



## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **September 28, 2021**  
Project: **Mathias Warehouse  
Variance Request**  
Planner: Courtney McNair, Garver

### BOARD OF ZONING ADJUSTMENTS AGENDA ITEM

## PH 1

## BZA 1

### VARIANCE REQUEST

Address: 353 Agnes Drive  
Parcel #: 830-37611-002

**SUMMARY:** Mathias Warehouse is requesting Variance approval to reduce required setbacks on a 3.47 acres site they plan to develop with three (3) warehouse buildings. The associated Large-Scale Development plan was tabled at the applicant's request this meeting in order to give them more time to address staff comments.

**CURRENT ZONING:** I - Industrial

**CITY WARD:** 1-Gene McCartney & Amber Ibarra

**FLOODPLAIN:** No

**INFRASTRUCTURE SERVICE AREAS** (not a guarantee of service availability):

**Water:** Tontitown Water  
**Electric:** Ozarks Electric  
**Sewer/Septic:** Tontitown Sewer  
**Phone:** AT&T  
**Natural Gas:** Source Gas  
**Cable:** Cox Communications  
**School District:** Springdale

#### **PROJECT SYNOPSIS:**

The owner of this property is Mathias Shopping Center Inc, and the applicant is Conner Threet of Crafton Tull & Associates. The property is located on the future Mathias Ave. extension, which connects to Agnes Drive, a Local Street.

The applicant is requesting the setbacks be reduced in order to place three (3) warehouse buildings on this site. Warehouses are allowed by right in Industrial Zoning. The proposed buildings are proposed to be 19,180 sf, Building 1; 14,150 sf, Building 2; and 19,180 sf, Building 3.

#### Industrial Setbacks required:

Front: 100' from the ROW

Side: 75'

Street Side: 50' from the ROW

Rear: 75'

The applicant's request is to reduce the setbacks as follows:

- Decrease the Front Setback from 100' to 50'
- Decrease the Rear Setback from 75' to 60'

From the applicant's letter regarding the **Front Setback**:

"We are requesting to decrease the front setback from 100' to 50'. Mathias Ave. is currently being constructed and the 50' ROW that was dedicated for the roadway has taken away from the setback area that was needed for this project."

This applicant has provided much of the ROW for Mathias Ave. along the front (east) side of the property. This is an important connection for the City of Tontitown, and this portion of the street is being constructed by the City of Tontitown as part of the "Fletcher Road" project.

**The following code shall apply in this situation with regards to the Front Setback:**

Section 153.084 NONRESIDENTIAL LOT, YARD AND HEIGHT REGULATIONS.

*(E) Setback reduced for public purpose. When an existing setback is reduced because of conveyance to a federal, state or local government for a public purpose, and the remaining setback is at least 75% of the required minimum setback for the district in which it is located, then that remaining setback shall be deemed to satisfy minimum setback requirements.*

**The required front setback is 100', but due to the ROW dedication, this would be reduced to 75'. The applicant is requesting a 50' setback, so a variance must still be requested, but it is a lesser variance.**

From the applicant's letter regarding the **Rear Setback**:

"We are requesting the rear setback be decreased from 75' to 60'. A similar variance was granted for the two (2) warehouses located directly north of this proposed development. Our detention area and landscaping will be provided in between the warehouses and the fence along the property line, within the 60' rear setback."

Staff was unable to find information that indicates a variance was approved for the warehouses just north of this site. At TAC Review on May 12, 2015, it was stated that a variance would be needed to reduce the setback from 75' to 64'. The Large-Scale Development for the Mathias Large-Scale Development was then approved on May 26, 2015, and no mention of a variance is listed in the minutes, and this request is not listed on the Board of Zoning Adjustments meeting agenda. The buildings were constructed in 2016. A lot split submitted earlier this year show that these warehouses were constructed 64.7' – 64.8' from the rear property line. Staff will update the Commission if any additional information is located.

Additional regulations have been added since that time that address **Residential Compatibility Standards** as well and need to be considered with this request. Staff has highlighted standards related to setbacks and the extended perimeter buffer; however, the Large-Scale Development project will need to be evaluated for all of the Residential Compatibility Standards as this project proceeds.

Section 153.214 RESIDENTIAL COMPATIBILITY STANDARDS.

(C) *Applicability (triggering property)*. Compatibility standards shall apply to all development in the R-MF-16, C-2, C-T, L-I, and I (EU-L zoning has compatibility standards in § 153.086) zoning districts when such development is adjacent to a "triggering property," which shall include all of the following:

- (1) Property occupied by a single-family dwelling unit that is a use permitted by-right in the zoning district in which it is located; or
  - (2) Property zoned in an A, R-E, R-1, R-2, R-3L, R-3 or R-4 district.
- (3) *Setback standards*. The following setback standards shall apply to all development that is subject to compatibility standards:
- (a) Within 50 feet of the property line, if a building exceeds the height of two stories, the portion of the building that exceeds two stories shall have an additional 15 foot setback from the boundary line of an adjacent "triggering property" for each story above the second story.
  - (b) *Small sites*. On sites with 20,000 square feet of area or less that also have less than 200 feet of street frontage, structures shall be set back from the lot line of triggering property one and one-half times the required setback.
  - (c) *Large sites*. On sites with more than 20,000 square feet of area or 200 feet of street frontage or more, structure shall be set back from the lot line of triggering property a minimum distance equal to twice the required setback for the zone in which the structure is to be located. In this case, the required Rear Setback is 75' for Industrial areas, however, it is adjacent to R3 zoning and a residential subdivision to the west. Therefore, the required setback is 150' from the property line.
  - (d) *Surface-level parking and driveways*. Surface-level off-street parking areas and driveways shall not be subject to the above setback standards; however, such standards shall apply to parking structures. Surface-level parking areas shall be set back a minimum of 25 feet from the lot line of triggering property.
- (4) *Building height*. No structure shall exceed three stories in height within 50 feet from the lot line of triggering property.
- (5) *Screening standards*. All requirements found in § [153.212](#) shall apply. Additionally:
- (a) Decorative walls, vegetative screening, fencing, or earthen berms shall be provided to completely screen off-street parking areas, mechanical equipment, storage areas, and refuse collection areas from view of triggering property.
  - (b) The required perimeter buffer shall increase from the five feet required in § [153.212](#) to 20 feet wide when adjacent to a triggering property.
- (6) *Site design standards*. The following additional site design standards shall apply to development that is subject to the compatibility standards of this section:
- (a) No swimming pool, tennis court, ball field, or playground area (except those that are accessory to a single-family dwelling unit) shall be permitted within 50 feet of the lot line of triggering property.
  - (b) Dumpsters and refuse receptacles shall be located a minimum of 25 feet from the lot line of triggering property.
  - (c) Exterior lighting shall be designed and located to minimize light spilling onto surrounding property.

**As the Residential Compatibility Standards apply to this project, the actual request will be to reduce the Rear Setback from 150' to 60'.**

Section 153.262 Powers and Duties:

*(B) To authorize upon appeal, in specific cases, such variance from the terms of this zoning chapter as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of these regulations would result in unnecessary hardship that would deprive the owner of any reasonable use of the land or building involved. **A variance from the terms of these zoning regulations, shall not be granted by the Board of Zoning Adjustment unless and until:***

- (1) The applicant demonstrates that special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district;*

**Staff's Response:**

- Staff does find special circumstances which are peculiar to this property regarding the required Front Setback for this property as the applicant has dedicated much of the ROW needed to construct Mathias Ave.
- This is one of the last industrial properties in this area to develop, and the lot is similar in depth to other lots within the development.

*that literal interpretation of the provisions of these regulations would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of these regulations.*

**Staff's Response:**

- The applicant has provided most of the ROW (more than their required half) for Mathias Ave., as well as ROW to the south for Fletcher Road, and therefore they could be deprived of rights when regarding the front property setback.
- All Industrial property adjacent to Residential property shall be required to conform to the Residential Compatibility Standards, and therefore, this project is under the same regulations as other properties with the same situations, however, as this is one of the last properties in this area to develop, similar lots were not held to this newer standard.

*that special conditions and circumstances do not result from the actions of the applicant;*

**Staff's Response:**

- At the City's request, the applicant dedicated ROW for Mathias Ave. This was not due to an action by the applicant when regarding the front setback variance request.
- The building design should be considered when reviewing the request for the rear setback variance. Preliminary rear elevations do not show any that any consideration for design adjacent to residential has been considered.

*and that granting the variance requested will not confer on the applicant any special privilege that is denied by the zoning regulations to other lands, structures, or buildings in the same district.*

**Staff's Response:**

- No special privilege would be granted to the applicant. While this is one of the last lots to be developed in this Industrial area, and several other buildings do not conform to required setbacks, staff recommends additional screening and buffering to be placed if the rear setback is reduced.

(2) No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted or nonconforming use of lands, structures, or buildings in other districts shall be considered grounds for the issuance of a variance.

**Staff's Response:**

- The applicant has stated that the reason this application should be granted for the rear setback is because the buildings to the north also do not conform. Beyond the property to the north that may have been granted a variance, several other buildings in this location do not meet setbacks applicable to current code regulations.

One difference between the buildings approved previously on the property to the north and the current request, is the increased number of residences that have been constructed in this adjacent subdivision. Please see below aerial photos from 2016, 2017, and 2021:

**AERIAL PHOTO 2016:**



**AERIAL PHOTO 2017:**

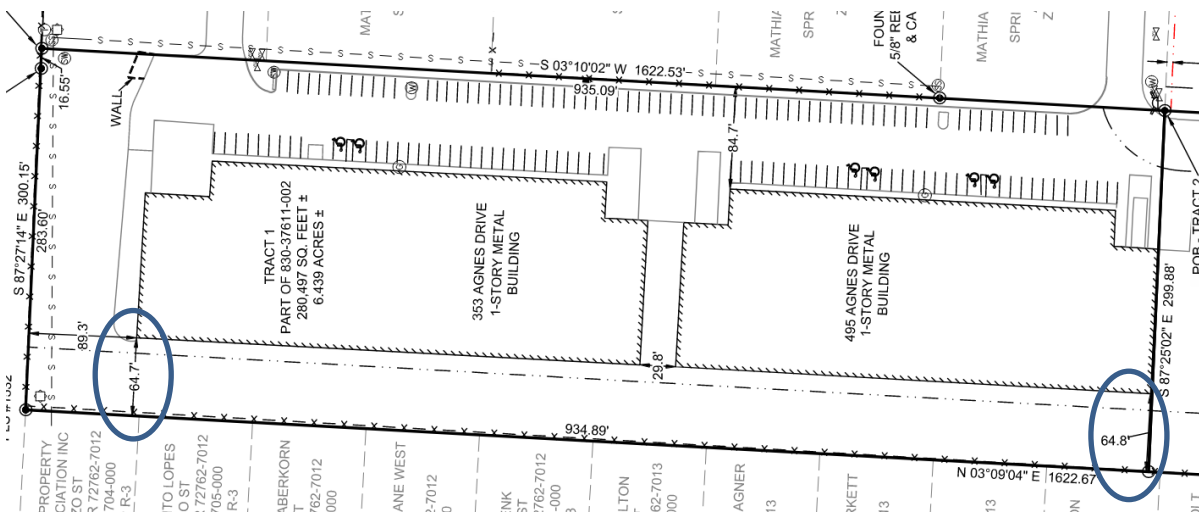


**AERIAL PHOTO 2021**



**Even though this property is surrounded by non-conforming structures, that is not sufficient reason to allow the reduction of the rear setback.**

**Additionally, the structures to the north are 64.7'-64.8' from the property line, so this requested reduction would place the proposed structures even closer to residential properties. See below and attached copy of the recent lot split.**



(3) *The Board of Zoning Adjustment shall further make a finding that the reasons set forth in the application justify the granting of the variance, and that the variance is the minimum variance that will make possible the reasonable use of land, building, or structure.*

**Staff's Response:**

- **The front setback variance request is for a reduction of 25' of setback.**
- **The rear setback variance request is for a reduction of 90' of setback.**

(4) *The Board of Zoning Adjustment shall further make a finding that the granting of the variance will be in harmony with the general purpose and intent of these zoning regulations and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.*

**Staff's Response:**

- **The front setback variance request will be in harmony with the intent of this zoning and will not be injurious to the neighborhood due to the adjacency of other industrial uses on the front (east) side of this property.**
- **Specific standards were recently adopted at the recommendation of Planning Commission by City Council to reduce the impact of non-compatible uses. Some of these standards include the Residential Compatibility Standards. Generally, allowing large industrial buildings to be placed next to a residential subdivision could be injurious to that neighborhood. The rear setback variance request could be injurious or detrimental to adjacent residential properties to the west.**

(5) *In granting any variance, the Board of Zoning Adjustment may prescribe appropriate conditions and safeguards that it deems necessary or desirable. Violations of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of these regulations.*

**Staff's Response:**

- **No additional conditions are recommended at this time regarding the variance request for the front setback reduction.**



- **If the Planning Commission approves the rear setback variance request, staff will recommend additional screening and buffering be placed along the west property line, as well as potential architectural design to limit the bulk of the requested buildings.**

*(6) Under no circumstances shall the Board of Zoning Adjustment grant a variance to allow a use not permissible under the terms of these zoning regulations in the district involved, or any use expressly, or by implication, prohibited by the terms of these regulations in said district.*

**Staff's Response: Granting this request will not allow a use that is not permissible by code.**

**NEIGHBOR COMMENTS:** All neighboring properties within 200 feet of the property boundary were notified by certified mail of this project. Staff has received no comments at this time.

**STAFF RECOMMENDATION:**

Based on the significant dedication of ROW to the City, the compatible adjacent uses on the front (east) side, and the minimal reduction request (25' / 33% reduction request), staff recommends approval of the request to reduce the front setback from the adjusted 75' to 50'.

Based on the potential for significant impact to residential properties, the new regulations recently adopted to reduce the impact of non-compatible uses, and the large reduction request (90' / 60% reduction requested), staff recommends denial of the request to reduce the rear setback from 150' to 60'.

**However, the required 150' setback will significantly impact the ability to place any building on this site.** Staff would consider a lesser setback variance request to be more compatible with the adjacent property and allow the applicant to still be able to use this property.

The property owner has dedicated a large portion of this site for public ROW both on the front (east) side of the lot for Mathias Ave., and the south side of this lot for Fletcher Road, and therefore, a unique condition applicable to this site does exist and relief should be granted so that the owner may use this property within reason.

Even though the rear setback is not impacted by this dedication, a not-insignificant portion of the property in which the owner could have used for building construction has been dedicated for public use.

**Staff does support reducing the rear setback by 50% to 75' with additional buffering, screening, and building articulation as listed in the following recommended conditions.**

If the Planning Commission approves the request to reduce the rear setback from 150' to 75' (or from 150' to 60' per the applicant's original request), staff recommends the following conditions:

1. The Landscape Perimeter buffer be increased to a minimum of 25' in width and shall comply with Chapter 153.212 (L)

- (7) *Special standards: industrial. In addition to the standard required for commercial/institutional, when located adjacent to and within 200 feet from a residential use, increased landscaping standards shall be applied to reduce noise and light glare and to ensure residents' privacy.*
- (a) *Physical barrier. A physical barrier shall be required that shall be a minimum of eight feet in height and may consist of wood or masonry fencing, rock or brick walls, berms, or a combination of these methods.*
  - (b) *Trees and shrubs shall be placed in front of the barrier (on the developing side) to reduce noise.*
  - (c) *Trees and shrubs planted shall provide 60% coverage of the physical barrier within two years.*
  - (d) *At least 50% of the trees and shrubs shall be evergreen.*
2. In addition, the minimum number of required trees to be planted in the perimeter area, shall be increased from one large or two small trees every 50 feet, to one large or two small trees per every 25 feet, or, depending on the species selected, per the recommended spacing for screening as provided by a landscape professional. This Landscape Plan shall be reviewed by Planning Staff and approved by the Planning Commission.
3. Architectural plans shall be submitted as part of the Large-Scale Development (as already required by LSD code) and shall provide articulation and use other methods to reduce the visual bulk of the buildings on the rear (west) side. Elevations shall provide enough detail so that Planning Staff is able to review the proposed impact. The Architectural Plans shall be approved by the Planning Commission.

August 6, 2021

City of Tontitown  
251 E Henri De Tonti Blvd  
Tontitown, Arkansas

Re: Mathias Warehouses  
CTA Job No. 21301600

To whom it may concern,

We are requesting the following variances for the Mathias Warehouses LSDP:

- Decrease the front setback from 100' to 50'
- Decrease the rear setback from 75' to 60'

The proposed usage for the project is warehouse/office. The existing zoning is industrial. We are requesting to decrease the front setback from 100' to 50'. Mathias Ave is currently being constructed and the 50' of right of way that was dedicated for the roadway has taken away from the setback area that was needed for this project. We are requesting the rear setback be decreased from 75' to 60'. A similar variance was granted to the 2 warehouses located directly north of this proposed development. Our detention area and landscaping will be provided in between the warehouses and the fence along the property line, within the 60' rear setback.

Should you have any additional questions, please feel free to contact us.

Sincerely,



Connor Threet, PE  
Project Manager

SITE NOTES

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
- 2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
- 3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- 4. ALL CURB DIMENSIONS AND RADII ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- 5. ALL PAVEMENT MARKINGS DIMENSIONS FACE OF CURB UNLESS OTHERWISE NOTED.
- 6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 7. ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
- 8. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
- 9. CONTRACTOR SHALL MATCH NEW CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- 10. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

LEGEND (EXISTING SYMBOLS)

LINEWORK

EASEMENT

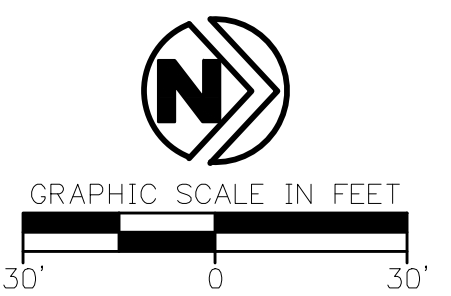
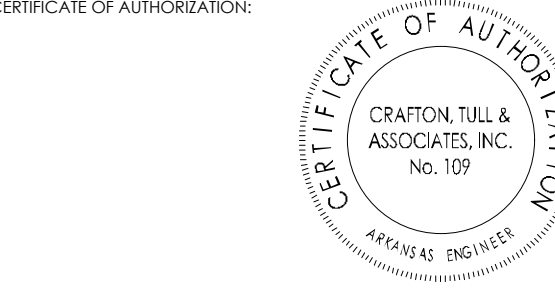
CURB

WOOD FENCE

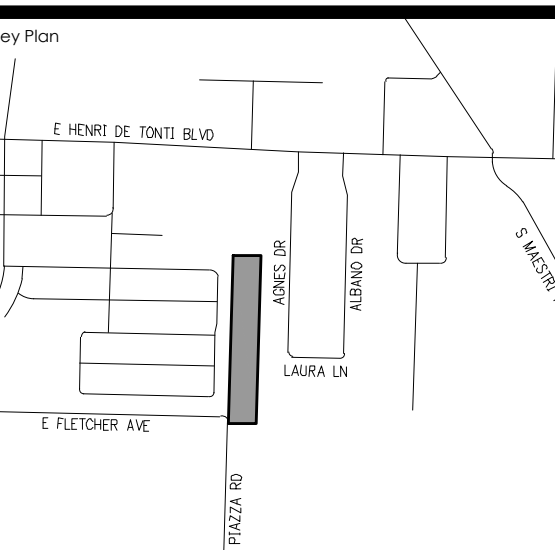
BARBED WIRE FENCE

RIGHT OF WAY

ROAD CENTERLINE



TONTITOWN WAREHOUSES  
TONTITOWN, AR



No.	Description	Date

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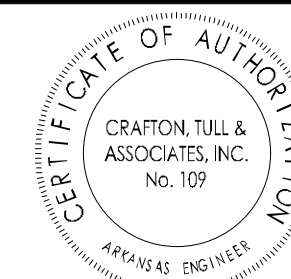
PROJECT NO: 21301400  
ISSUE DATE: 08/06/21  
CONTACT: C. THREET  
CHECKED BY:

**PRELIMINARY PLANS**

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.

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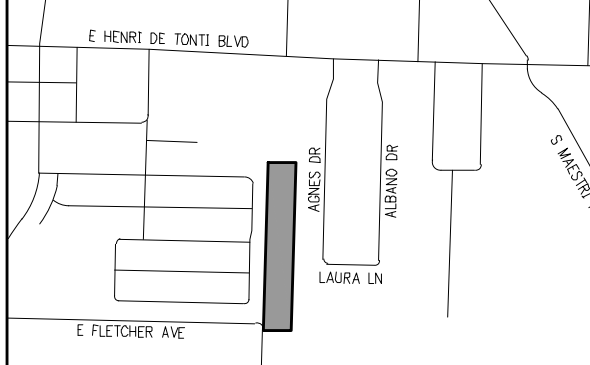
CERTIFICATE OF AUTHORIZATION:



GRAPHIC SCALE IN FEET  
30' 0 30'

TONTITOWN  
WAREHOUSES  
TONTITOWN, AR

Key Plan



No.	Description	Date

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PROJECT NO: 21301400  
ISSUE DATE: 08/04/21  
CONTACT: C. THREET  
CHECKED BY:

PRELIMINARY  
PLANS

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NOT FOR CONSTRUCTION

PRELIMINARY PLAT

**PROJECT INFORMATION**

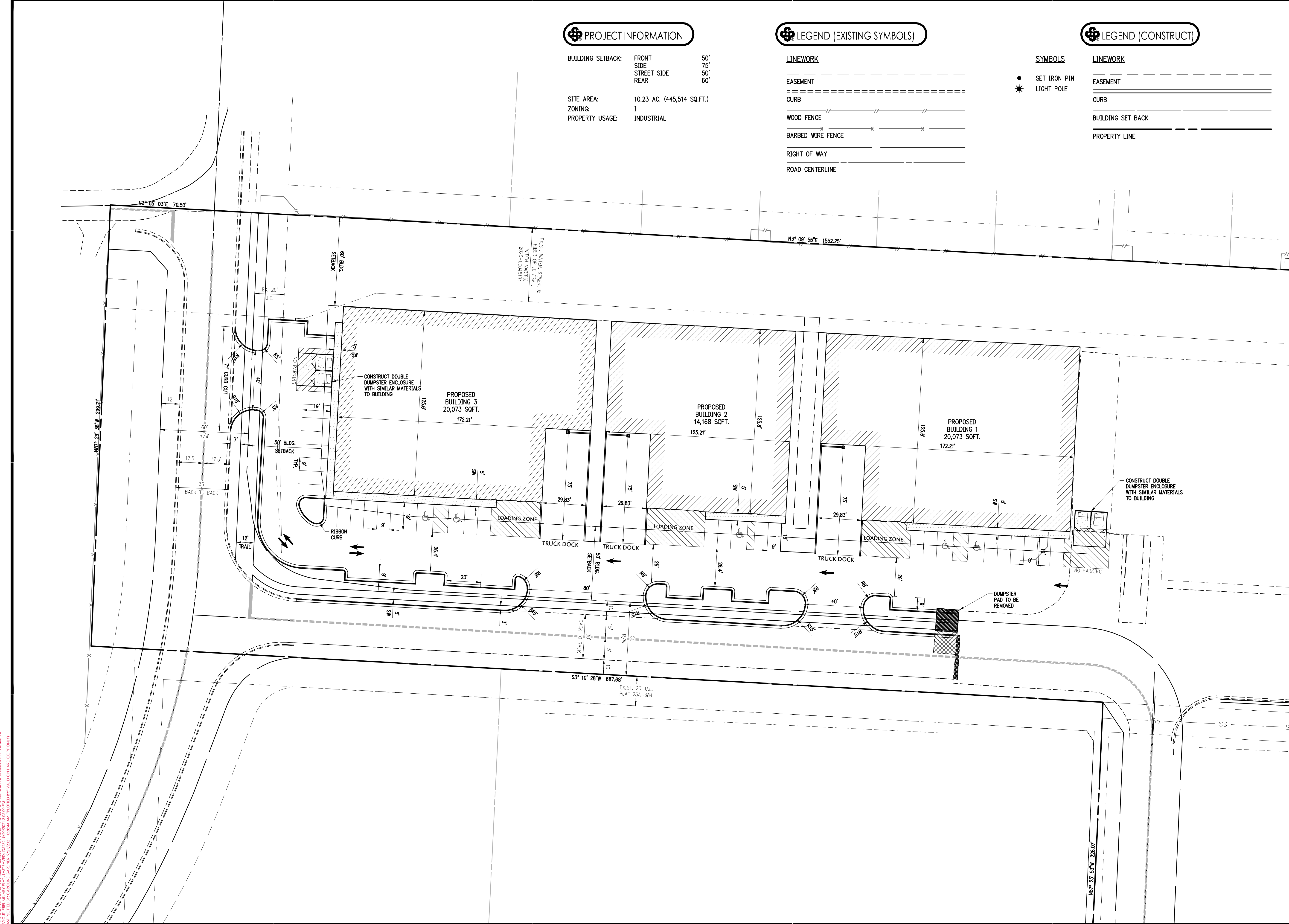
BUILDING SETBACK:	FRONT	50'
	SIDE	75'
	STREET SIDE	50'
	REAR	60'
SITE AREA:	10.23 AC. (445,514 SQ.FT.)	
ZONING:	I	
PROPERTY USAGE:	INDUSTRIAL	

**LEGEND (EXISTING SYMBOLS)**

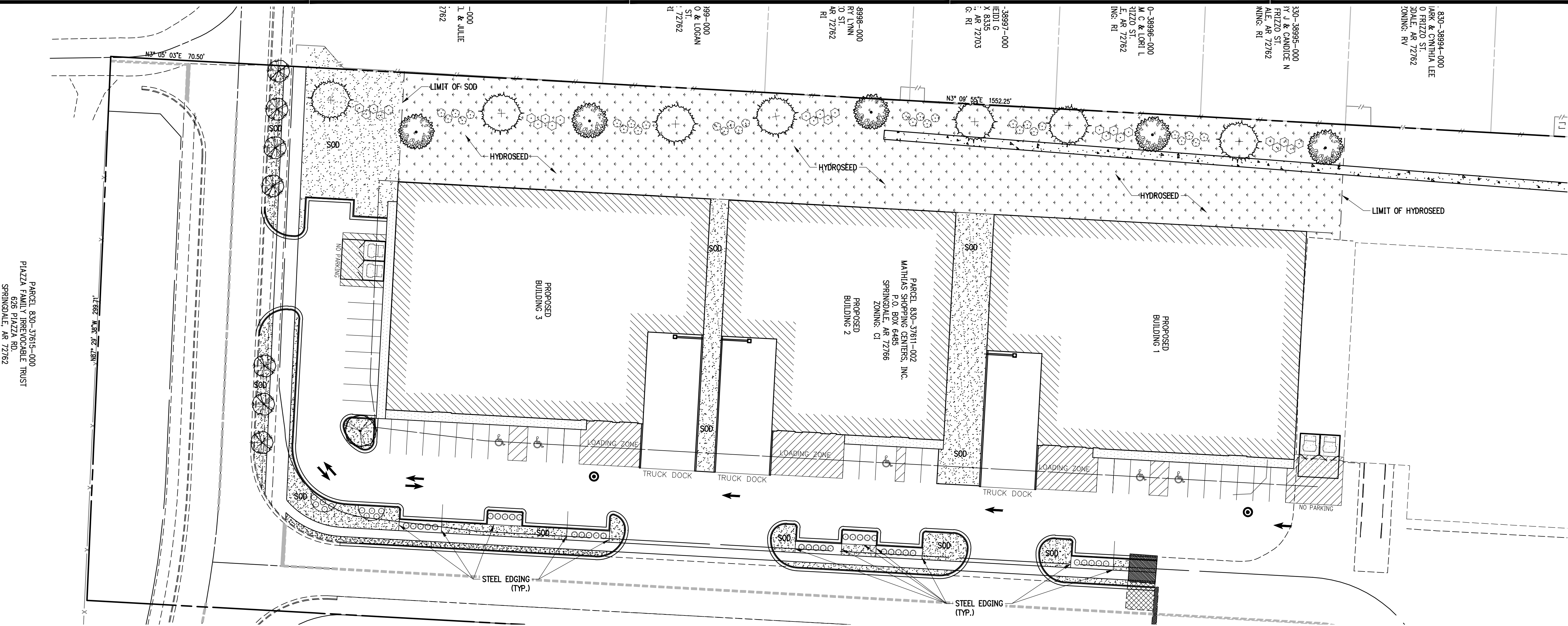
- LINWORK**
- EASEMENT
  - CURB
  - WOOD FENCE
  - BARBED WIRE FENCE
  - RIGHT OF WAY
  - ROAD CENTERLINE

**LEGEND (CONSTRUCT)**

- SYMBOLS**
- SET IRON PIN
  - \* LIGHT POLE
- LINWORK**
- EASEMENT
  - CURB
  - BUILDING SET BACK
  - PROPERTY LINE



DRAWING: VEGORCHER, DIMITRIS; PROJECT: TONTITOWN WAREHOUSES; CONSTRUCTION: PRELIMINARY PLATING; LAYOUT: PRELIMINARY PLAT; DATE: 08/04/21; 10:00 AM; CRAFTON TULL & ASSOCIATES, INC.; 300 N COLLEGE AVE., SUITE 317; FAYETTEVILLE, AR 72701

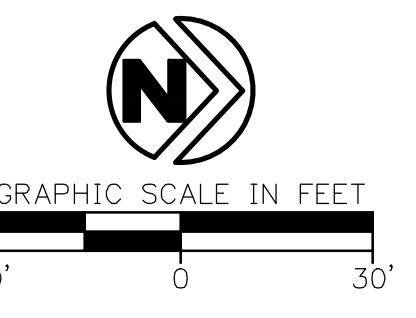
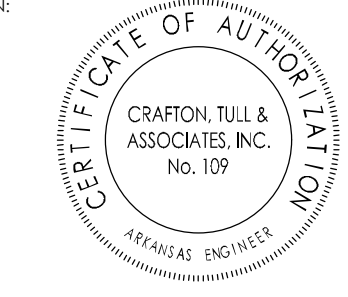
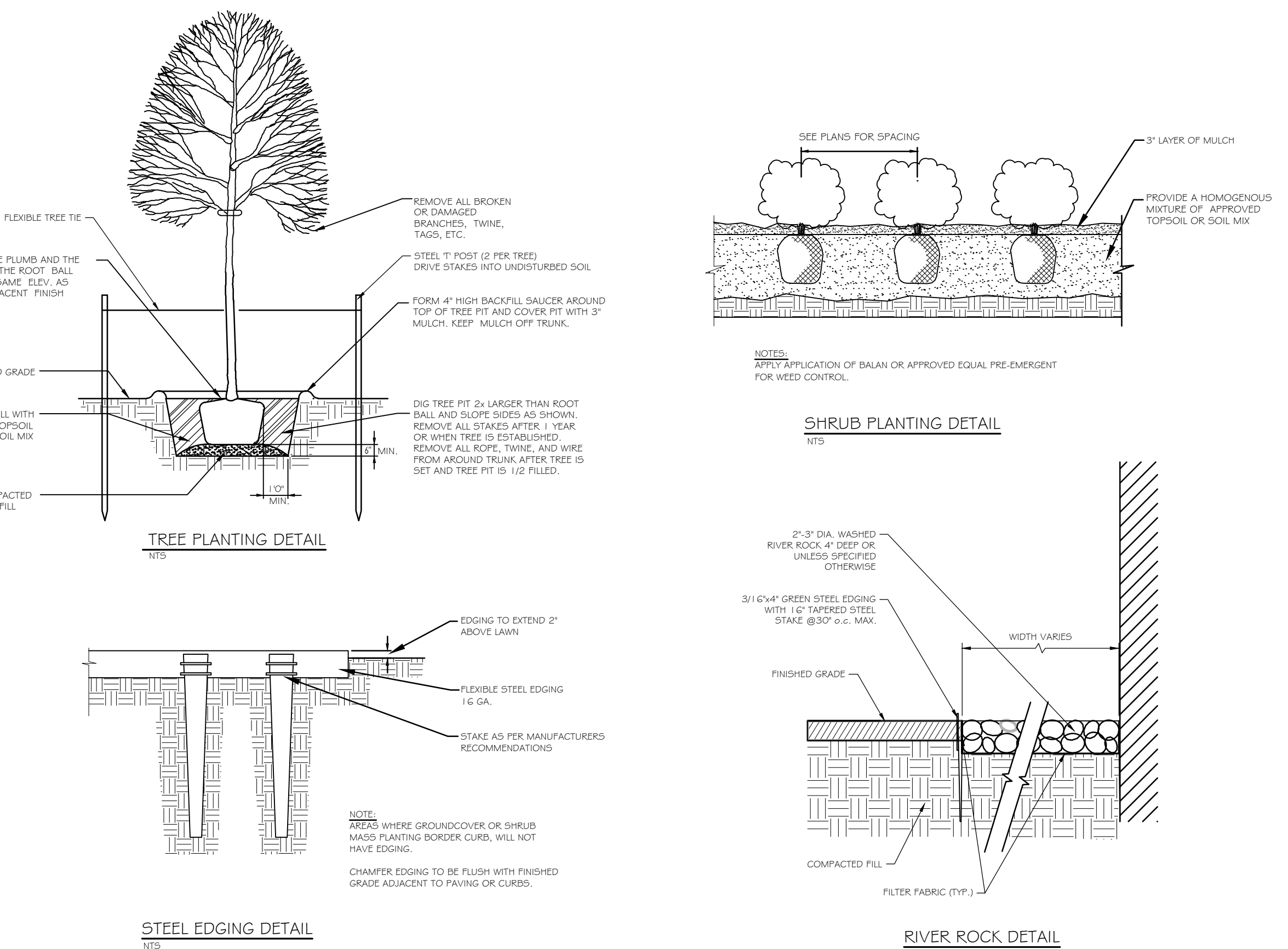


PARCEL: 830-37815-002  
 PLAZZA FAMILY BREWCOABLE TRUST  
 625 PLAZZA RD.  
 SPRINGDALE, AR 72762  
 ZONING: AM

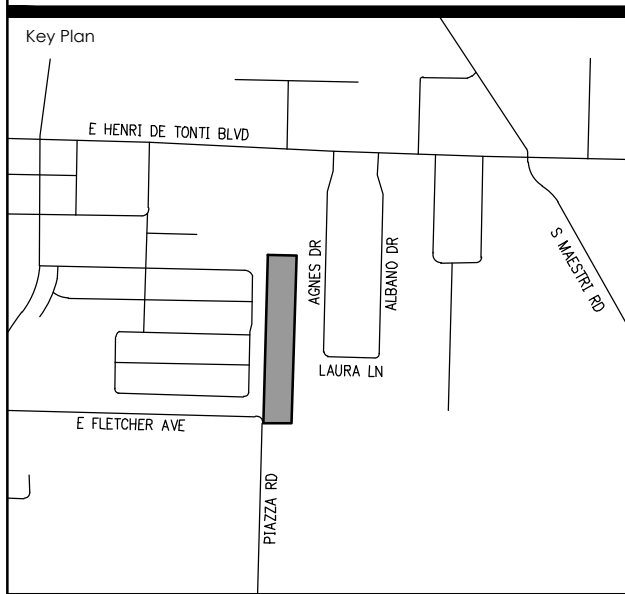
PLANT SCHEDULE			
TREES	QTY	BOTANICAL / COMMON NAME	CONT
	7	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	3" CAL. 12'-14" HT.
	5	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / DWARF SOUTHERN MAGNOLIA	2"-2 1/2" CAL. 10-12" HT.
	1	PISTACIA CHINENSIS / CHINESE PISTACHE	2"-2 1/2" CAL. 10-12" HT.
	7	TAXODIUM DISTICHUM / BALD CYPRESS	2" CAL. 10'-12" HT.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	25	ELAEAGNUS PUNGENS 'FRUITLANDI' / SILVERBERRY	5 GAL. 18" HT. MIN.
	15	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	3 GAL. 18" MIN. HT.
	30	ILEX VOMITORIA 'NANA' / DWARF YAUPON	5 GAL. 18" HT. MIN.
	30	LOROPETALUM CHINENSE RUBRUM 'BLUSH' / BLUSH LOROPETALUM	5 GAL. 24" MIN. HT.
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT
	30,163 SF	CYNODON DACTYLON / BERMUDA GRASS	HYDROSEED 3 LB/1000#
	13,698 SF	CYNODON DACTYLON / BERMUDA GRASS	SOLID SOD

**LANDSCAPE NOTES**

- CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK BY CONTACTING THE ONE-CALL SYSTEM. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE BASED ON SURVEY INFORMATION, SITE DEVELOPMENT PLANS, UTILITY RECORDS, ETC.
- CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK. ANY DAMAGES TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT NO COST TO OWNER.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN (CONTAINER OR BALLED & BURLAPPED) AND SHALL MEET OR EXCEED THE SIZE AND GRADING REQUIREMENTS ESTABLISHED BY THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIALS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND/OR DISEASE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO PRICING THE WORK.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT OR QUANTITY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.
- NO CHANGES TO THE PLANT SCHEDULE ARE ALLOWED WITHOUT APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND CITY. APPROVED ALTERNATE MATERIALS SHALL MEET THE SAME CRITERIA FOR TYPE, SIZE, AND FUNCTION AS THOSE SHOWN ON LANDSCAPE PLAN.
- PLANTINGS IN EXCESS OF MINIMUM REQUIREMENTS MAY NOT BE REDUCED UNLESS APPROVED BY THE PLANNING COMMISSION.
- ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
- ALL LAWN AREAS SHALL RECEIVE 4" OF TOPSOIL TO MEET FINAL GRADE IN ACCORDANCE WITH GRADING PLAN.
- ALL PLANTING BED AREAS SHALL BE PREPARED BY REMOVING EXISTING SOD AND WEEDS. PLANTING BED AREAS SHALL RECEIVE 6" OF TOPSOIL AMENDED TO ENHANCE FAVORABLE GROWING CONDITIONS. SOIL MIX SHALL BE TILLED INTO BED AREA TO A MINIMUM DEPTH OF 12".
- PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" SHREDDED HARDWOOD MULCH. ALL TREES NOT LOCATED IN PLANTING BEDS SHALL RECEIVE A MULCH SAUCER PER DETAIL.
- CONTRACTOR TO FIELD VERIFY THE LIMITS OF DISTURBANCE. ALL DISTURBED AREAS MUST BE STABILIZED PER CITY CODE PRIOR TO PROJECT CLOSE-OUT.
- TURF AREAS SHALL BE SEEDED OR SODDED PER PLANTING PLAN. REFER TO PLANT SCHEDULE, LANDSCAPE NOTES, AND HYDROSEEDING NOTES FOR SPECIES AND INSTALLATION REQUIREMENTS.
- ALL SLOPES 3:1 AND GREATER SHALL RECEIVE SOD. ON SLOPES OF 4:1 OR GREATER, SOD SHALL BE STAPLED IN PLACE.
- ALL ENTRANCE/EXIT PLANTINGS SHALL BE INSTALLED AND MAINTAINED TO PROVIDE CLEAR SIGHT DISTANCE FROM THE STREETS AND ALL SITE ENTRANCES/EXITS PER CITY CODE.
- IF A LANDSCAPE IRRIGATION SYSTEM IS TO BE CONSTRUCTED, LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF PLANNED IRRIGATION LINE WITH THE IRRIGATION CONTRACTOR PRIOR TO PLANTING BED CONSTRUCTION AND PLANT INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS APPROVED AND ACCEPTED IN TOTAL BY OWNER.



**TONTITOWN WAREHOUSES**  
 TONTITOWN, AR

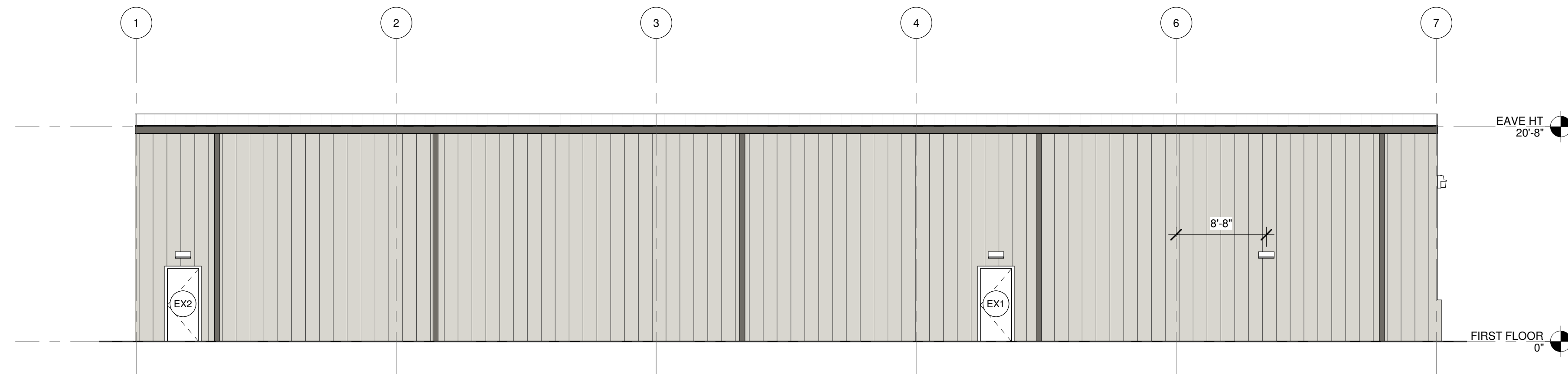


No.	Description	Date

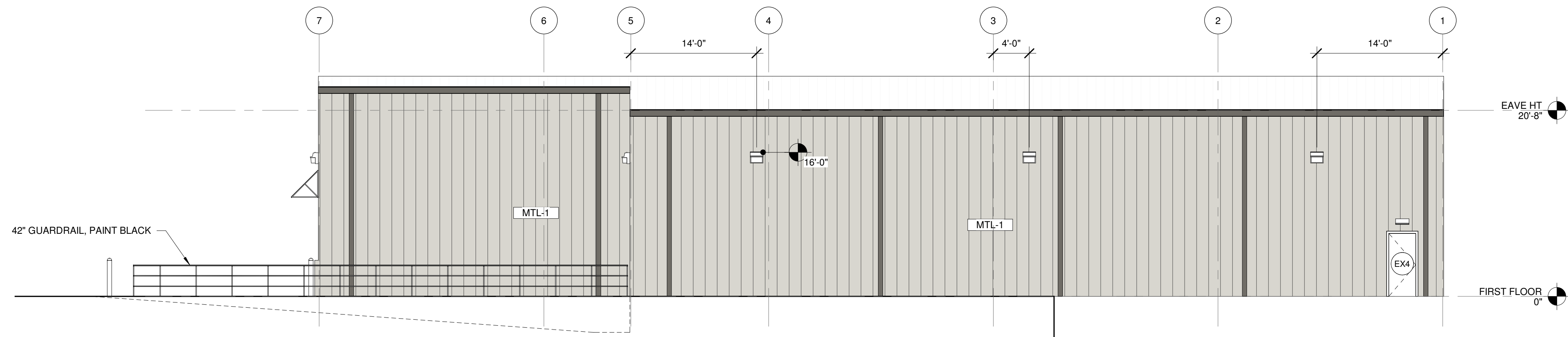
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PROJECT NO: 21301600  
 ISSUE DATE: 08/06/21  
 CONTACT: C. THREET  
 CHECKED BY:   
 PRELIMINARY PLANS  
 THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT  
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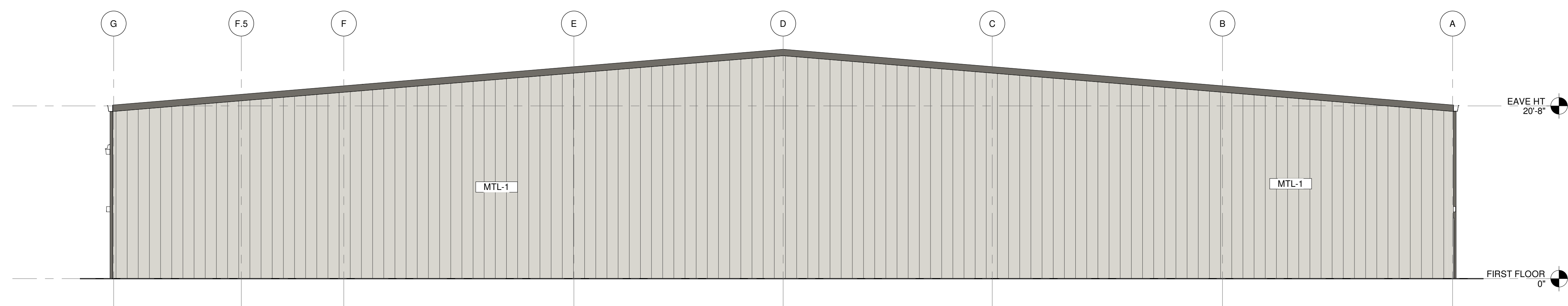
DRAWING: VADG/BE/COM/LES/3/25/21; INT/RAW/IR/RA/STR/CTR/CL/CON/ENV/LAN/SCAPE/PLANNING; LAYOUT: LANDSCAPE PLAN; LAST SAVED: AP 030; 7/20/2021 11:42:29 PM; CRAFTON TULL & ASSOCIATES, INC. 479.636.4838



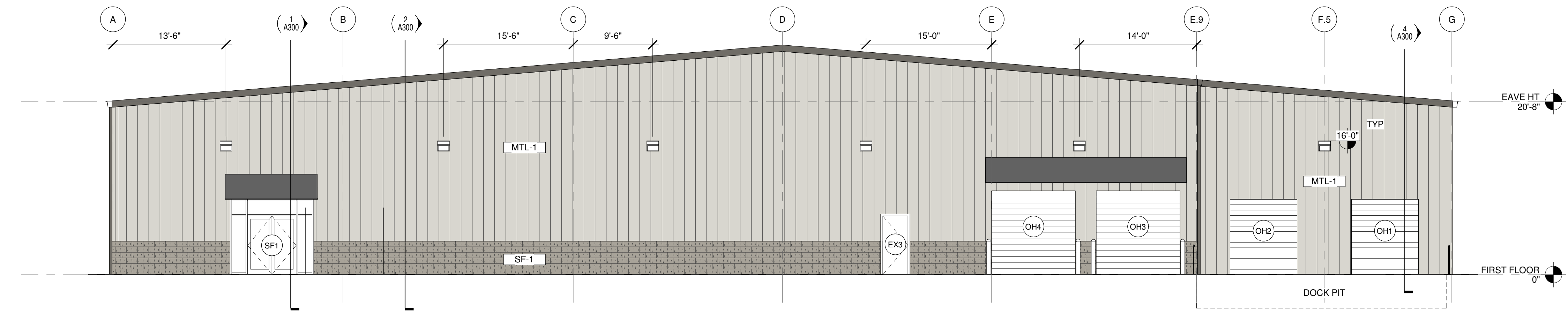
**4 SOUTH ELEVATION**  
1/8" = 1'-0"



**3 NORTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



**1 EAST ELEVATION**  
1/8" = 1'-0"

KEYNOTES - BUILDING ELEVATIONS	
KEY	NOTE

MATERIAL SCHEDULE	
MTL-1	METAL R-PANEL (ASH GRAY)
SF-1	MEDIUM TAN SPLIT FACE BLOCK
CANOPIES	BLACK FABRIC
TRIM	PREFINISHED METAL (BURNISHED SLATE)
GUTTER	PREFINISHED METAL (BURNISHED SLATE)
DOWNSPOUT	PREFINISHED METAL (BURNISHED SLATE)
STOREFRONT	CLEAR ANODIZED

PLEASE PROVIDE ARCHITECT WITH COLOR SAMPLES TO VERIFY SELECTIONS

**ROOF MATERIAL:**  
24 GA 24" DOUBLE-LOK PANEL - GALVALUME FINISH

**ROOF INSULATION:**  
PERFORMANCE TO EXCEED U-FACTOR: 0.055

**WALL INSULATION:**  
R-19 WHITE VINYL FACED

SF-1 SPLITFACE CMU MEDIUM TAN - SUBMIT FOR APPROVAL	MTL-1 R-PANEL ASH GRAY - SUBMIT FOR APPROVAL
STOREFRONT CLEAR ANODIZED	CANOPIES BLACK FABRIC
GUTTERS/DOWNSPOUTS BURNISHED SLATE	

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**TONTITOWN - SOUTH**  
XXXX

**PROJECT NUMBER:**  
2021-0030

**DRAWN BY:** NJP

**APPROVED BY:** E/JN

**ISSUE DATE:** 8-11-2021

REVISIONS		
#	DATE	DESCRIPTION

**SHEET CONTENTS:**

BUILDING ELEVATIONS

**A200**

9/1/2021 4:45:52 PM 2:2021 Project 2021-0030 Tontitown Warehouse Architecture/SD/PH/BLD/20210909/TONTITOWN SOUTH.rvt