



## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **December 30, 2021**  
Project: **Dairy Queen**  
Planner: Courtney McNair, Garver

### PLANNING COMMISSION AGENDA ITEM

# 5

## PRELIMINARY LARGE-SCALE DEVELOPMENT PLAN APPROVAL REQUEST

Located at 633 E. Henri de Tonti Blvd. (this address must be verified with Washington County)

Parcel #s 830-37613-000 and 830-37611-000

**SUMMARY:** Dairy Queen is requesting to construct a commercial building on approximately one acre, on the proposed Lot 10 of Maestri Commercial Subdivision.

**CURRENT ZONING:** C-2, General Commercial District.

**FUTURE LAND USE CATEGORY:** RC-C Residential/Commercial Core.

**PROPOSED USE:** Commercial development

**CITY WARD:** 1 – Gene McCartney, Position 1 and Amber Ibarra, Position 2

**INFRASTRUCTURE SERVICE AREAS (not a guarantee of service availability):**

Water: City of Tontitown.

Electric: Ozarks Electric

Sewer/Septic: City of Tontitown sewer.

Phone: AT&T Natural Gas: Black Hills Energy

Cable: Cox Communications

### PROJECT SYNOPSIS:

Dairy Queen is requesting to construct a commercial building on approximately one acre, on the proposed Lot 10 of Maestri Commercial Subdivision. The proposed plans show a 2,663 SF building, with associated drives and parking.

### TECHNICAL INFORMATION:

#### Utilities:

**Water:** Tontitown Water-According to the Water System information, there is an existing 8-inch water line at the north and west property lines of this development along Agnes Drive and E. Henri de Tonti Blvd.

**Electric:** Ozarks Electric- The electric connection comes from the north of this site.

**Phone:** AT&T- No comments were received from ATT.

**Natural Gas:** Black Hills Energy- No comments were received from BHE.

**Cable:** Cox Communications- No comments were received from Cox.

It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.

**School District:** Springdale school district submitted no comments.

### Stormwater Pollution Prevention Plan (SWPPP):

The applicant has provided a grading and erosion plan and a drainage report. A SWPPP must be

completed and posted on site prior to construction.

**Police:**

No comments were submitted.

**Fire:**

Hydrants were added as part of the Maestri Commercial Subdivision to provide protection to these lots.

At tech review, the Fire Marshal required at least one of the entrance drives to be changed to 26' feet wide. Both entrances are shown as 26' wide now, however, all interior drives are still show at 24' wide. If the Fire Marshal requires one of the interior drives to be increased to 26', this will need to be updated prior to construction plan review.

"Fire Lane" striping may be required and shall be reviewed and approved by the Fire Marshal prior to installation. All interior drives must meet the required compaction rating to support emergency vehicles.

A Knox box shall be required for the proposed building. This location will need to be coordinated with the Fire Marshal.

**Drainage:**

There is underground detention proposed for this site. The applicant's engineer has submitted a drainage report for review. The City Engineer has reviewed the report and provided comments. Currently the only outstanding items are from Advanced Drainage Systems (ADS) regarding minor updates to the underground detention drawings.

All remaining comments from the City Engineer must be addressed prior to Construction Plan approval.

**Roads:**

This project has access on Agnes Drive. Two entrance drives are proposed. There is no connectivity shown on the plans to the east or south.

Site visibility appears to be adequate from the proposed entrance locations.

As stated above, all interior drives must meet the required compaction rating to support emergency vehicles.

**Planning:**

A Landscaping Plan was submitted and reviewed.

Lighting sheets have been provided and show that light trespass will be minimal to surrounding areas.

Architectural Elevations have been submitted and are in compliance with city standards.

**STAFF RECOMMENDATION:** There are some details that remain to be addressed at the Construction Plan phase of plan review, but nothing that should significantly impact the overall design.

Therefore, staff recommends approval of Dairy Queen Preliminary Large-Scale Development with conditions.

**CONDITIONS RECOMMENDED FOR APPROVAL:**

1. It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.
2. A SWPPP must be completed and posted on site prior to construction.
3. If the Fire Marshal requires one of the interior drives to be increased to 26', this will need to be updated prior to construction plan review.
4. "Fire Lane" striping may be required and shall be reviewed and approved by the Fire Marshal prior to installation.
5. All interior drives must meet the required compaction rating to support emergency vehicles.
6. A Knox box shall be required for the proposed building. This location will need to be coordinated with the Fire Marshal.
7. Plans shall be submitted showing Advanced Drainage Systems (ADS) updates to the underground detention drawings.
8. All remaining comments from the City Engineer must be addressed prior to Construction Plan approval.
9. The applicant must apply for all required permits prior to construction.

# LARGE SCALE DEVELOPMENT PLANS

## DAIRY QUEEN

### 633 E HENRI DE TONTI BLVD

# TONTITOWN, WASHINGTON COUNTY, ARKANSAS

#### PROJECT TEAM:

**OWNER/DEVELOPER/APPLICANT:**  
 VP LEASING & GENERAL COUNSEL  
 MATHIAS PROPERTIES  
 PO BOX 6485  
 SPRINGDALE, AR 72766  
 5571 BLEAUX AVE.  
 SPRINGDALE, AR 72762  
 CONTACT: SEAN L. CASEY  
 PHONE: 479.750.9100  
 EMAIL: scasey@mathiasproperties.com

**CITY OF TONTITOWN:**  
**PLANNING DEPARTMENT**  
 235 E. HENRI DE TONTI BLVD  
 TONTITOWN, AR 72762  
 PO BOX 305  
 TONTITOWN, AR 72770  
 CONTACT: MAEGAN THOMAS I PERMITS  
 PHONE: 479.361.2700  
 MOBILE: 479.435.8080  
 EMAIL: permits@tontitownar.gov

**ELECTRIC:**  
 OZARKS ELECTRIC COOPERATIVE  
 CONTACT: WES MAHAFFEY  
 PHONE: 479.263.2167  
 EMAIL: wmahaffey@ozarksecc.com

**GAS:**  
 BLACK HILLS ENERGY  
 655 MILLSAP ROAD  
 FAYETTEVILLE, AR 72703  
 PHONE: 800.563.0012

**CABLE/PHONE:**  
 COX COMMUNICATIONS  
 205 EAST JORDAN AVE  
 SPRINGDALE, AR 72764  
 PHONE: 479.751.2000

**UNDERGROUND DETENTION:**  
 ADVANCED DRAINAGE SYSTEMS, INC. (ADS)  
 CONTACT: DIRK HUDSON, P.E.  
 TITLE: ENGINEERED PRODUCTS MANAGER  
 PHONE: 816.602.4201  
 EMAIL: dirk.hudson@adspipe.com

**ARDOT**  
 ARK. DEPARTMENT OF TRANSPORTATION  
 CONTACT: JIMMY VAUGHT  
 TITLE: DISTRICT 4 PERMIT OFFICER  
 PHONE: 479.484.5306  
 EMAIL: james.vaught@ardot.gov

**ENGINEER:**  
 OZARK CIVIL ENGINEERING, INC.  
 3214 NW AVIGNON WAY, STE 4  
 BENTONVILLE, AR 72712  
 CONTACT: TODD A. BUTLER, P.E.  
 PHONE: 479.464.8850  
 EMAIL: tbutler@ozarkcivil.com

**BUILDING INSPECTION**  
 235 E. HENRI DE TONTI BLVD  
 TONTITOWN, AR 72762  
 PO BOX 305  
 TONTITOWN, AR 72770  
 PHONE: 479.263.9215  
 EMAIL: maintenance@tontitownar.gov

**FIRE MARSHAL**  
 141 S.E. ZULPO STREET  
 TONTITOWN, AR 72770  
 CONTACT: MARK RAMSEY  
 PHONE: 479.439.3578

**PUBLIC WORKS**  
 235 E. HENRI DE TONTI BLVD  
 TONTITOWN, AR 72762  
 PO BOX 305  
 TONTITOWN, AR 72770  
 CONTACT: JAMES CLARK I DIRECTOR  
 PHONE: 479.361.2700  
 EMAIL: pjwdirector@tontitownar.gov

**ARCHITECT:**  
 WILKERSON ARCHITECTS  
 119 EAST TALLULAH DRIVE  
 GREENVILLE, SC 29605  
 CONTACT: JAMES E. WILKERSON, AIA  
 PHONE: 864.370.2582  
 MOBILE: 864.414.1499  
 EMAIL: wilkpo@charter.net

**SURVEYOR:**  
 CRAFTON TULL  
 901 N. 47TH ST., SUITE 200  
 ROGERS, AR 72756  
 CONTACT: KEVIN MONTGOMERY  
 PHONE: 479.636.4838

#### VICINITY MAP | NOT TO SCALE



#### SHEET INDEX

REV/ADD	SHEET #	SHEET DESCRIPTION	SUBMITTAL TYPE
	C1.0	COVER SHEET	LARGE SCALE 3RD SUBMITTAL
	C2.0	SITE PLAN	LARGE SCALE 3RD SUBMITTAL
	C2.1	PAVEMENT PLAN	LARGE SCALE 3RD SUBMITTAL
	C2.2	STRIPING & SIGNAGE PLAN	LARGE SCALE 3RD SUBMITTAL
	C2.3	SITE DETAIL SHEET	LARGE SCALE 3RD SUBMITTAL
	C2.4	SITE DETAIL SHEET	LARGE SCALE 3RD SUBMITTAL
	C3.0	SURVEY (BY CTA) & FINAL PLAT (BY CTA)	LARGE SCALE 3RD SUBMITTAL
		SURVEY (SHEETS 1-2)	LARGE SCALE 3RD SUBMITTAL
		FINAL PLAT (SHEETS 1-3)	LARGE SCALE 3RD SUBMITTAL
	C4.0	DEMO. & INITIAL EROSION & SEDIMENT CONTROL PLAN	LARGE SCALE 3RD SUBMITTAL
	C4.1	FINAL EROSION & SEDIMENT CONTROL PLAN	LARGE SCALE 3RD SUBMITTAL
	C4.2	EROSION & SEDIMENT CONTROL DETAIL SHEET	LARGE SCALE 3RD SUBMITTAL
	C5.0	GRADING PLAN	LARGE SCALE 3RD SUBMITTAL
	C5.1	DRAINAGE PLAN	LARGE SCALE 3RD SUBMITTAL
	C5.2	GRADING AND DRAINAGE DETAIL SHEET	LARGE SCALE 3RD SUBMITTAL
	C5.3	GRADING AND DRAINAGE DETAIL SHEET	LARGE SCALE 3RD SUBMITTAL
		UNDERGROUND DETENTION PLANS (BY ADS) (SHEETS 1-6)	LARGE SCALE 3RD SUBMITTAL
	C6.0	UTILITY PLAN	LARGE SCALE 3RD SUBMITTAL
	C6.1	UTILITY DETAIL SHEET	LARGE SCALE 3RD SUBMITTAL
	L1.0	LANDSCAPE PLAN (BY REGISTERED LANDSCAPE ARCH.)	LARGE SCALE 3RD SUBMITTAL
	L1.2	LANDSCAPE DETAIL SHEET	LARGE SCALE 3RD SUBMITTAL
		ARDOT STANDARD DRAWING WR-1	LARGE SCALE 3RD SUBMITTAL
		ARCHITECTURAL BUILDING ELEV. (BY WILKERSON ARCH.)	LARGE SCALE 3RD SUBMITTAL
		PHOTOMETRIC PLAN & CUT SHEET (BY WILKERSON ARCH.)	LARGE SCALE 3RD SUBMITTAL
		DUMPSTER SCREENING DETAILS (BY WILKERSON ARCH.)	LARGE SCALE 3RD SUBMITTAL

#### BENCHMARKS:

**BASIS OF BEARINGS:**  
 ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE,  
 NAD 83 HORIZONTAL DATUM AND NAVD 88 VERTICAL DATUM  
 DETERMINED BY GPS OBSERVATION ON THE CITY OF  
 TONTITOWN CONTROL MONUMENTS USING THEIR PUBLISHED  
 VALUES.

#### FLOOD ZONE STATEMENT:

NO PART OF THIS PROPERTY IS IN FLOOD ZONE "A" OR "AE", AND THE PROPERTY IS OUTSIDE OF THE 100 YEAR FLOOD PLAIN AS SHOWN ON THE NATION FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05143C0065F, EFFECTIVE DATE MAY 16, 2008.

#### LEGAL DESCRIPTION:

LOT/PACREL 10 OF THE MAESTRI SUBDIVISION, CONTAINING 0.94 ACRES, MORE OR LESS, PART OF THE FRACTIONAL SW 1/4 OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NE 1/4 OF THE SW 1/4 OF SAID SECTION 6; THENCE ALONG THE NORTH LINE THEREOF N87°34'02"W 1069.10 FEET; THENCE LEAVING SAID NORTH LINE S02°33'28"W 1012.20 FEET; THENCE N87°26'10"W 295.00 FEET TO THE POINT OF BEGINNING; THENCE N87°26'10"W 489.88 FEET; THENCE N02°32'49"E 585.10 FEET; THENCE 73.73 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 271.92 FEET AND A LONG CHORD OF N11°42'29"E 73.51 FEET; THENCE N18°42'59"E 100.12 FEET; THENCE 89.10 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 324.92 FEET AND A LONG CHORD OF N10°51'46"E 88.82 FEET; THENCE N02°35'44"E 77.57 FEET; THENCE 72.55 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 50.00 FEET AND A LONG CHORD OF N44°09'56"E 66.35 FEET; THENCE N86°25'00"E 1.19 FEET; THENCE 5.74 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 50.00 FEET AND A LONG CHORD OF S89°36'49"E 5.74 FEET TO THE SOUTH RIGHT-OF-WAY OF U.S. HIGHWAY 412; THENCE ALONG SAID SOUTH RIGHT-OF-WAY S86°19'23"E 269.12 FEET; THENCE ALONG SAID SOUTH RIGHT-OF-WAY 24.72 FEET; THENCE LEAVING SAID SOUTH RIGHT-OF-WAY 70.82 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 50.00 FEET AND A LONG CHORD OF S37°59'15"E 65.05 FEET; THENCE S02°35'18"W 72.66 FEET; THENCE 91.55 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 325.00 FEET AND A LONG CHORD OF S05°30'47"E 91.25 FEET; THENCE S13°35'00"E 99.93 FEET; THENCE 77.48 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 275.00 FEET AND A LONG CHORD OF S05°30'47"E 77.22 FEET; THENCE S02°33'28"W 575.44 FEET TO THE POINT OF BEGINNING, CONTAINING 10.23 ACRES, MORE OR LESS AND SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY OF RECORD OR FACT.

#### PROJECT INFORMATION

**SITE INFORMATION**  
 CURRENT ZONING ..... (C-2) "GENERAL COMMERCIAL"  
 PROPOSED ZONING ..... (C-2) "GENERAL COMMERCIAL"

TOTAL GROSS SITE ACREAGE ..... ±0.94 AC / 40,824.13 SF  
**BUILDING INFORMATION**  
 TOTAL BUILDING AREA ..... 2,663 SF

**BUILDING SETBACKS**  
 FRONT (WEST) ..... 25 FEET  
 SIDE (SOUTH) ..... 7 FEET  
 SIDE/STREET (NORTH) ..... 20 FEET  
 REAR (EAST) ..... 15 FEET

**PARKING REQUIREMENTS**  
 RATIO ..... 1 SP PER 75 SF  
 STANDARD PARKING STALLS | 9'x18' ..... 34 SPACES  
 ACCESSIBLE PARKING STALLS | 8'x18' ..... 2 SPACES  
**TOTAL PARKING STALLS ..... 36 SPACES**

**PARKING PROVIDED**  
 RATIO ..... 1 SP PER 65 SF  
 STANDARD PARKING STALLS | 9'x18' ..... 39 SPACES  
 ACCESSIBLE PARKING STALLS | 8'x18' ..... 2 SPACES  
**TOTAL PARKING STALLS ..... 41 SPACES**

#### GENERAL NOTES:

- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND EXISTING FIELD CONDITIONS WHEN POSSIBLE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY HAND DIGGING TEST PITS AT ALL UTILITY CROSSINGS IN ADVANCE OF TRENCHING WITH ANY MECHANICAL DEVICE. CLEARANCES LESS THAN SPECIFIED ON THESE PLANS OR 18" (INCHES), WHICHEVER IS LESS, CONTRACTOR SHALL CONTACT OZARK CIVIL ENGINEERING, INC. @ 479.464.8850 PRIOR TO ANY FURTHER CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL INCLUDE IN CONTRACT THE PRICE FOR THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL THAT IS DETERMINED NOT NEEDED TO ESTABLISH THE FINAL GRADES AND LANDSCAPING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND USE OF ANY AND ALL REQUIRED OR NECESSARY SHORING, SHEETING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED ON THIS PROJECT THAT WILL MEET OR EXCEED OSHA, FEDERAL, STATE AND LOCAL REGULATIONS DURING CONSTRUCTION. OZARK CIVIL ENGINEERING, INC. AND THE DEVELOPER AND/OR OWNER ACCEPTS NO RESPONSIBILITY FOR THE CONTRACTORS FAILURE TO COMPLY WITH THESE REGULATIONS.
- ALL UTILITIES INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S SPECIFICATIONS, THE REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION, OR FOLLOW THE "10 STATE STANDARDS RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES, CURRENT EDITION" WHICH EVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL RECOMMENDATIONS, WHERE A CONFLICT EXISTS BETWEEN THE CITY'S, COUNTY'S AND/OR HIGHWAY DEPARTMENT'S STANDARDS, THE MOST STRINGENT SHALL APPLY.
- FURTHERMORE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE EROSION CONTROL MEASURES AS SHOWN AS PART OF THESE PLANS. CONTRACTOR SHALL KEEP THESE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP.
- ALL PHASES OF CONSTRUCTION SHALL MEET OR EXCEED THE OWNER'S AND/OR DEVELOPER'S SITE WORK SPECIFICATIONS.
- REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT DIMENSIONS AND LOCATIONS OF ANY RAMPS, VESTIBULES, PORCHES, SLOPED PAVING, BUILDING UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS OR WELLS, AND PRECISE BUILDING DIMENSIONS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION PROCEDURES. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING FEATURES AS SHOWN ON THE SURVEY AND NOTIFY THE SURVEYOR AND THE ENGINEER OF RECORD OF ANY INACCURACIES FOUND ON THE SURVEY PRIOR TO BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- ALL WORK PERFORMED WITHIN A PUBLIC RIGHT OF WAY OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. IF ANY WORK PERFORMED IS NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OZARK CIVIL ENGINEERING, INC. FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING ALL PHASES OF CONSTRUCTION OF THIS SITE. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO CONSTRUCTION WORKING HOURS.

**WARRANTY / DISCLAIMER**  
 THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR DESIGN FUNCTION AND USE INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR HIS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION AT THE SITE.

#### CERT. OF PRELIM. ENGINEERING ACCURACY

I, TODD BUTLER, PE, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN PREPARED UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.

DATE OF EXECUTION: 12/14/2021

Todd Butler  
 REGISTERED ENGINEER

STATE OF ARKANSAS REGISTRATION NO. 9504



Know what's below.  
 Call before you dig.

REVISIONS:		
NO	DATE	DESCRIPTION



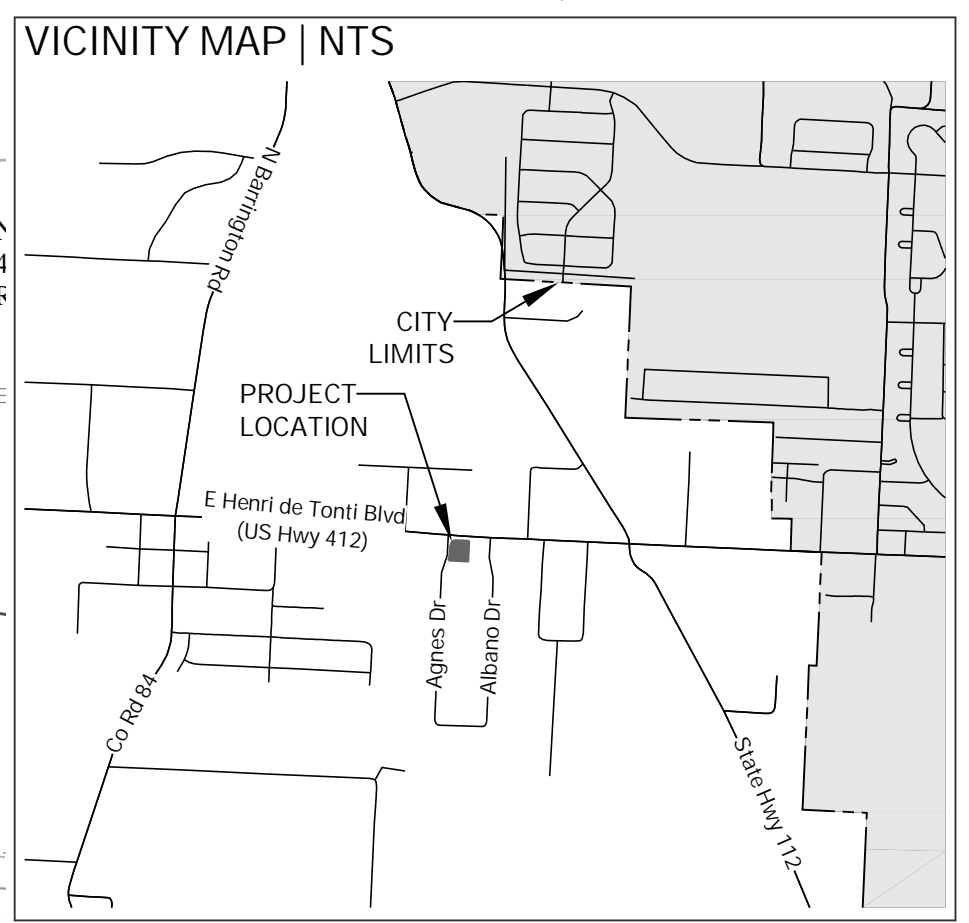
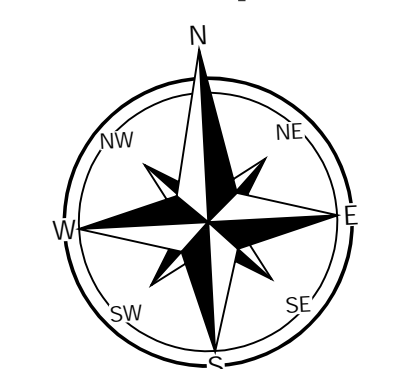
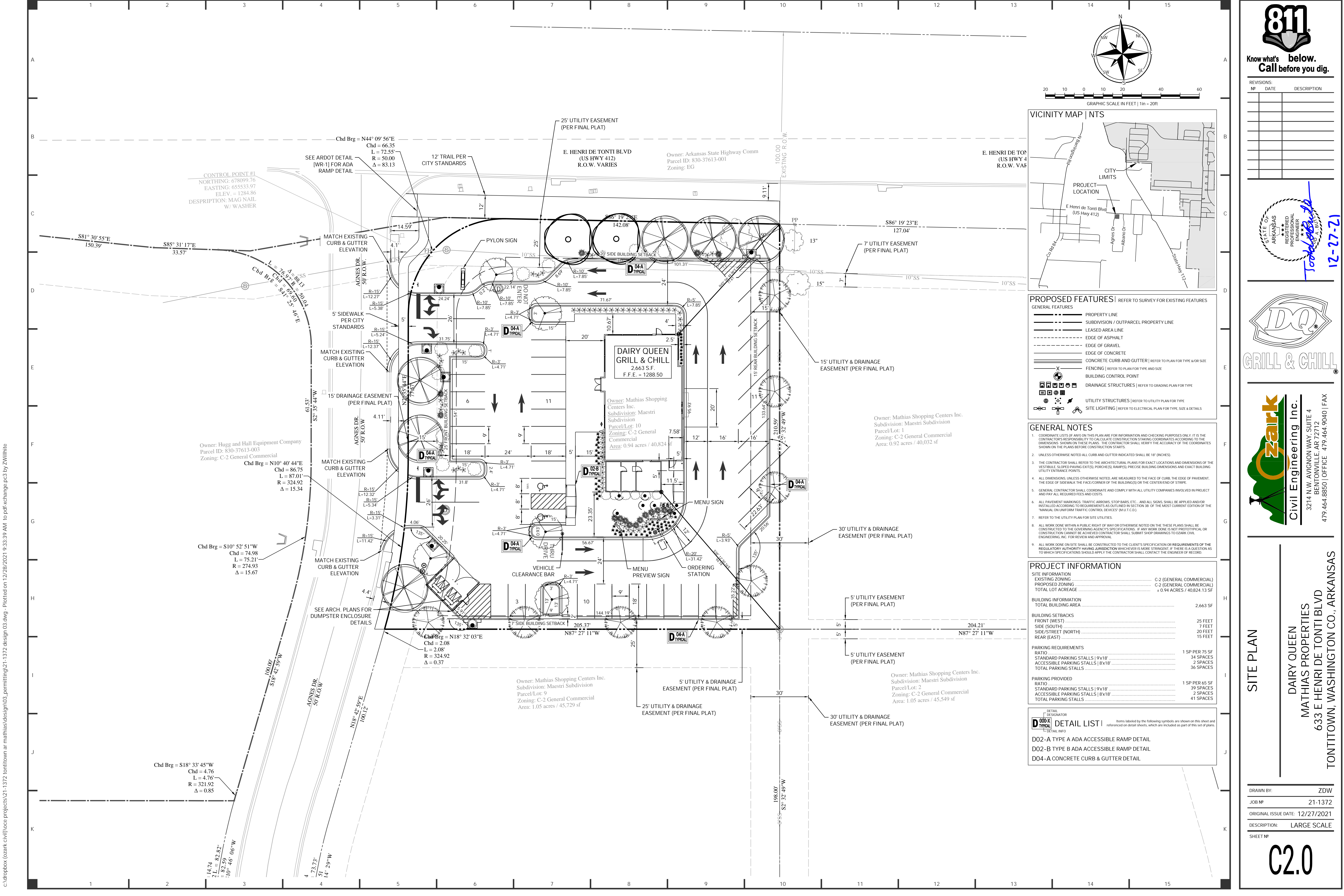
**Ozark**  
 Civil Engineering Inc.  
 3214 N.W. AVIGNON WAY, SUITE 4  
 BENTONVILLE, AR 72712  
 479.464.8850 | OFFICE 479.464.9040 | FAX

#### COVER SHEET

DAIRY QUEEN  
 MATHIAS PROPERTIES  
 633 E HENRI DE TONTI BLVD  
 TONTITOWN, WASHINGTON CO., ARKANSAS

DRAWN BY: ZDW  
 JOB NO: 21-1372  
 ORIGINAL ISSUE DATE: 12/27/2021  
 DESCRIPTION: LARGE SCALE  
 SHEET NO:

# C1.0



**PROPOSED FEATURES** REFER TO SURVEY FOR EXISTING FEATURES

GENERAL FEATURES	REFER TO SURVEY FOR EXISTING FEATURES
PROPERTY LINE	---
SUBDIVISION / OUTPARCEL PROPERTY LINE	- - - - -
LEASED AREA LINE	---
EDGE OF ASPHALT	---
EDGE OF GRAVEL	---
EDGE OF CONCRETE	---
CONCRETE CURB AND GUTTER	---
FENCING	---
BUILDING CONTROL POINT	---
DRAINAGE STRUCTURES	---
UTILITY STRUCTURES	---
SITE LIGHTING	---

- GENERAL NOTES**
- COORDINATE LISTS IF ANY ON THIS PLAN ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN ON THE PLANS BEFORE CONSTRUCTION STARTS.
  - UNLESS OTHERWISE NOTED ALL CURBS AND GUTTERS INDICATED SHALL BE 1" (INCHES).
  - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE VISIBLE, SLOPED PAVING EXITS, PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.
  - ALL DIMENSIONS, UNLESS OTHERWISE NOTED ARE MEASURED TO THE FACE OF CURB, THE EDGE OF PAVEMENT, THE EDGE OF SIDEWALK, THE FACE CORNER OF THE BUILDING OR THE CENTERLINE OF STRIKE.
  - GENERAL CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
  - ALL PAVEMENT MARKINGS, TRAFFIC ARROWS, STOP BARS, ETC., AND ALL SIGNS SHALL BE APPLIED AND/OR INSTALLED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 307 OF THE MOST CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.).
  - REFER TO THE UTILITY PLAN FOR SITE UTILITIES.
  - ALL WORK DONE WITHIN A PUBLIC RIGHT OF WAY OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. IF ANY WORK DONE IS NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OZARK CIVIL ENGINEERING, INC. FOR REVIEW AND APPROVAL.
  - ALL WORK DONE ON SITE SHALL BE CONSTRUCTED TO THE CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHENEVER MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

**PROJECT INFORMATION**

SITE INFORMATION	
EXISTING ZONING	C-2 (GENERAL COMMERCIAL)
PROPOSED ZONING	C-2 (GENERAL COMMERCIAL)
TOTAL LOT ACREAGE	± 0.94 ACRES / 40,824.13 SF
BUILDING INFORMATION	
TOTAL BUILDING AREA	2,663 SF
BUILDING SETBACKS	
FRONT (WEST)	25 FEET
SIDE (SOUTH)	7 FEET
SIDE/STREET (NORTH)	20 FEET
REAR (EAST)	15 FEET
PARKING REQUIREMENTS	
RATIO	1 SP PER 75 SF
STANDARD PARKING STALLS   9'x18'	34 SPACES
ACCESSIBLE PARKING STALLS   8'x18'	2 SPACES
TOTAL PARKING STALLS	36 SPACES
PARKING PROVIDED	
RATIO	1 SP PER 65 SF
STANDARD PARKING STALLS   9'x18'	39 SPACES
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TOTAL PARKING STALLS	41 SPACES

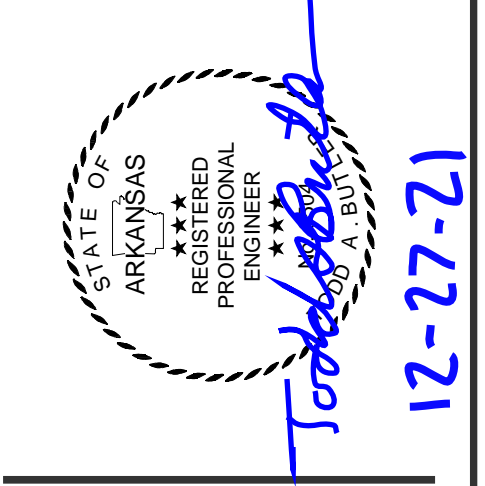
**DETAIL LIST** Items labeled by the following symbols are shown on this sheet and referenced on detail sheets, which are included as part of this set of plans.

DETAIL	DESCRIPTION
D 000-X1 TYPICAL	DETAIL INFO
D02-A	TYPICAL TYPE A ADA ACCESSIBLE RAMP DETAIL
D02-B	TYPICAL TYPE B ADA ACCESSIBLE RAMP DETAIL
D04-A	TYPICAL CONCRETE CURB & GUTTER DETAIL



**REVISIONS:**

NO.	DATE	DESCRIPTION



**Ozark Civil Engineering Inc.**  
 3214 N.W. AVIGNON WAY, SUITE 4  
 BENTONVILLE, AR 72712  
 479.464.8850 | OFFICE 479.464.9040 | FAX

**SITE PLAN**

**DAIRY QUEEN**  
**MATHIAS PROPERTIES**  
 633 E HENRI DE TONTI BLVD  
 TONTITOWN, WASHINGTON CO., ARKANSAS

DRAWN BY:	ZDW
JOB NO:	21-1372
ORIGINAL ISSUE DATE:	12/27/2021
DESCRIPTION:	LARGE SCALE
SHEET NO:	C2.0

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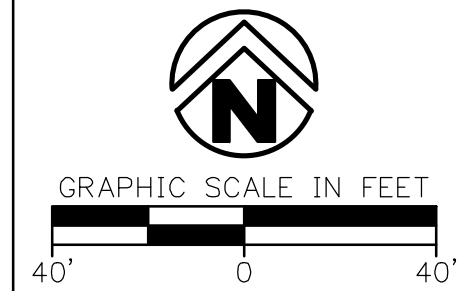
U.S. HIGHWAY 412 (R/W VARIES)

N87° 34' 02" W 1069.10'  
 NE CORNER  
 NE 1/4 SW 1/4  
 SECTION 6  
 T-17-N, R-30-W  
 PER PR 17-37, 17-87,  
 2003-00011781,  
 2004-00017362 &  
 2017-00012702

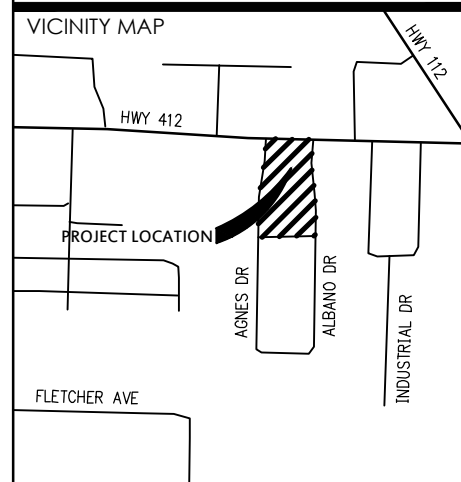
PARCEL LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	1.19'	N86° 25' 00"E
L2	24.72'	S78° 33' 47"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	73.73'	271.92'	15°32'10"	N11° 14' 29"E	73.51'
C2	89.10'	324.92'	15°42'38"	N10° 51' 46"E	88.82'
C3	72.55'	50.00'	83°08'05"	N44° 09' 56"E	66.35'
C4	5.74'	50.00'	6°34'52"	S89° 36' 49"E	5.74'
C5	70.82'	50.00'	81°09'05"	S37° 59' 15"E	65.05'
C6	91.55'	325.00'	16°08'24"	S5° 30' 47"E	91.25'
C7	77.48'	275.00'	16°08'31"	S5° 30' 47"E	77.22'
C8	83.07'	325.00'	14°38'39"	S4° 45' 55"E	82.84'
C9	8.48'	325.00'	1°29'45"	S12° 50' 07"E	8.48'
C10	87.01'	324.92'	15°20'35"	N10° 40' 44"E	86.75'

RECORD INFORMATION



BASIS OF BEARING: GRID NORTH,  
 ARKANSAS STATE PLANE COORDINATE  
 SYSTEM, NORTH ZONE, NAD 83 HORIZONTAL  
 DATUM AND NAVD 88 VERTICAL DATUM  
 DETERMINED BY GPS OBSERVATION ON THE  
 CITY OF TONTITOWN CONTROL MONUMENTS  
 USING THEIR PUBLISHED VALUES.



FINAL PLAT  
 MAESTRI SUBDIVISION  
 SECTION 6, T-17-N, R-30-W

TONTITOWN ARKANSAS

PREPARED FOR:  
 MATHIAS PROPERTIES, INC.

STATE PLAT CODE:  
 500-17N-30W-0-06-300-72-1460

DATE: 12/22/2021  
 PROJECT NO.: 17103600  
 CONTACT: K MONTGOMERY

901 N. 47th St., Suite 400  
 Rogers, Arkansas 72756

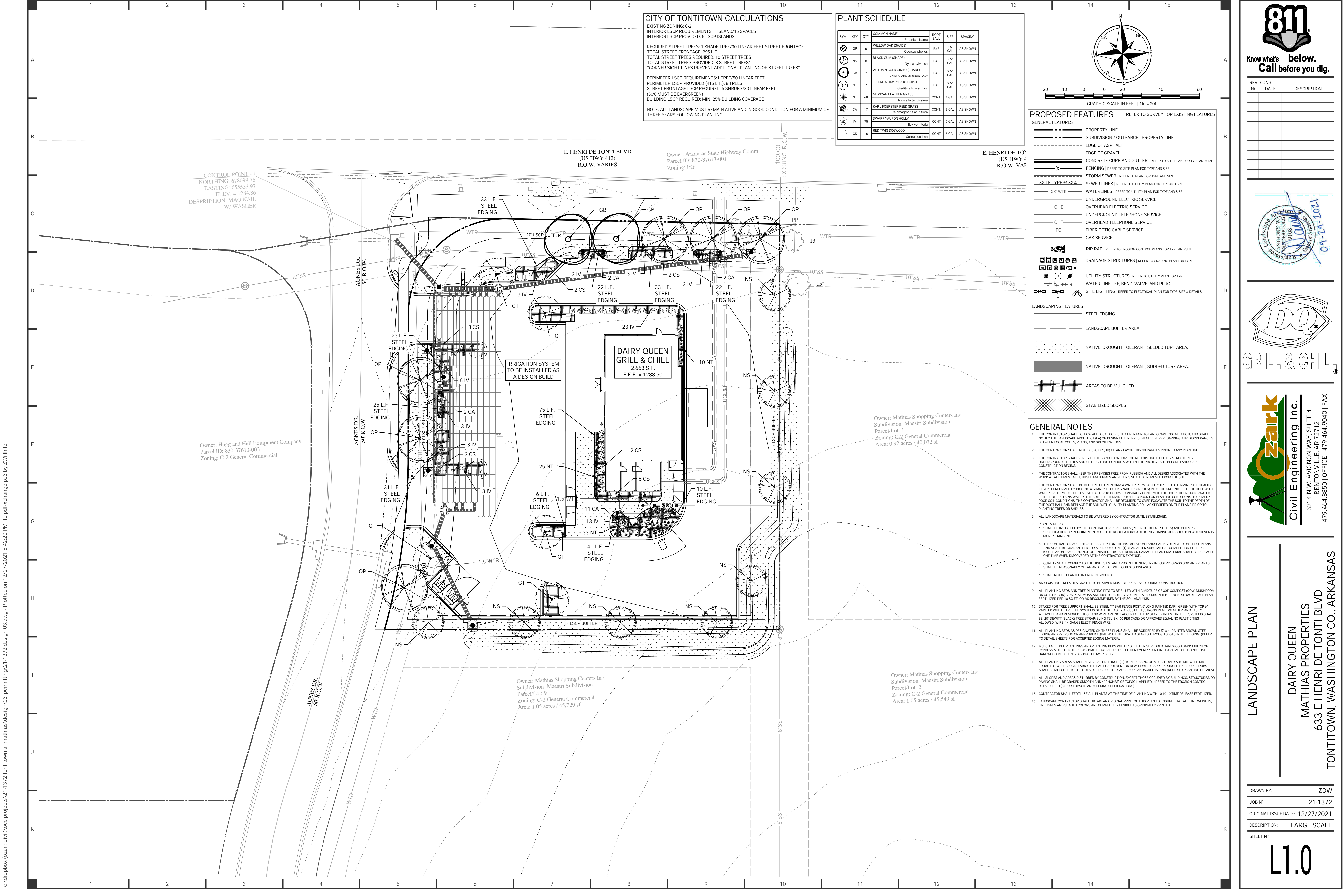
Crafton Tull  
 architecture | engineering | surveying  
 479.636.4838 | 479.631.6224 |  
 www.craftontull.com

CERTIFICATE OF AUTHORIZATION

DELTA	DESCRIPTION	DATE

SHEET NO.: 2 OF 3

DRAWING: G:\17103600\MATHIAS\NEAR\STRUCTURES\SURVEY\DWG\17103600\_FINAL\_PLAT.DWG  
 LAYOUT: LAYOUT2, LAST SAVED: RW590, 12/21/2021 12:57:02 PM  
 LAST PLOTTED BY: ROBERT WOODS, 12/22/2021 12:46:15 PM, PLOTTED BY: VALID ON HARD COPY ONLY



**CITY OF TONTITOWN CALCULATIONS**

EXISTING ZONING: C-2  
 INTERIOR LSCP REQUIREMENTS: 1 ISLAND/15 SPACES  
 INTERIOR LSCP PROVIDED: 5 LSCP ISLANDS

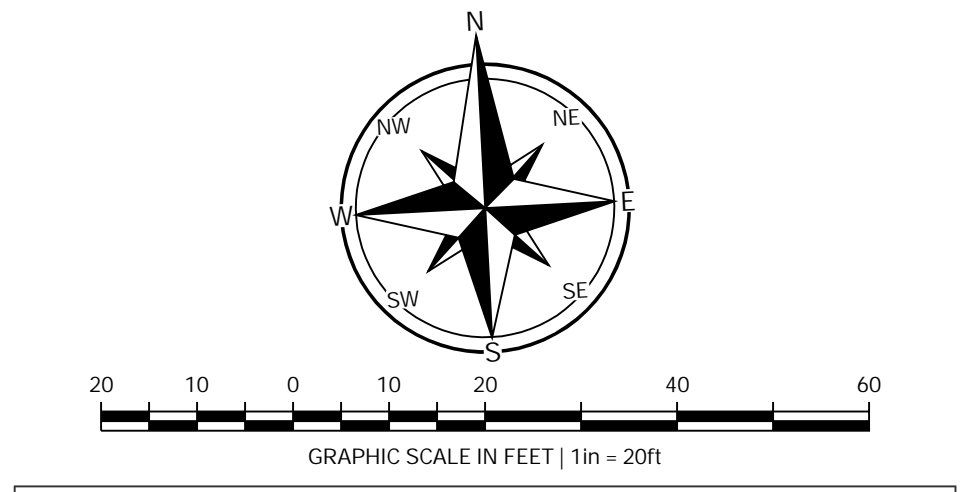
REQUIRED STREET TREES: 1 SHADE TREE/30 LINEAR FEET STREET FRONTAGE  
 TOTAL STREET FRONTAGE: 295 LF  
 TOTAL STREET TREES REQUIRED: 10 STREET TREES  
 TOTAL STREET TREES PROVIDED: 8 STREET TREES  
 \*CORNER SIGHT LINES PREVENT ADDITIONAL PLANTING OF STREET TREES\*

PERIMETER LSCP REQUIREMENTS: 1 TREE/50 LINEAR FEET  
 PERIMETER LSCP PROVIDED (415 LF): 8 TREES  
 STREET FRONTAGE LSCP REQUIRED: 5 SHRUBS/30 LINEAR FEET  
 (50% MUST BE EVERGREEN)  
 BUILDING LSCP REQUIRED: MIN. 25% BUILDING COVERAGE

NOTE: ALL LANDSCAPE MUST REMAIN ALIVE AND IN GOOD CONDITION FOR A MINIMUM OF THREE YEARS FOLLOWING PLANTING

**PLANT SCHEDULE**

SYM	KEY	QTY	COMMON NAME	Botanical Name	ROOT BALL	SIZE	SPACING
OP	6	6	WILLOW OAK (SHADE)	<i>Quercus phellos</i>	B&B	2.5' CAL	AS SHOWN
NS	8	8	BLACK GUM (SHADE)	<i>Nyssa sylvatica</i>	B&B	2.5' CAL	AS SHOWN
GB	2	2	AUTUMN GOLD GINKGO (SHADE)	<i>Ginkgo biloba 'Autumn Gold'</i>	B&B	2.5' CAL	AS SHOWN
GT	7	7	THORNLESS HONEY LOCUST (SHADE)	<i>Gleditsia thornanthos</i>	B&B	2.5' CAL	AS SHOWN
NT	68	68	MEXICAN FEATHER GRASS	<i>Nassella tenuissima</i>	CONT.	1 GAL	AS SHOWN
CA	17	17	KARL FOERSTER REED GRASS	<i>Cataglyphis acutiflora</i>	CONT.	3 GAL	AS SHOWN
IV	75	75	DWARF YALPORN HOLLY	<i>Ilex vomitoria</i>	CONT.	5 GAL	AS SHOWN
CS	16	16	RED TWIG DOGWOOD	<i>Cornus sericea</i>	CONT.	5 GAL	AS SHOWN



GRAPHIC SCALE IN FEET | 1 in = 20 ft

**PROPOSED FEATURES** REFER TO SURVEY FOR EXISTING FEATURES

- GENERAL FEATURES**
- PROPERTY LINE
  - SUBDIVISION / OUTPARCEL PROPERTY LINE
  - EDGE OF ASPHALT
  - EDGE OF GRAVEL
  - CONCRETE CURB AND GUTTER | REFER TO SITE PLAN FOR TYPE AND SIZE
  - FENCING | REFER TO SITE PLAN FOR TYPE AND SIZE
  - STORM SEWER | REFER TO PLAN FOR TYPE AND SIZE
  - SEWER LINES | REFER TO UTILITY PLAN FOR TYPE AND SIZE
  - WATER LINES | REFER TO UTILITY PLAN FOR TYPE AND SIZE
  - UNDERGROUND ELECTRIC SERVICE
  - OVERHEAD ELECTRIC SERVICE
  - UNDERGROUND TELEPHONE SERVICE
  - OVERHEAD TELEPHONE SERVICE
  - FIBER OPTIC CABLE SERVICE
  - GAS SERVICE
  - RIP RAP | REFER TO EROSION CONTROL PLANS FOR TYPE AND SIZE
  - DRAINAGE STRUCTURES | REFER TO GRADING PLAN FOR TYPE
  - UTILITY STRUCTURES | REFER TO UTILITY PLAN FOR TYPE
  - WATER LINE TEE, BEND, VALVE, AND PLUG
  - SITE LIGHTING | REFER TO ELECTRICAL PLAN FOR TYPE, SIZE & DETAILS
- LANDSCAPING FEATURES**
- STEEL EDGING
  - LANDSCAPE BUFFER AREA
  - NATIVE, DROUGHT TOLERANT, SEEDED TURF AREA
  - NATIVE, DROUGHT TOLERANT, SODDED TURF AREA
  - AREAS TO BE MULCHED
  - STABILIZED SLOPES

**GENERAL NOTES**

- THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT (L.A.) OR DESIGNATED REPRESENTATIVE (DR) REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY (L.A.) OR (DR) OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES, AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
- THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DIGGING A SHARP-SHOOTER SPADE 15" (INCHES) INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 18 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
- ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.
- PLANT MATERIAL:
  - a. SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS, REFER TO DETAIL SHEETS TO AND CLIENTS SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHOEVER IS MORE STRINGENT.
  - b. THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION LANDSCAPING DEPICTED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.
  - c. QUALITY SHALL COMPLY TO THE HIGHEST STANDARDS IN THE NURSERY INDUSTRY. GRASS SOD AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.
  - d. SHALL NOT BE PLANTED IN FROZEN GROUND.
- ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.
- ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF 30% COMPOST (COW, MUSHROOM OR COTTON BUR), 20% PEAT MOSS AND 50% TOPSOIL BY VOLUME. ALSO MIX IN 1LB 10-20-10 SLOW RELEASE PLANT FERTILIZER PER 100 SQ. FT. OR AS RECOMMENDED BY THE SOIL ANALYSIS.
- STAKES FOR TREE SUPPORT SHALL BE STEEL "T" BAR FENCE POST. 6' LONG, PAINTED DARK GREEN WITH TOP 4" PAINTED WHITE. TREE THE SYSTEMS SHALL BE EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. TREE THE SYSTEMS SHALL BE 20' DEWITT (BLACK) TREE STRAPPING/SLING TSL-BX (60 PER CASE) OR APPROVED EQUAL AND PLASTIC TIES ALLOWED: WIRE: 14 GAUGE ELECT. FENCE WIRE.
- ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY 1/2" x 4" PAINTED BROWN STEEL EDGING AND OVERSEEN OR APPROVED EQUAL, WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL).
- MULCH ALL TREE PLANTINGS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH. DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.
- ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDLOCK" FABRIC BY "EASY GARDENER" OR DEWITT WEED BARRIER. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAVERS OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEETS) FOR TOPSOIL AND SEEDING SPECIFICATIONS.
- CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TREE RELEASE FERTILIZER.
- LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO ENSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADINGS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.

**811**  
 Know what's below.  
 Call before you dig.

REVISIONS:

NO	DATE	DESCRIPTION



**Zark**  
 Civil Engineering Inc.  
 3214 N.W. AVIGNON WAY, SUITE 4  
 BENTONVILLE, AR 72712  
 479.464.8850 | OFFICE 479.464.9040 | FAX

**LANDSCAPE PLAN**

**DAIRY QUEEN  
 MATHIAS PROPERTIES**

633 E HENRI DE TONTI BLVD  
 TONTITOWN, WASHINGTON CO., ARKANSAS

DRAWN BY: ZDW  
 JOB NO: 21-1372  
 ORIGINAL ISSUE DATE: 12/27/2021  
 DESCRIPTION: LARGE SCALE  
 SHEET NO:

**L1.0**

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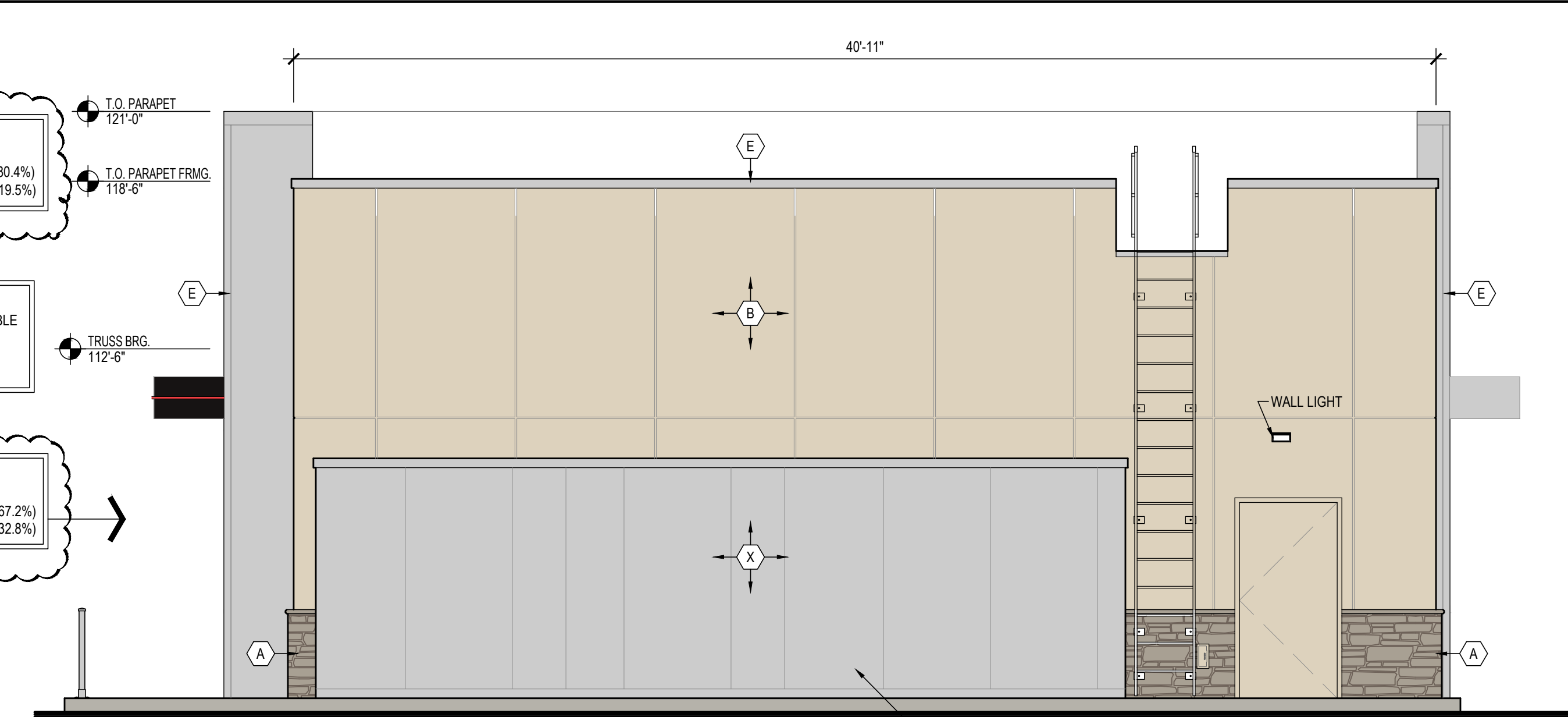


**EXTERIOR MATERIALS CALCULATION**  
 WALL AREA: 818 SF - 208SF (GLASS) = 610 SF  
 STUCCO + STONE (PRIMARY): = 491 SF (80.4%)  
 ARCHITECTURAL TRIM: = 119 SF (19.5%)

**SIGNAGE CALCULATION**  
 WALL AREA = 817 SF X 15% = 122.55 SF ALLOWABLE  
 DQ SIGN = 46.70 SF  
 GRILL & CHILL SIGN = 29.64 SF  
 SIGN AREA PROVIDED = 76.34 SF

NOTE: ALL SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT

**EXTERIOR MATERIALS CALCULATION**  
 WALL AREA: = 760SF  
 STUCCO & STONE (PRIMARY): = 511 SF (67.2%)  
 METAL PANEL: = 249 SF (32.8%)



2 REAR (SOUTH) ELEVATION  
 SCALE: 1/4" = 1'-0"

1 FRONT (NORTH) ELEVATION  
 SCALE: 1/4" = 1'-0"

**JAMES E. WILKERSON**  
 A.I.A.  
 119 East Tallulah Drive  
 Greenville, S.C. 29605  
 864-370-2582  
 864-240-5375 f

*James E. Wilkerson*  
 REGISTERED ARCHITECT  
 JAMES E. WILKERSON  
 No. 8091  
 STATE OF ARKANSAS  
 11/18/21

JOB NO. 202124

DQ GRILL & CHILL  
 US HWY 412 & AGNES RD  
 TONTOTOWN, AR



AMERICAN DAIRY QUEEN  
 MINNEAPOLIS, MN U.S.A.

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**BUILDING TYPE:**  
 DAIRY QUEEN GRILL & CHILL  
 CORE66  
 STORE No. 10643

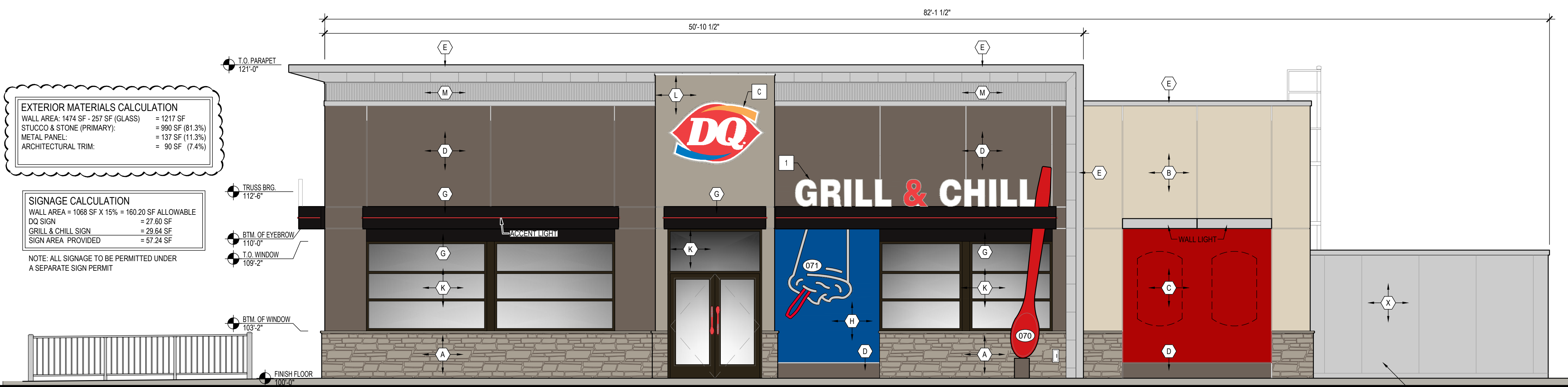
DRAWN, CHECKED, & APPROVED BY: ADQ DESIGN-ARCHITECTURE-CONSTRUCTION (DAC) DEPARTMENT

THIS IS "PLAN" NORTH FOR ACTUAL BUILDING ORIENTATION REFER TO SITE PLAN (BY OTHERS)

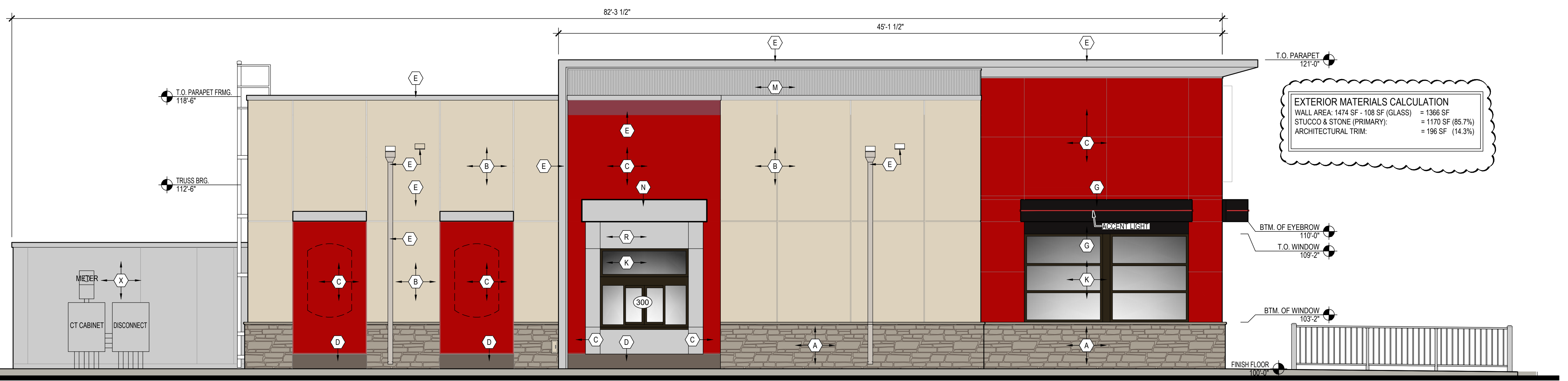
ISSUE DATE:	10/22/21
REVISION DATE:	11/18/21
10/22/21	△ ISSUE FOR CONSTRUCTION
11/18/21	△ REVISED FOR CONSTRUCTION
	△
	△
	△
	△

**ELEVATIONS**

SHEET NUMBER:  
**A3.1**



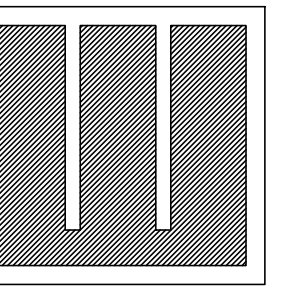
3 ENTRANCE (WEST) ELEVATION  
 SCALE: 1/4" = 1'-0"



4 DRIVE-THRU (EAST) ELEVATION  
 SCALE: 1/4" = 1'-0"

**EXTERIOR MATERIALS CALCULATION**  
 WALL AREA: 1474 SF - 108 SF (GLASS) = 1366 SF  
 STUCCO & STONE (PRIMARY): = 1170 SF (85.7%)  
 ARCHITECTURAL TRIM: = 196 SF (14.3%)





**JAMES E. WILKERSON**  
A.I.A.  
119 East Tallulah Drive  
Greenville, S.C. 29605  
864-370-2582  
864-240-5375 f

JOB NO. 202124

DQ GRILL & CHILL  
US HWY 412 & AGNES RD  
TONTOTOWN, AR



**GRILL & CHILL**

AMERICAN DAIRY QUEEN  
MINNEAPOLIS, MN U.S.A.

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**BUILDING TYPE:**  
DAIRY QUEEN GRILL & CHILL  
**CORE#6**  
**STORE No. XXXXX**

DRAWN, CHECKED, & APPROVED BY: ADQ  
DESIGN-ARCHITECTURE-CONSTRUCTION  
(DAC) DEPARTMENT

THIS IS "PLAN" NORTH  
FOR ACTUAL BUILDING  
ORIENTATION REFER TO  
SITE PLAN (BY OTHERS)

ISSUE DATE: 09/16/21

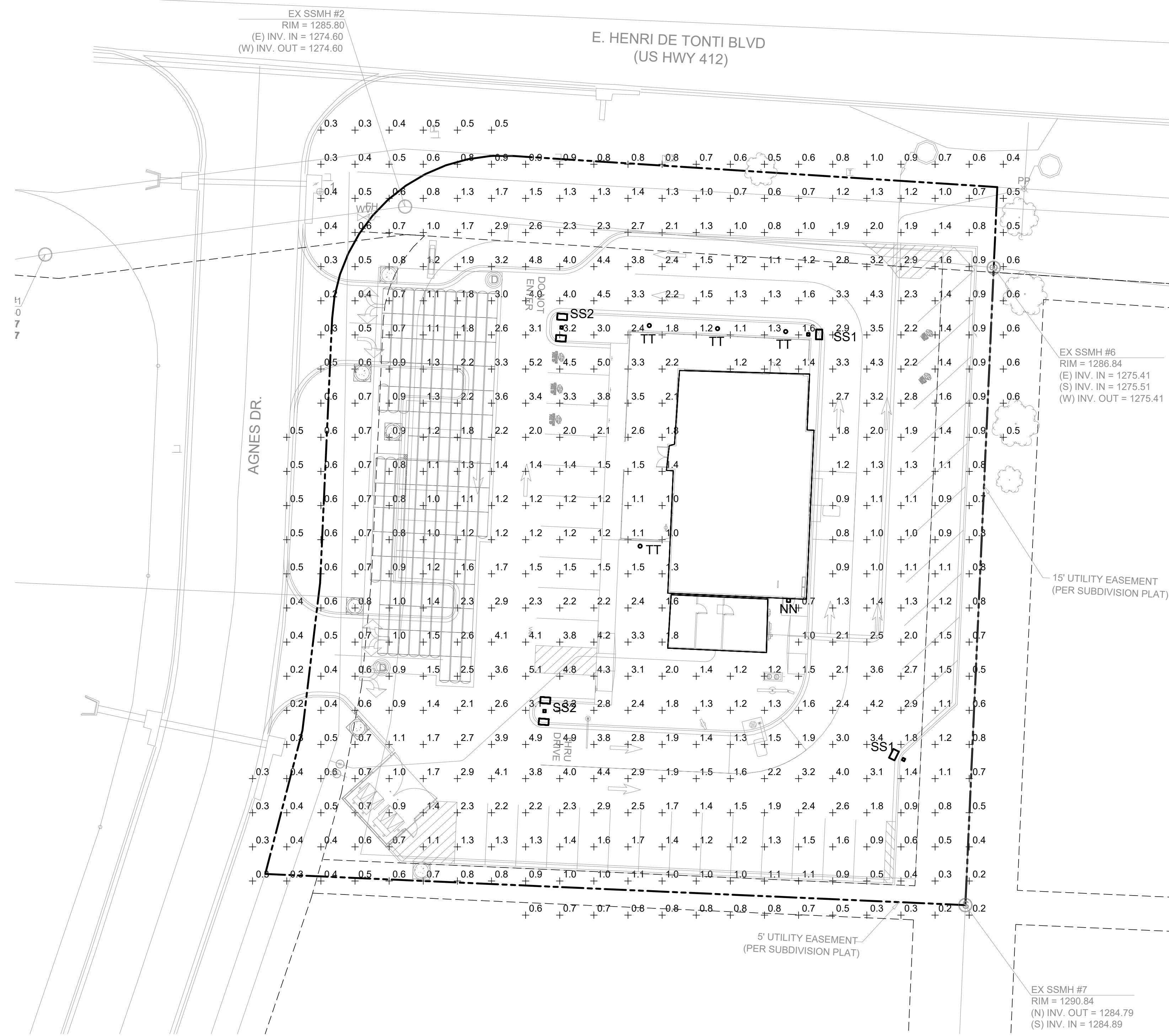
REVISION DATE:

09/16/21	△	ISSUE FOR REVIEW
	△	
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	△	
	△	

**SITE  
PHOTOMETRIC  
PLAN**

SHEET NUMBER:

**E3.2**



**1 SITE PHOTOMETRICS PLAN**

E3.2 SCALE: 1" = 20'-0"

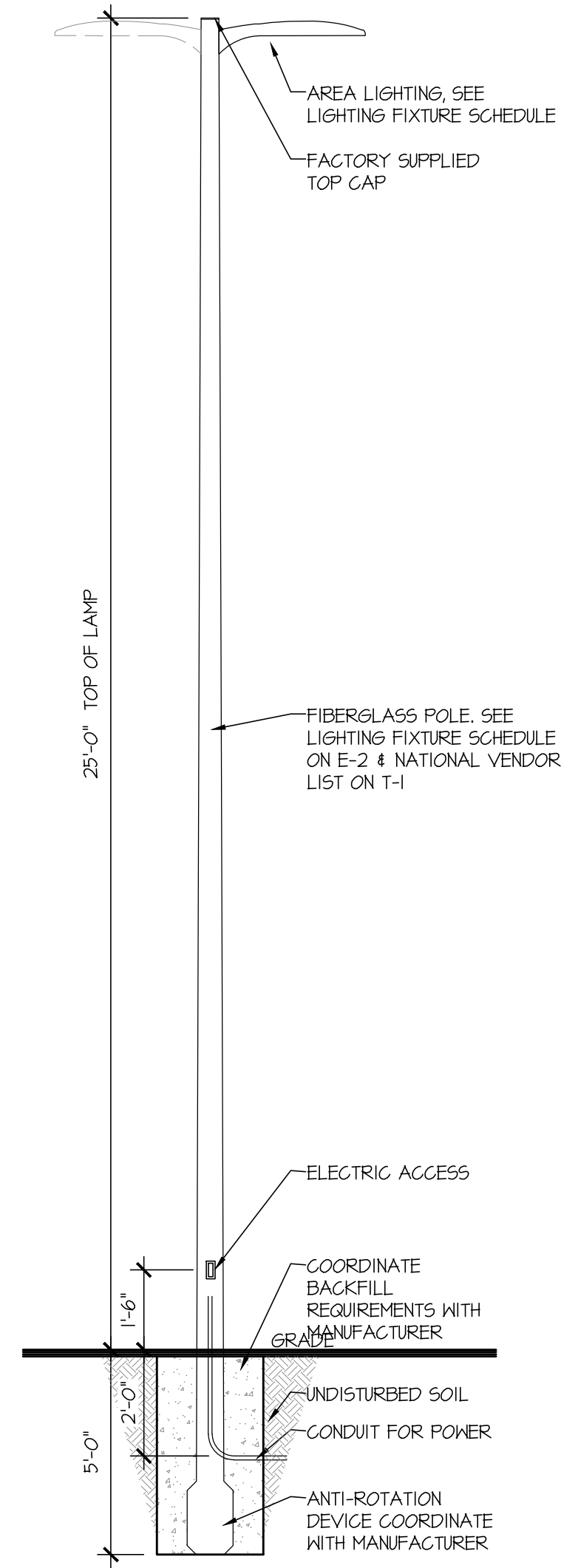
**GENERAL NOTES**

1. VERIFY WITH LOCAL MUNICIPAL CODE MINIMUM, AVERAGE AND MAXIMUM LIGHTING LEVELS ALLOWABLE BY LOCAL CODE REQUIREMENTS.
2. READINGS SHOWN ARE BASED ON A TOTAL LLF OF .95 AT GRADE.
3. PLEASE REFER TO THE "LUMINAIRE LOCATIONS" TABLE FOR MOUNTING HEIGHTS.

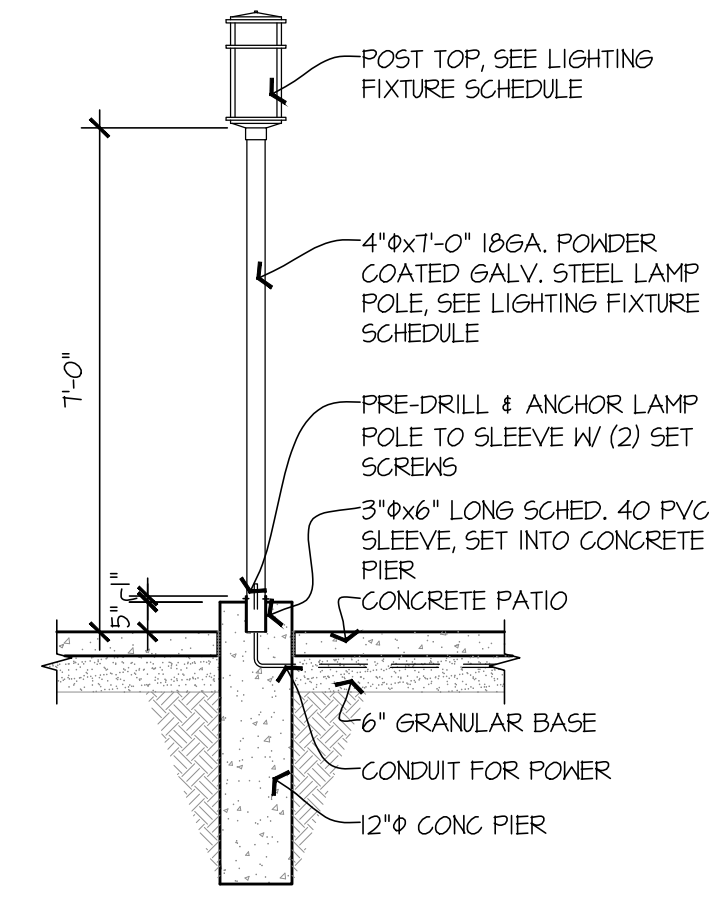
**LIGHTING SCHEDULE: AVERAGE ILLUMINATION = 1.3 fc**

PLAN SYM.	QTY.	LOCATION	FIXTURE MFG.	FIXTURE CATALOG NUMBER	LUMENS	LIGHT LOSS	WATTAGE
NN	1	OUTDOOR SECURITY	KEENE	LP7-T	-	-	5.0
SS1	2	PARKING LOT	PREMIUM QUALITY LIGHTING INC.	LED STEALTH V2-83971 POLE: ALLIANCE COMPOSITES #DS24XSDN1	15592	0.95	145.1
SS2	2	PARKING LOT	PREMIUM QUALITY LIGHTING INC.	LED STEALTH V2-83971 (2-FIXTURES) POLE: ALLIANCE COMPOSITES #DS24XSDN1	31184	0.95	145.1
TT	4	PATIO	HINKLEY LIGHTING	REEF-1951-HE	840	.95	30.0





**A SITE LIGHT SS1**  
E3.3 SCALE: 3/8" = 1'-0"



**B PATIO LIGHT TT**  
E3.3 SCALE: 3/8" = 1'-0"

**LED STEALTH™ V2**  
OUTDOOR • EXTERIOR LIGHTING

Superior Life® LED Stealth™ fixtures are an energy saving alternative to traditional Metal Halide or HPS fixtures. Our luminaires deliver bright, uniform light with a long life (50,000 hrs) significantly reducing maintenance costs over the life of the fixture. The modern design is sleek, light weight, and rated for outdoor application.

**FEATURES**

- High Lumen Per Watt Design
- Slim & Modern Design
- Brighter and Whiter
- Mercury Free - Environmentally friendly.
- No Delay, Quick Start Up
- Quick-Mount System\* - Simple 1 person installation.
- Built-In Surge Protection
- Wet Location Rated (IP65)
- Dimmable (1-10V, Range 10% - 100%)
- Customizable - available in a variety of finishes and color temperatures. Contact your sales representative to discuss your specific needs.

**APPLICATION COMMERCIAL & INDUSTRIAL**

**IDA**

Parking Areas  
Perimeter Lighting  
Street/Roadway  
Security  
Dealerships  
Outdoor Parks

**WARRANTY\***

**QUALIFICATIONS\***

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www.PQLighting.com Rev: 06/11/2020

Fixtures are available in a variety of finishes and color temperatures. Quick Mount brackets can be ordered to match fixture finish. Some items below may be special order; contact your sales representative to discuss your specific needs.

**120-277V FIXTURES (Mounting bracket not included)\***

WATTS	ITEM#	DESCRIPTION	DLC*	CCT	LUMENS	LM/W	BEAM	CRI	FINISH	W/LIFE HOURS	TRAD. EQUIV.	CASE
<b>0-10V DIMMING</b>												
80	83965	STEALTH™ 80W/50K/120-277V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	1329	142	Type III	83	BRONZE	50,000	200W	1
	83966	STEALTH™ 80W/50K/120-277V/0-10V DIMM/WHITE/V2 - SL*	★	5000K	1329	142	Type III	83	WHITE	50,000	200W	1
104	83968	STEALTH™ 100W/50K/120-277V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	14627	141	Type III	84	BRONZE	50,000	250W	1
	83969	STEALTH™ 100W/50K/120-277V/0-10V DIMM/WHITE/V2 - SL*	★	5000K	14627	141	Type III	84	WHITE	50,000	250W	1
147	83971	STEALTH™ 150W/50K/120-277V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	20723	141	Type III	84	BRONZE	50,000	400W	1
	83972	STEALTH™ 150W/50K/120-277V/0-10V DIMM/WHITE/V2 - SL*	★	5000K	20723	141	Type III	84	WHITE	50,000	400W	1
186	83974	STEALTH™ 185W/50K/120-277V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	25843	139	Type III	84	BRONZE	50,000	750W	1
	83975	STEALTH™ 185W/50K/120-277V/0-10V DIMM/WHITE/V2 - SL*	★	5000K	25843	139	Type III	84	WHITE	50,000	750W	1
302	83977	STEALTH™ 300W/50K/120-277V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	42218	140	Type III	84	BRONZE	50,000	1000W	1

**200-480V FIXTURES (Mounting bracket not included)\***

WATTS	ITEM#	DESCRIPTION	DLC*	CCT	LUMENS	LM/W	BEAM	CRI	FINISH	W/LIFE HOURS	TRAD. EQUIV.	CASE
<b>0-10V DIMMING</b>												
83	83980	STEALTH™ 80W/50K/480V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	11894	143	Type III	84	BRONZE	50,000	200W	1
151	83982	STEALTH™ 150W/50K/480V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	21327	141	Type III	84	BRONZE	50,000	400W	1
189	83983	STEALTH™ 185W/50K/480V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	26280	139	Type III	83	BRONZE	50,000	750W	1
305	83984	STEALTH™ 300W/50K/480V/0-10V DIMM/BRONZE/V2 - SL*	★	5000K	42616	140	Type III	84	BRONZE	50,000	1000W	1

**ACCESSORIES**

ITEM#	DESCRIPTION	CASE
83960	QUICK-MOUNT™ TRUNNION MOUNT BRACKET FOR STEALTH™/BRONZE/V2 - SUPERIOR LIFE®	10
83956	QUICK-MOUNT™ ADAPTER TO MOUNT ON ROUND OR FLAT POLE FOR STEALTH™/BRONZE/V2 - SUPERIOR LIFE®	10
83954	QUICK-MOUNT™ ADAPTER TO MOUNT ON ROUND OR FLAT POLE FOR STEALTH™/WHITE/V2 - SUPERIOR LIFE®	10
83955	QUICK-MOUNT™ SLIP FITTER FOR STEALTH™/BRONZE/V2 - SUPERIOR LIFE®	1
83646	ADAPTER TO MOUNT A SLIP FITTER ON A FLAT POLE OR WALL/BRZ/V2 - SUPERIOR LIFE®	1
84004	GLARE SHIELD FOR LED STEALTH™ 80W-185W/BRONZE/V2 - SUPERIOR LIFE®	10
84005	GLARE SHIELD FOR LED STEALTH™ 240W-300W/BRONZE/V2 - SUPERIOR LIFE®	10
84015	DOOR FRAME ONLY FOR LED STEALTH™ WITH SENSOR CUT-OUT/80W-185W/BRONZE/V2 - SUPERIOR LIFE®	1
84016	DOOR FRAME ONLY FOR LED STEALTH™ WITH SENSOR CUT-OUT/240W-300W/BRONZE/V2 - SUPERIOR LIFE®	1
54892	360° OUTDOOR FIXTURE BI-LEVEL AND DAYLIGHT HARVEST PIR SENSOR 30" DIA. UP TO 40' HEIGHT 800W/1200W - 120/277V2 - SUPERIOR LIFE®	100
83963	PHOTO CONTROL FOR LED STEALTH™ V2 FIXTURE/120-277V - SUPERIOR LIFE®	50
83964	PHOTO CONTROL FOR LED STEALTH™ V2 FIXTURE/480V - SUPERIOR LIFE®	50

\*The Quick-Mount brackets are not included with the fixture, it is ordered as a separate item number. For DLC\* qualification one of the Quick-Mount brackets must be purchased.

Key: SL = Superior Life® DIMM = DIMMABLE / LM = Lumens / TRAD. EQUIV. = Traditional Equivalent  
Note: Not all product variations listed on this page are DLC\* qualified. Visit www.designlights.org/search to confirm qualification. \*Published lumens on LED products are approximate and may vary slightly. \*Specifications are subject to change without notice. -Photos and drawings may not be to scale and are for general reference only.

83960 83956 83954 83955 83646 84004 / 84005 84015 / 84016 54892 83963 / 83964

www.PQLighting.com Rev: 06/11/2020

**REEF** **FIXTURE TT**

**1951HE**  
LARGE POST TOP OR PIER MOUNT LANTERN

Reef's contemporary nautical shape features a sleek capsule of inside etched glass captured by bold rings of cast aluminum.

**DETAILS**

FINISH:	Hemattite
MATERIAL:	Cast Aluminum
GLASS:	Inside Etched

**DIMENSIONS**

WIDTH:	9"
HEIGHT:	16.3"
WEIGHT:	8 lbs.

**LIGHT SOURCE**

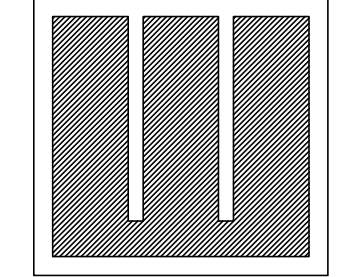
LIGHT SOURCE:	Socket
WATTAGE:	1-100w Med.
VOLTAGE:	120v

**SHIPPING**

CARTON LENGTH:	17.1"
CARTON WIDTH:	10.2"
CARTON HEIGHT:	20"
CARTON WEIGHT:	11 lbs.

**PRODUCT DETAILS:**

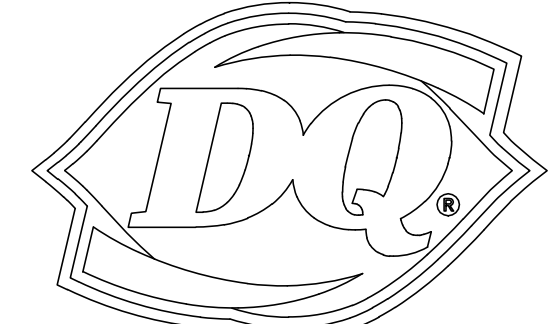
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- 2 year finish warranty
- Classic, modern style with a nautical flair adds elegance to a variety of exteriors
- Rich gray tone



**JAMES E. WILKERSON**  
A.I.A.  
119 East Tallulah Drive  
Greenville, S.C. 29605  
864-370-2582  
864-240-5375 f

JOB NO. 202124

DQ GRILL & CHILL  
US HWY 412 & AGNES RD  
TONTOTOWN, AR



**GRILL & CHILL**

AMERICAN DAIRY QUEEN  
MINNEAPOLIS, MN U.S.A.

\*REGISTERED U.S. PATENT OFFICE, AMERICAN DAIRY QUEEN CORPORATION. THIS DRAWING, IT'S DESIGN DETAIL AND INVENTION ARE THE PROPERTY OF AMERICAN DAIRY QUEEN INC. (ADQ) AND SHALL NOT BE COPIED IN ANY MANNER NOR DISCLOSED TO ANY OUTSIDE PARTY WITHOUT ADQ CONSENT.

**BUILDING TYPE:**  
DAIRY QUEEN GRILL & CHILL  
**CORE66**  
STORE No. XXXXX

DRAWN, CHECKED, & APPROVED BY: ADQ  
DESIGN-ARCHITECTURE-CONSTRUCTION  
(DAC) DEPARTMENT

THIS IS "PLAN" NORTH  
FOR ACTUAL BUILDING  
ORIENTATION REFER TO  
SITE PLAN (BY OTHERS)

**ISSUE DATE:** 09/16/21

**REVISION DATE:**

09/16/21	▲	ISSUE FOR REVIEW
	▲	
	▲	
	▲	
	▲	
	▲	

**SITE LIGHT CUT SHEETS**