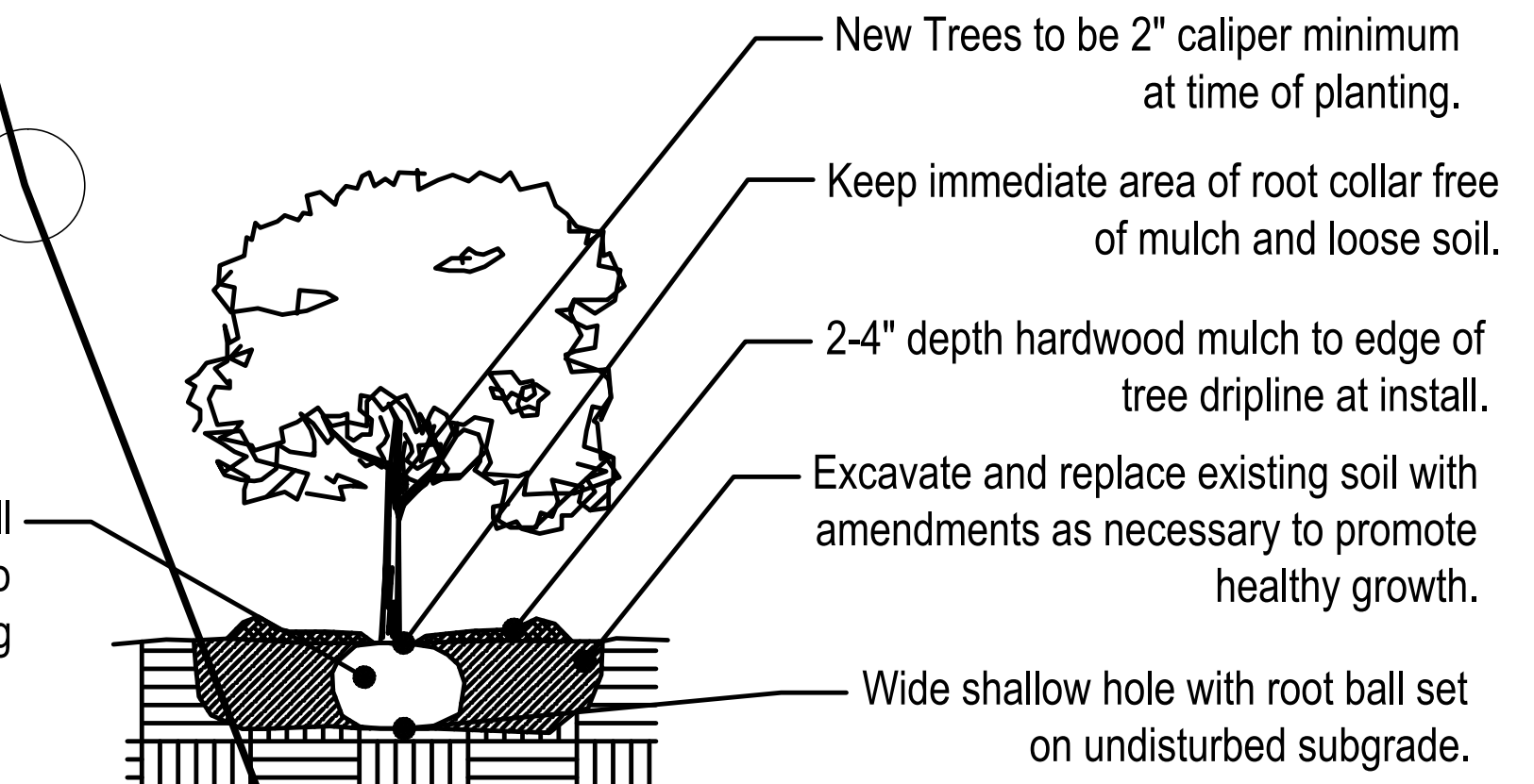
The Highway Department has a temporary easement (hatching) along Old Highway 68 starting approximately at the North-most side of the proposed vehicular entry.



Parcel:
 830-37897-700 &
 830-37897-701
 5.884 Acres ±

Plant Graphic Key

- Spice Baby Viburnum
- Wintergreen Boxwood
- Dwarf Fothergilla
- Flowering Dogwood
- Appalachian Redbud
- October Glory Red Maple



quantity	common name	scientific name	size	spacing
Old Highway 68, Tontitown, AR				
Trees				
20	Appalachian Redbud	Cercis canadensis 'Appalachian Red'	2" caliper	As Shown
4	Flowering Dogwood	Cornus florida	2" caliper	As Shown
1	Red Maple	Acer rubrum 'October Glory'	2" Caliper	As Shown
Shrubs				
22	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	3gal	36" o.c.
2	Spice Baby Viburnum	Viburnum carlesii 'Spice Baby'	3gal	As Shown
9	Dwarf Fothergilla	Fothergilla gardenii	3gal	30" o.c.
Other Landscape Materials				
130	Total Raw Steel Edging		1/8" x 6"	Linear Feet
1100	Total Bed			Square Feet

1 PLAN
 SCALE : 1/32" = 1' - 0"



**Four Seasons
 Landscaping
 Headquarters**

Old Highway 68 (58) Tontitown, AR 72701

Landscape Plan

May 13, 2022
 Sheet L1
 24x36