



CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.
479-361-2700
planning@tontitownar.gov

Meeting: **September 22, 2020**
Project: **Elementary School**
Planner: Courtney McNair, Garver

AGENDA ITEM

D

PRELIMINARY LARGE-SCALE DEVELOPMENT PLAN APPROVAL REQUEST

Northeast Intersection of S. Barrington Road and E. Fletcher Avenue
354 E. Fletcher Ave.
Parcel #s 830-37661-006, 830-37666-000

SUMMARY: The Springdale Elementary School is requesting Preliminary Large-Scale Development (LSD) approval for an approximately 65,100 SF elementary school building and ancillary uses on twenty (20) acres.

CURRENT ZONING: R-3 Residential

CITY WARD: 1-Gene McCartney, Amber Ibarra

FLOODPLAIN: No

INFRASTRUCTURE SERVICE AREAS (not a guarantee of service availability):

Water: Tontitown Water, existing 3" and 6" line (needs to be upgraded)

Electric: Ozarks Electric

Sewer/Septic: Tontitown Sewer

Phone: AT&T

Natural Gas: Black Hills Energy

Cable: Cox Communications

School District: Springdale

PROJECT SYNOPSIS:

A Conditional Use Permit was approved last month to allow a school use in R3 zoning. Now the Springdale Elementary School is requesting Preliminary Large-Scale Development (LSD) approval for an approximately 65,100 SF elementary school building and ancillary uses on twenty (20) acres.

TECHNICAL INFORMATION:

Utilities:

Water: Tontitown Water- According to the Water System information, there is an existing 6-inch water line along S. Barrington Road, the existing line on Fletcher Avenue is a 3". There is an existing 8" sewer line on the Northwest Corner of the property coming from Westbrook Subdivision, Phase II.

Electric: Ozarks Electric-No comments were received from OECC.

Sewer/Septic: Sewer- this project proposes to connect to the City of Tontitown sewer system. The connection must be approved prior to construction.

Phone: AT&T- No comments were received from ATT.

Natural Gas: Black Hills Energy- No comments were received from BHE.

Cable: Cox Communications- No comments were received from Cox.

It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.

School District: Springdale school district is the applicant for this project.

Stormwater Pollution Prevention Plan (SWPPP):

The applicant has provided a grading a drainage plan. A SWPPP must be completed and posted on site prior to construction.

Police:

The Tontitown Police Department has worked with the school officials to develop a traffic plan for the bus entry on S. Barrington Road. No additional concerns were noted.

Fire:

There are four (4) fire hydrants shown on the plans. The nearest offsite hydrant is at the southwest corner of the site and has a 919 GPM flow rate.

The main drives are adequate for emergency vehicles. "No Parking" signs or striping must be added per discussion with the Fire Marshal. All interior drives must meet the required compaction rating to support emergency vehicles.

Drainage:

There are three (3) detention ponds proposed for this site. The applicant's engineer has submitted a drainage report for review. The City Engineer is currently reviewing the revised drainage report and plans. All remaining comments from the City Engineer must be addressed prior to Construction Plan approval.

The school has requested Grading Permit approval prior to full Construction Plan approval. The Grading Plans are under review by the City Engineer.

Roads:

This project has access on S. Barrington Road and E. Fletcher Ave. A waiver is requested for improvements to Barrington Road, and the applicant will be completing updates to the entire width of Fletcher Road.

Sidewalks: In addition to fully improving E. Fletcher Road, the applicant will be constructing the Trail Section along S. Barrington Road and E. Fletcher Road, with internal ADA sidewalk connections. Pedestrian connections to the subdivision to the east and north are shown.

Site visibility appears to be adequate from the proposed entrance locations.

The applicant has submitted a Traffic Study. The Findings and Recommendations are attached, and the LSD plans shall be required to meet or exceed the recommendations.

Planning: There are some minor checklist items to be completed.

Landscaping. Landscape plans shall be signed by a Landscape Architect or other landscape professional, and shall comply with Chapter 153.212 Landscaping, Screening, and Buffering.

Included in this section is the requirement for a three-year guarantee on plant material. Additional

details are needed to bring the landscape plan into compliance with city regulations. Code sections that were not addressed are:

(H) *Landscaped street frontage buffer.* The street frontage buffer is the planting area parallel to the public street right-of-way.

(4) *Buffer options: commercial/institutional.* The site plan for any development, other than a development that is exempt, shall show a landscaped street frontage buffer along all public rights-of-way. The applicant may choose a combination of options below.

- (a) Ten-foot buffer strip; minimum 10 feet wide.
 - 1. *Minimum number of shrubs.* Five shrubs/small trees per 30 linear feet of street frontage. A minimum of 50% of shrubs/small trees shall be evergreen. Preference for grouping.
 - 2. Sight visibility must be maintained.
- (b) *Earth berm.*
 - 1. *Minimum height.* Two and one-half feet higher than the finished elevation of the parking lot.
 - 2. *Minimum number of shrubs/small trees.* Three shrubs/small trees per 30 linear feet of street frontage. A minimum of 50% of shrubs/small trees shall be evergreen. Preference for grouping.
 - 3. Sight visibility must be maintained.

(J) *Interior site landscaping.* Interior site landscaping is immediately adjacent to the front of buildings.

(3) *Commercial and institutional: interior site landscaping.* Shrubs, perennial plants, or other vegetation in curbed planting beds or raised planters to span a minimum of 25% of the building frontage. Planters are encouraged be arranged to create outdoor seating opportunities. At least one large tree or two small trees per unit/suite is required.

- (a) Living materials shall make up 80% of the curbed planting beds or raised planters.
- (b) Non-living material shall be organic (mulch or other) and shall make up the remainder of the groundcover.

(K) *Landscaped perimeter buffer.* Perimeter landscaping is a peripheral planting strip along rear and side lot lines that separates uses.

(2) *Requirements.* The site plan for any development shall show perimeter landscaping in addition to the landscaped street frontage buffer required.

- (a) *Width.* A five-foot landscaped strip is required along the side and rear lots lines of a development.
- (b) *Minimum number of trees.* One large tree or two small trees per every 50 feet.
- (c) *Groundcover.* All perimeter landscaped areas not dedicated to preservation of existing vegetation shall be landscaped with groundcover.
 - 1. Living materials such as grass/other vegetation shall make up 60% of the groundcover for the perimeter landscaping.
 - 2. Non-living material shall be organic (mulch or other) and shall make up the remainder of the groundcover.
 - 3. Non-organic material may be approved if the perimeter landscaping area functions as a bioswale. Any adjustments shall be approved by the Planning Board.

(5) *Pavement.* No pavement may extend within five feet of the property line on any lot unless it is included with an ingress/egress location.

(6) *Special standards: commercial/institutional.* When located adjacent to and visible from a residential use, increased landscaping standards shall be applied to reduce noise and light glare and to ensure residents' privacy.

- (a) *Physical barrier.* A physical barrier shall be required that shall be a minimum of six feet in height and may consist of wood or masonry fencing, rock or brick walls, berms, or a combination of these methods.
- (b) Trees and shrubs shall be placed in front of the barrier (on the developing side) to reduce parking lot noise.
- (c) Trees and shrubs planted shall provide 60% coverage of the physical barrier within two years.

- (d) At least 50% of the trees and shrubs shall be evergreen.
- (e) *Tree preservation.* Existing healthy trees (as detailed in division (M)) may be included as a portion of the landscaped screening.

Signage. All signage shall be permitted separately.

Lighting. The development does not show street lighting or provide onsite lighting specifications. Cut sheets for lighting, showing cutoff lighting, shall be provided prior to construction.

Architectural Sketch. An architectural sketch has been submitted showing the proposed materials and articulation. Information regarding the percentages of materials proposed shall be required to be submitted.

WAIVER REQUEST:

The developer is requesting a waiver from improvements on S. Barrington Road. They are requesting to provide the necessary ROW and trail section, but not improve the driving surface. In addition, the applicant is proposing to improve Fletcher Ave. to the full master street plan section even though it is a boundary street, and they would only be required to make improvements to the centerline of Fletcher Ave.

The applicant and the city have discussed this request and agree that the improvements to Fletcher Ave. are critical. This demonstrates a special circumstance as this development only requires that half street improvements to Fletcher Ave are required, but due to the condition of Fletcher Ave., this property is hindered from improvements. Therefore, the applicant is proposing to improve “both sides” of Fletcher Ave. in exchange for not widening S. Barrington Road to the street standard required. This is also the most minimal waiver, as the applicant is going to dedicate the required ROW and construct the Trail Section.





Barrington Road condition



152.026 WAIVERS.

(A) *General.*

(1) When, by the strict interpretation of these regulations, an applicant incurs undue restrictions on the physical property to be subdivided, a waiver for such requirements may be granted by the Planning Commission.

(2) Under no circumstance should a waiver be granted because of a personal hardship or for personal or emotional reasons. Waivers shall not be granted based strictly on financial hardship.

(3) A waiver is determined by the strict interpretation and enforcement of the rules and regulations upon a given piece of property to be subdivided.

(B) *Procedures.*

(1) No waiver shall be granted except upon written petition by the applicant when the application is filed. The petition shall state fully the grounds for the waiver and all the facts upon which the petition is made.

(2) In granting the waiver, the Planning Commission shall prescribe any conditions that it deems necessary to or desirable in the public interest.

(3) In considering the petition for a waiver, the Planning Commission shall take into account the nature of the proposed use of land involved, existing uses of land in the area, proximity to public utilities, the number of persons who will reside or work in the proposed subdivision, and the probable effect of such waiver upon traffic conditions and upon the public health, safety and general welfare in the vicinity.

(4) The findings of the Planning Commission, together with the specific facts upon which findings are based, shall be incorporated into the official minutes of the Planning Commission meetings at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of these regulations.

(5) No waiver shall be granted unless the Planning Commission finds all of the following:

- (a) *That there are special circumstances or conditions affecting the land involved such that the strict application of the provision of these regulations would deprive the applicant of the reasonable use of this land.*
- (b) *That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant.*
- (c) *That the granting of the waiver will not be detrimental to the public health, safety, and welfare or injurious to other property in the area.*
- (d) *That the granting of the waiver will not have the effect of preventing the orderly subdivision of other land in the area in accord with the provision of these regulations.*

STAFF RECOMMENDATIONS:

WAIVER: Staff agrees that the condition of Fletcher Ave. and the necessity to improve “both sides” of Fletcher Ave. are a special circumstance, and therefore recommends approval of the waiver of improvements to S. Barrington Road.

CONDITION RECOMMENDED FOR APPROVAL OF WAIVER:

1. The developer shall provide all required ROW and construct the Trail Section on S. Barrington Road.
2. The developer shall improve Fletcher Ave. to the required Typical Street Section on “both sides” as shown on the plans.

PRELIMINARY PLAT: There are some details that remain to be addressed at the Construction Plan phase of plan review, but nothing that should significantly impact the overall design.

Therefore, staff recommends approval of Springdale Elementary School Preliminary Large-Scale Development with conditions.

CONDITIONS RECOMMENDED FOR APPROVAL:

1. It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.
2. The SWPPP shall be completed and posted on site prior to construction.
3. Correct all remaining items on the “Plat Requirement Worksheet” prior to Construction Plan approval. Planning Staff will provide a copy of the remaining requirements to the engineer for the project.
4. “No Parking” signs or striping shall be added in coordination with the Fire Marshal.
5. Knox Boxes shall be required for emergency entry.
6. All interior drives shall meet the required compaction rating to support emergency vehicles.
7. Prior to building permits being issued, full architectural plans shall be required to be submitted for review and approval by the city.
8. Information regarding the percentages of materials proposed in the architectural plans shall be required to be submitted.
9. All interior drives must meet the required compaction rating to support emergency vehicles.
10. The applicant has submitted a Traffic Study. The Findings and Recommendations are attached, and the LSD plans shall be required to meet or exceed the recommendations.
11. Landscape plans shall be signed by a Landscape Architect or other landscape professional, and shall comply with Chapter 153.212 Landscaping, Screening, and Buffering.
12. Additional details are needed to bring the landscape plan into compliance with city regulations.
13. Correct all comments from the City Engineer prior to Construction Plan approval.
14. All signage shall be permitted separately.
15. The plans shall show street lighting and provide onsite lighting specifications. Cut sheets shall be required to show cutoff type lighting fixtures.
16. The applicant shall apply for all required permits prior to construction.

September 17, 2020

City of Tontitown
235 E Henri De Tonti Blvd
Tontitown, AR 72770

RE: New Elementary School 2021
Waiver – Barrington Road Improvements
Tontitown, AR

Dear Sir or Ma'am:

Please let this letter serve as a waiver for the New Elementary School 2021 as we are requesting that the required improvements laid out in the City of Tontitown Development Codes for Barrington Road be waved. Barrington Road is classified as an Arterial roadway per the City's Master Street Plan with a 90-foot Right-of-Way swath that contains 3 travel lanes with room for expansion of two additional lanes, greenspaces, and pedestrian walkways. Proposed plans at this point, with the City's input show partial improvements along Barrington Road in the form of dedicating the required Right-of-Way and constructing the regional 12-foot wide trail that is located just inside the Right-of-Way. Along with this request, the school district intends to improve Fletcher Road to full master street plan section along the property frontage. Improving Fletcher Avenue will provide a great walkable corridor connection to the already existing neighborhood to the East on Fletcher Avenue.

If you have any questions regarding the development or this request, please contact me.

Sincerely,

Dillon B. Bentley

Dillon Bentley, P.E.
Project Engineer

PLANS FOR A

LARGE SCALE DEVELOPMENT

TO SERVE

SPRINGDALE ELEMENTARY SCHOOL

A COMMERCIAL DEVELOPMENT

IN THE CITY OF

TONTITOWN, ARKANSAS

ADDRESS:
354 E. FLETCHER AVENUE
SPRINGDALE, AR 72762

CABLE COMPANY:
COX COMMUNICATION
CONTACT: MICHAEL MOORE
4901 SOUTH 48TH STREET
SPRINGDALE, AR 72762
PH: 479-717-3750
FAX: 479-872-0174
EMAIL: MICHAEL.MOORE3@COX.COM

TELEPHONE COMPANY:
AT&T
CONTACT: JOHN HILL
PH: 479-442-1963
EMAIL: JH7313@ATT.COM

GAS COMPANY:
BLACK HILLS ENERGY
CONTACT: BRANDON STOKES
PH: 479-225-3726

ELECTRIC COMPANY:
OZARKS ELECTRIC
CONTACT: WES MAHAFFEY
PH: 479-684-4949
EMAIL: WMAHAFFEY@OZARKSECC.COM

WATER /SEWER DEPARTMENT:
TONTITOWN WATER UTILITIES
201 E HENRI DE TONTI BLVD
TONTITOWN, AR 72762
PH: 479-361-2700

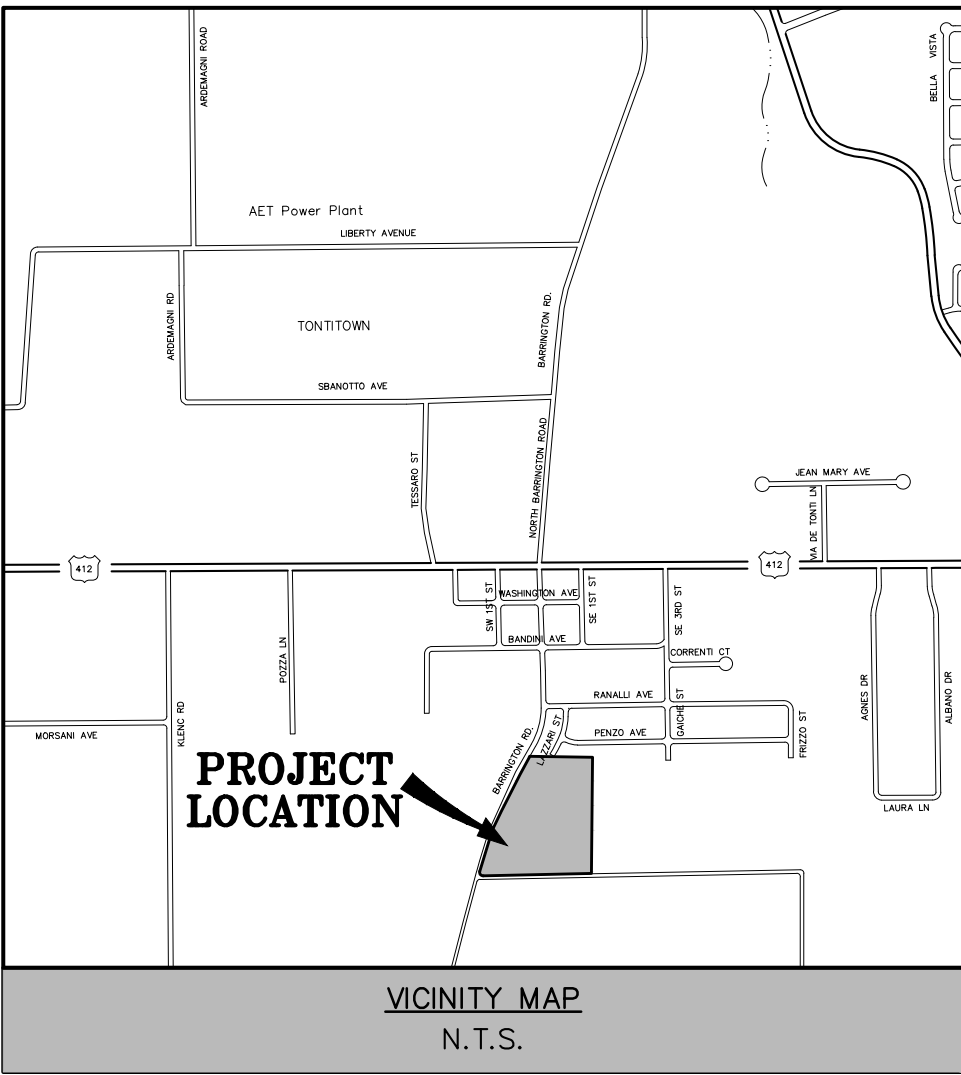
PLANNING DEPARTMENT:
PLANNING AND ZONING DEPARTMENT
235 E. HENRI DE TONTI
TONTITOWN, AR 72762
PH: 479-361-2700

BUILDING DEPARTMENT:
TONTITOWN BUILDING DEPARTMENT
235 E. HENRI DE TONTI
TONTITOWN, AR 72762
PH: 479-361-2700



INDEX OF SHEETS

SHEET No.	DESCRIPTION
0	COVER SHEET
1	EXISTING CONDITIONS
2	LARGE SCALE DEVELOPMENT
3	GRADING & STORM DRAINAGE PLAN
4	TYPICAL DETAILS
5	UTILITY PLAN
6	SANITARY SEWER PROFILE
7	OFF-SITE UTILITY IMPROVEMENTS
8	WATER & SEWER DETAILS
9	PAVING PLAN
10	STORM WATER POLLUTION PREVENTION PLAN
11	STORM WATER POLLUTION PREVENTION DETAILS
12	LANDSCAPE PLAN



REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF TONTITOWN ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER HOWEVER, THE CITY OF TONTITOWN RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION, IF ANY INADEQUACIES ARE FOUND AFTER THE IMPROVEMENTS ARE CONSTRUCTED.

September 15, 2020

BY
ENGINEERING SERVICES INC.



CONSULTING ENGINEERS
SPRINGDALE, ARKANSAS
PHONE: 479-751-8733
FAX: 479-751-8746
WWW.ENGINEERINGSERVICES.COM

THOMAS J. APPEL, P.E. No. 13828
ENGINEERING SERVICES, INC.

NOTES:

- 1) ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF TONTITOWN, ARKANSAS.
- 2) ALL WATER AND SEWER CONSTRUCTION MUST COMPLY WITH THE SPECIFICATION REQUIREMENTS (ORDINANCE 2013-06-429, ADOPTED JUNE 4, 2013, REVISED JUNE 25, 2018) FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES OF THE CITY OF TONTITOWN WATER UTILITIES.
- 3) ALL FORCE MAIN & SANITARY SEWER CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF TONTITOWN, ARKANSAS.
- 4) TRAFFIC SAFETY CONTROL FEATURES ARE TO BE PROVIDED BY THE CONTRACTOR.
- 5) ANY STREET CLOSURES ARE TO BE COORDINATED WITH THE CITY OF TONTITOWN 48 HOURS PRIOR TO WORK.
- 6) THERE ARE NO KNOWN WETLANDS ON THIS PROPERTY.
- 7) NO KNOWN EROSION PROBLEMS EXIST ON THIS SITE
- 8) THERE ARE NO KNOWN EXISTING OR ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPOUNDMENTS, OR UNDERGROUND STRUCTURES ON THIS PROPERTY.
- 9) THERE ARE NO KNOWN POTENTIALLY DANGEROUS AREAS.
- 10) THERE ARE NO KNOWN EXISTING OR PROPOSED GROUND LEASES OR ACCESS AGREEMENTS.
- 11) THIS PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP #05143C0065 F, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.



NOTES:

- 1) ANY COST OF ADJUSTMENTS, RELOCATION OR DAMAGE OF EXISTING UTILITIES WILL BE THE RESPONSIBILITY OF THE OWNERS/DEVELOPERS.
- 2) ALL PROPOSED UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND, EXCLUDING 12KV AND ABOVE.
- 3) OUTDOOR STORAGE, TRASH COLLECTION, AND LOADING AREAS MUST BE LANDSCAPED, SO THAT THEIR FUNCTIONS ARE FULLY CONTAINED AND OUT OF VIEW OF THE ADJACENT PROPERTY AND THE PUBLIC RIGHT-OF-WAY.
- 4) EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES AND BANKS OF METER SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- 5) ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- 6) THE GLOBAL POSITIONING SYSTEM (GPS) AND CONVENTIONAL TERRESTRIAL SURVEYING EQUIPMENT PROVIDED THE RELATIVE POSITIONING FOR THE TOPOGRAPHIC, PLANIMETRIC AND BOUNDARY LOCATIONS SHOWN HEREON.
- 7) THE MAP PROJECTION IS REFERENCED TO THE HORIZONTAL CONTROL DATUM OF NAD83 (NORTH AMERICAN DATUM OF 1983), STATE PLANE COORDINATE SYSTEM, ARKANSAS NORTH ZONE (0301). THE BASIS OF BEARINGS FOR THIS PLAN ARE "STATE PLANE GRID BEARING". THE VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). TWO TEMPORARY BENCHMARKS UTILIZING THIS DATUM ARE SHOWN HEREON.
- 8) ALL NEW SIGNAGE REQUESTED WILL REQUIRE SEPARATE PERMIT.
- 9) MODIFIED CURB REQUIRED ON ALL DRIVES.
- 10) PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING WITH ALL FRANCHISE UTILITIES WILL BE REQUIRED.
- 11) THE DETENTION POND MUST BE SODDED TO THE 100 YEAR FLOOD POOL.
- 12) CONTRACTOR SHALL USE EXTREME CAUTION WHEN CONSTRUCTING ALONG FLETCHER AVENUE DUE TO OVERHEAD POWER LINES AND UTILITIES.
- 13) CERTIFICATE OF PRELIMINARY SURVEY ACCURACY.

I, _____, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN.

DATE OF EXECUTION: _____

REGISTERED LAND SURVEYOR

STATE OF ARKANSAS REGISTRATION NO. _____

(2) CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY.

EACH SET OF STREET AND DRAINAGE PLANS MUST BE SUBMITTED IN ACCORDANCE WITH APPLICABLE STATE STATUTES AND ANY PLANS AND SPECIFICATIONS REQUIRED.

I, _____, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN MADE UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.

DATE OF EXECUTION: _____

REGISTERED ENGINEER

STATE OF ARKANSAS REGISTRATION NO. _____

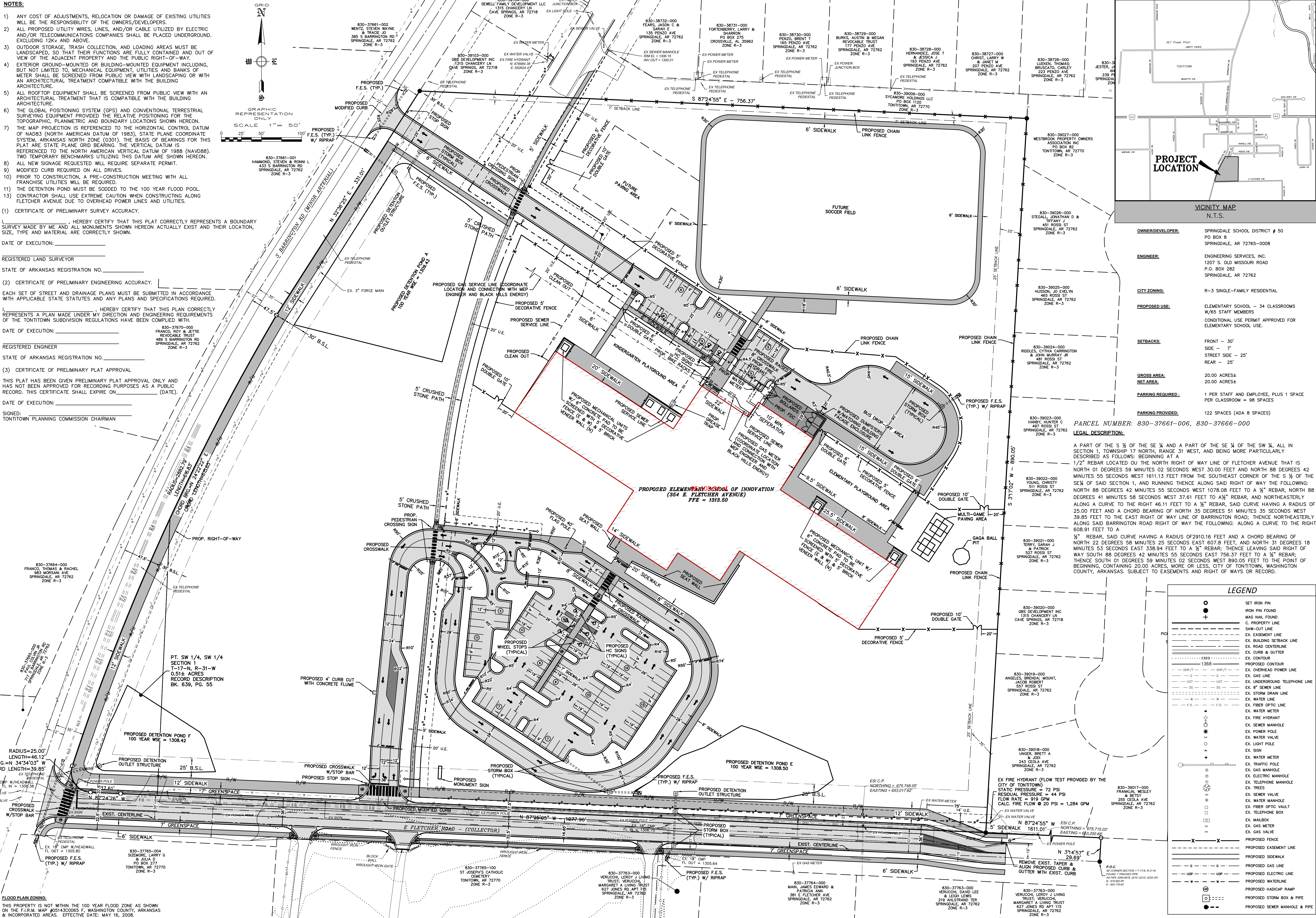
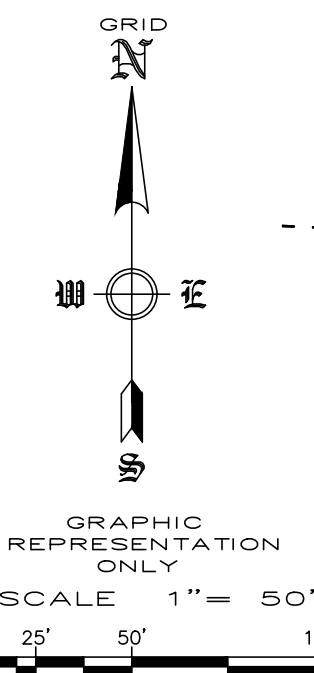
(3) CERTIFICATE OF PRELIMINARY PLAT APPROVAL

THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL EXPIRE ON _____ (DATE).

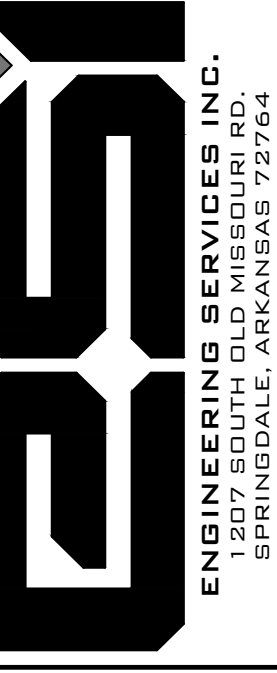
DATE OF EXECUTION: _____

SIGNED:

TONTITOWN PLANNING COMMISSION CHAIRMAN



LEGEND		
●	SET IRON PIN	
○	IRON PIN FOUND	
+	MAG NAIL FOUND	
---	C. PROPERTY LINE	
---	SAW-CUT LINE	
---	EX. EASEMENT LINE	
---	EX. BUILDING SETBACK LINE	
---	EX. ROAD CENTERLINE	
---	EX. CURB & GUTTER	
---	EX. CONTOUR	
---	PROPOSED CONTOUR	
---	EX. OVERHEAD POWER LINE	
---	EX. GAS LINE	
---	EX. UNDERGROUND TELEPHONE LINE	
---	EX. 8" SEWER LINE	
---	EX. STORM DRAIN LINE	
---	EX. WATER LINE	
---	EX. FIBER OPTIC LINE	
---	EX. WATER METER	
---	EX. FIRE HYDRANT	
---	EX. SEWER MANHOLE	
---	EX. POWER POLE	
---	EX. WATER VALVE	
---	EX. LIGHT POLE	
---	EX. SIGN	
---	EX. WATER METER	
---	EX. TRAFFIC POLE	
---	EX. GAS MANHOLE	
---	EX. ELECTRIC MANHOLE	
---	EX. TELEPHONE MANHOLE	
---	EX. TREES	
---	EX. SEWER MANHOLE	
---	EX. WATER MANHOLE	
---	EX. FIBER OPTIC VAULT	
---	EX. TELEPHONE BOX	
---	EX. MAILBOX	
---	EX. GAS METER	
---	EX. GAS VALVE	
---	PROPOSED FENCE	
---	PROPOSED EASEMENT LINE	
---	PROPOSED SIDEWALK	
---	PROPOSED GAS LINE	
---	PROPOSED ELECTRIC LINE	
---	PROPOSED WATERLINE	
---	PROPOSED HADCAP RAMP	
---	PROPOSED STORM BOX & PIPE	
---	PROPOSED SEWER MANHOLE & PIPE	



PROJECT LOCATION

VICINITY MAP
N.T.S.

OWNER/DEVELOPER:

SPRINGDALE SCHOOL DISTRICT # 50
PO BOX 8
SPRINGDALE, AR 72765-0008

ENGINEER:

ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762

CITY ZONING:

R-3 SINGLE-FAMILY RESIDENTIAL

PROPOSED USE:

ELEMENTARY SCHOOL - 34 CLASSROOMS
W/65 STAFF MEMBERS
CONDITIONAL USE PERMIT APPROVED FOR
ELEMENTARY SCHOOL USE.

SETBACKS:

FRONT - 30'

SIDE - 10'

STREET SIDE - 25'

REAR - 25'

GROSS AREA:

20.00 ACRES

NET AREA:

20.00 ACRES

PARKING REQUIRED:

1 PER STAFF AND EMPLOYEE, PLUS 1 SPACE
PER CLASSROOM = 98 SPACES

PARKING PROVIDED:

122 SPACES (ADA 8 SPACES)

PARCEL NUMBER: 830-37661-006, 830-37666-000

LEGAL DESCRIPTION:

A PART OF THE S $\frac{1}{4}$ OF THE SE $\frac{1}{4}$ AND A PART OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, ALL IN SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A 1/2" REBAR LOCATED ON THE NORTH RIGHT OF WAY LINE OF FLETCHER AVENUE THAT IS NORTH 01 DEGREES 59 MINUTES 02 SECONDS WEST 30.00 FEET AND NORTH 88 DEGREES 42 MINUTES 55 SECONDS WEST 1611.13 FEET FROM THE SOUTHEAST CORNER OF THE S $\frac{1}{4}$ OF THE SE $\frac{1}{4}$ OF SAID SECTION 1, AND RUNNING THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING: NORTH 88 DEGREES 42 MINUTES 55 SECONDS WEST 1078.08 FEET TO A 1/2" REBAR, NORTH 88 DEGREES 41 MINUTES 58 SECONDS WEST 37.61 FEET TO A 1/2" REBAR, AND NORTHEASTERLY ALONG A CURVE TO THE RIGHT 46.11 FEET TO A 1/2" REBAR, SAID CURVE HAVING A RADIUS OF 25.00 FEET AND A CHORD BEARING OF NORTH 35 DEGREES 51 MINUTES 35 SECONDS WEST 39.85 FEET TO THE EAST RIGHT OF WAY LINE OF BARRINGTON ROAD; THENCE NORTHEASTERLY ALONG SAID BARRINGTON ROAD RIGHT OF WAY THE FOLLOWING: ALONG A CURVE TO THE RIGHT 608.91 FEET TO A 1/2" REBAR, SAID CURVE HAVING A RADIUS OF 2910.16 FEET AND A CHORD BEARING OF NORTH 22 DEGREES 58 MINUTES 25 SECONDS EAST 607.9 FEET, AND NORTH 31 DEGREES 18 MINUTES 53 SECONDS EAST 338.94 FEET TO A 1/2" REBAR; THENCE LEAVING SAID RIGHT OF WAY SOUTH 88 DEGREES 42 MINUTES 55 SECONDS EAST 756.37 FEET TO A 1/2" REBAR; THENCE SOUTH 01 DEGREES 59 MINUTES 02 SECONDS WEST 890.05 FEET TO THE POINT OF BEGINNING, MORE OR LESS, CITY OF TONTITOWN, CLAY COUNTY, ARKANSAS, SUBJECT TO EASEMENTS AND RIGHT OF WAYS OR RECORD.

LARGE SCALE DEVELOPMENT NEW ELEMENTARY SCHOOL 2021 TONTITOWN, ARKANSAS

REVISION DATE DESCRIPTION
1 9/16/20 CITY TECH PLAT COMMENT 9/9/20

SCALE: 1"=50'

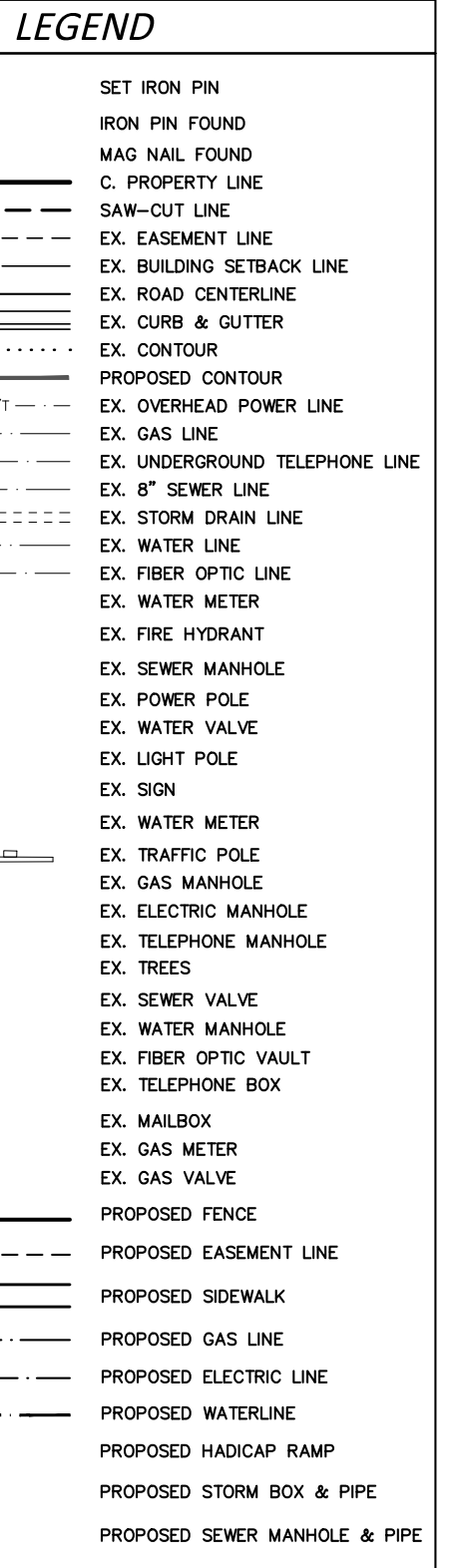
DATE: Sep 17, 2020

ENGINEER: DBB

DRAWN BY: JSA

W.O. #: 20922

2



REVISION	DATE	DESCRIPTION
1	9/16/20	CITY TECH PLAT COMMENT 9/9/20

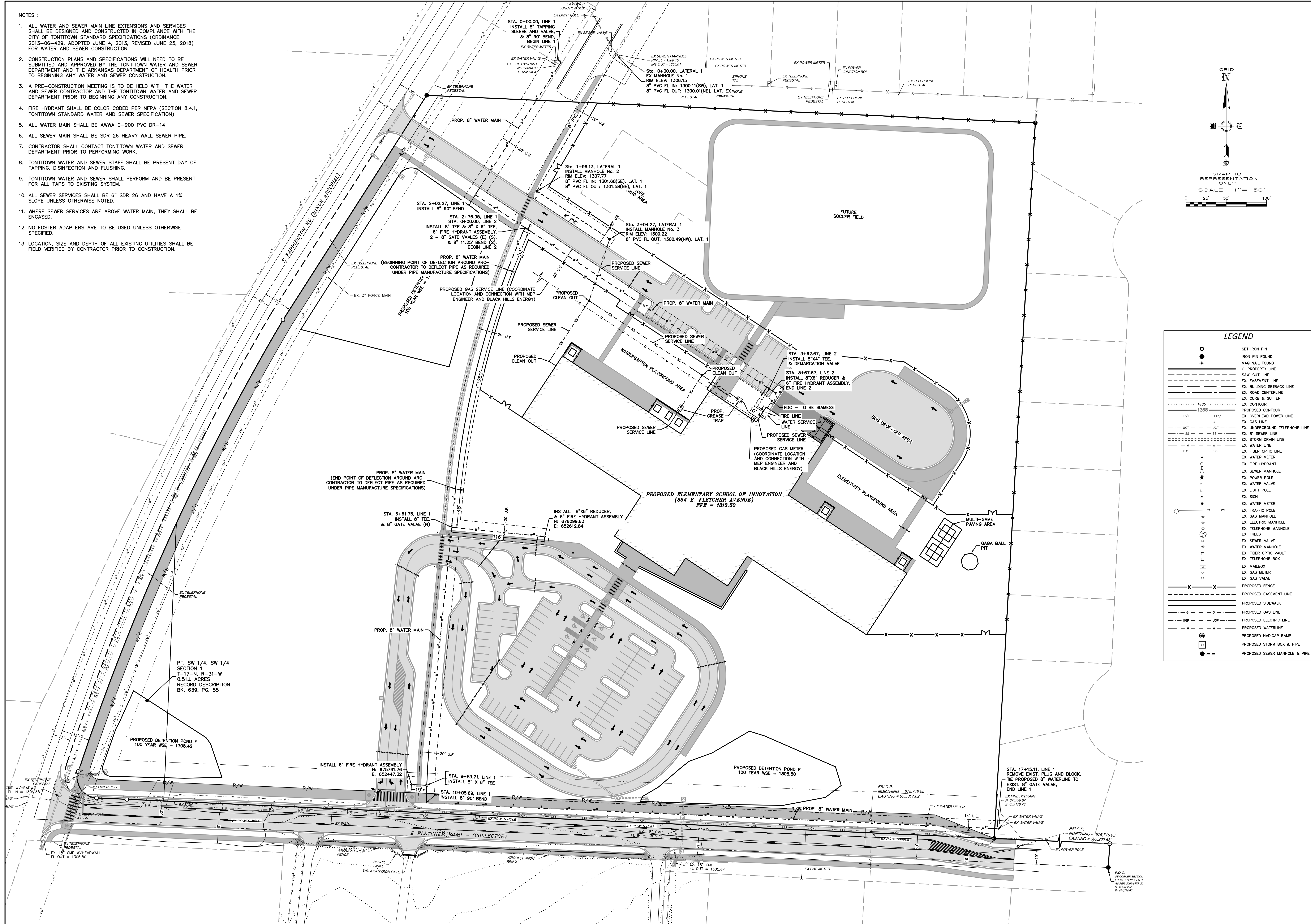
SCALE: 1"=50'
 DATE: Sep 17, 2020
 DRAWN BY: DMB
 W.O. #: 20922

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NOTES :

1. ALL WATER AND SEWER MAIN LINE EXTENSIONS AND SERVICES SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH THE CITY OF TONTITOWN STANDARD SPECIFICATIONS (ORDINANCE 2013-06-429, ADOPTED JUNE 4, 2013, REVISED JUNE 25, 2018) FOR WATER AND SEWER CONSTRUCTION.
2. CONSTRUCTION PLANS AND SPECIFICATIONS WILL NEED TO BE SUBMITTED AND APPROVED BY THE TONTITOWN WATER AND SEWER DEPARTMENT AND THE ARKANSAS DEPARTMENT OF HEALTH PRIOR TO BEGINNING ANY WATER AND SEWER CONSTRUCTION.
3. A PRE-CONSTRUCTION MEETING IS TO BE HELD WITH THE WATER AND SEWER CONTRACTOR AND THE TONTITOWN WATER AND SEWER DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION.
4. FIRE HYDRANT SHALL BE COLOR CODED PER NFPA (SECTION 8.4.1, TONTITOWN STANDARD WATER AND SEWER SPECIFICATION)
5. ALL WATER MAIN SHALL BE AWWA C-900 PVC DR-14
6. ALL SEWER MAIN SHALL BE SDR 26 HEAVY WALL SEWER PIPE.
7. CONTRACTOR SHALL CONTACT TONTITOWN WATER AND SEWER DEPARTMENT PRIOR TO PERFORMING WORK.
8. TONTITOWN WATER AND SEWER STAFF SHALL BE PRESENT DAY OF TAPPING, DISINFECTION AND FLUSHING.
9. TONTITOWN WATER AND SEWER SHALL PERFORM AND BE PRESENT FOR ALL TAPS TO EXISTING SYSTEM.
10. ALL SEWER SERVICES SHALL BE 6" SDR 26 AND HAVE A 1% SLOPE UNLESS OTHERWISE NOTED.
11. WHERE SEWER SERVICES ARE ABOVE WATER MAIN, THEY SHALL BE ENCASED.
12. NO FOSTER ADAPTERS ARE TO BE USED UNLESS OTHERWISE SPECIFIED.
13. LOCATION, SIZE AND DEPTH OF ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.



LEGEND

SET IRON PIN
IRON PIN FOUND
MAG NAIL FOUND

C. PROPERTY LINE

SAW-CUT LINE

EX. EASEMENT LINE

EX. BUILDING SETBACK LINE

EX. ROAD CENTERLINE

EX. CURB & GUTTER

EX. CONTOUR

PROPOSED CONTOUR

EX. OVERHEAD POWER LINE

EX. GAS LINE

EX. UNDERGROUND TELEPHONE LINE

EX. 8" SEWER LINE

EX. STORM DRAIN LINE

EX. WATER LINE

EX. FIBER OPTIC LINE

EX. FIRE HYDRANT

EX. SEWER MANHOLE

EX. POWER POLE

EX. WATER VALVE

EX. LIGHT POLE

EX. SIGN

EX. WATER METER

EX. TRAFFIC POLE

EX. GAS MANHOLE

EX. ELECTRIC MANHOLE

EX. TELEPHONE MANHOLE

EX. TREES

EX. SEWER VALVE

EX. WATER MANHOLE

EX. FIBER OPTIC VAULT

EX. TELEPHONE BOX

EX. MAILBOX

EX. GAS METER

EX. GAS VALVE

PROPOSED FENCE

PROPOSED EASEMENT LINE

PROPOSED SIDEWALK

PROPOSED GAS LINE

PROPOSED ELECTRIC LINE

PROPOSED WATERLINE

PROPOSED HADICAP RAMP

PROPOSED STORM BOX & PIPE

PROPOSED SEWER MANHOLE & PIPE

UTILITY PLAN
NEW ELEMENTARY SCHOOL 2021
TONTITOWN, ARKANSAS

REVISION	DATE	DESCRIPTION
1	9/16/20	CITY TECH PLAT COMMENT 9/9/20

SCALE: 1"=50'

DATE: Sep 17, 2020

ENGINEER: DBB

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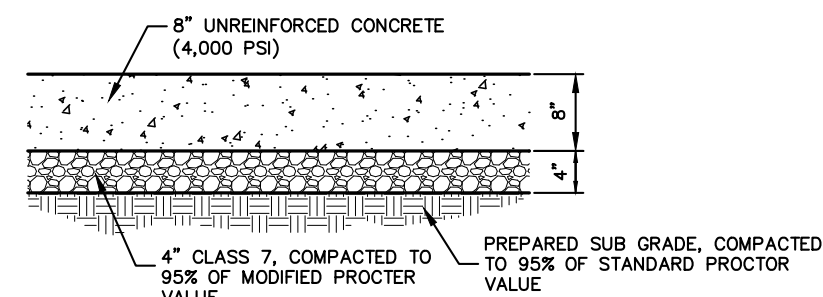
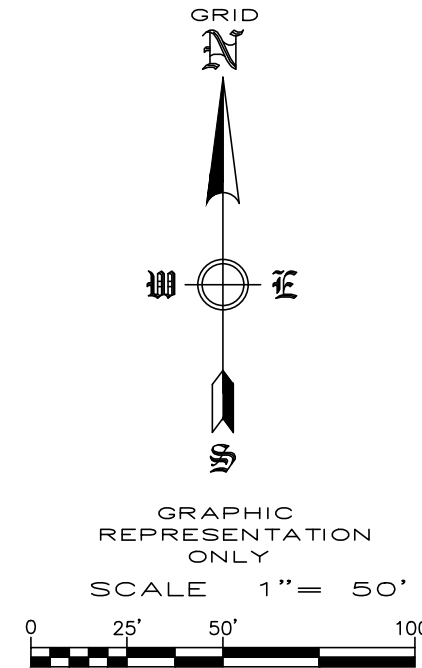
W.O. #: 20922

LIGHT DUTY PAVING: CLASS 7 AGGREGATE BASE COURSE - 6" THICK
HMAC BINDER COURSE - 2.5" THICK
HMAC SURFACE COURSE - 1.5" THICK

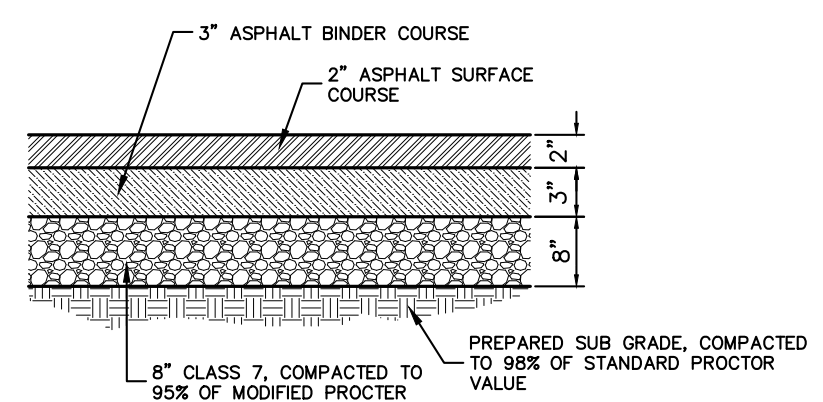
HEAVY DUTY PAVING: CLASS 7 AGGREGATE BASE COURSE - 8" THICK
HMAC BINDER COURSE - 3" THICK
HMAC SURFACE COURSE - 2" THICK

HEAVY DUTY CONCRETE PAVING: CLASS 7 BASE 4" THICK
UNREINFORCED CONCRETE (4,000 PSI), 6" THICK

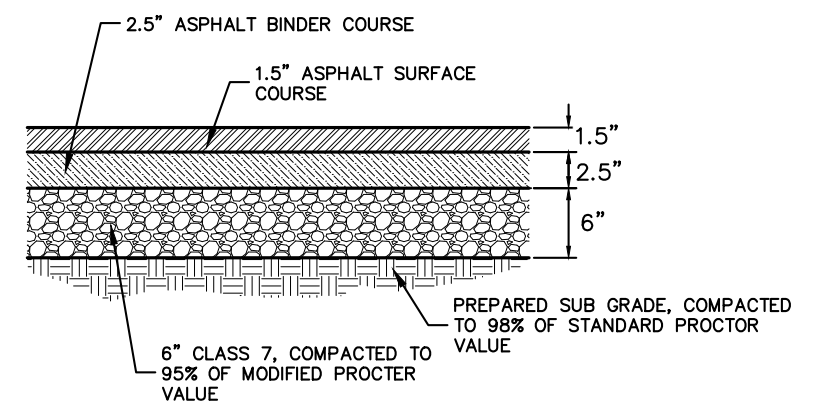
DUMPSTER PAD: CLASS 7 BASE 4" THICK
UNREINFORCED CONCRETE (4,000 PSI), 8" THICK



CONCRETE PAD FOR DUMPSTER
NOT TO SCALE



HEAVY DUTY PAVING
NOT TO SCALE



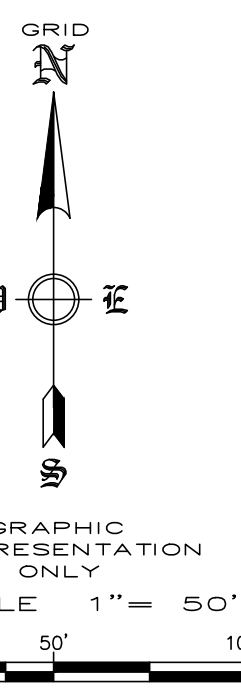
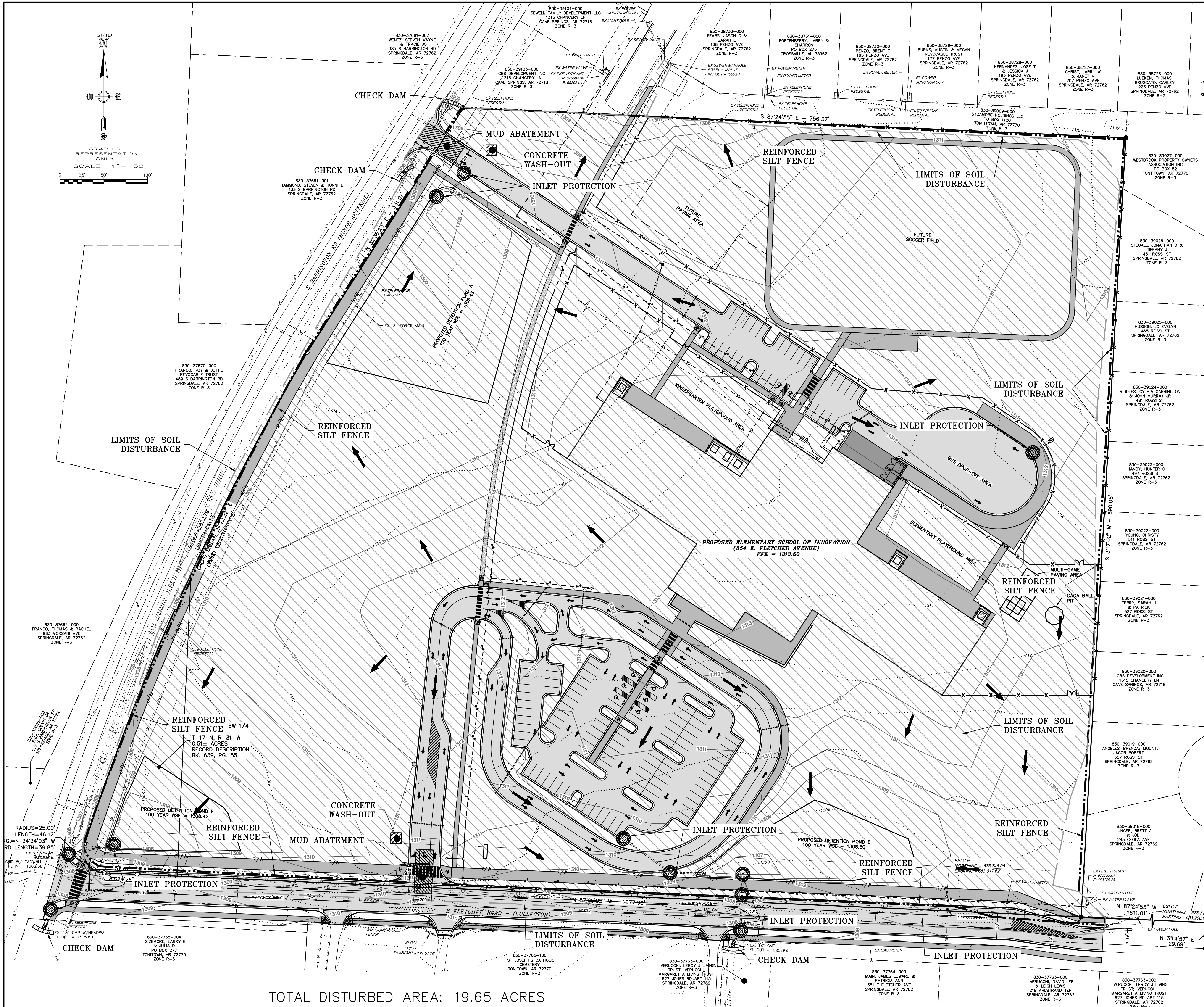
LIGHT DUTY PAVING
NOT TO SCALE

***NOTE:**

- 1) PAVING SECTIONS ARE TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. SECTIONS SHOWN SHALL BE MODIFIED TO THE GEOTECHNICAL ENGINEER RECOMMENDATION.
- 2) ALL STRIPING AND SYMBOLS SHALL BE COORDINATED WITH OWNER PRIOR TO INSTALLATION.
- 3) CONTRACTOR IS TO SUBMIT A PLAN SHOWING JOINTS FOR OWNER APPROVAL AS PART OF THE PAVING SUBMITTAL.

FLOOD PLAIN ZONING:
THIS PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE F.L.R.M. MAP #051430005 F, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

REVISION	DATE	DESCRIPTION
1	9/16/20	QTY TECH PLAT COMMENT 9/9/20
SCALE: 1"=50'		
DATE: Sep 17, 2020		
ENGINEER: DBB		
DRAWN BY: XXX		
W.O. #: 20922		



NOTE:
NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF SPRINGDALE.

WITHIN 40 DAYS OF PLACEMENT OF CURBS, THEY SHALL BE BACKFILLED, FINE GRADED WITH A MINIMUM OF 4-INCHES OF TOPSOIL, AND HYDROMULCHED OR SODDED WITH PERMANENT GRASSES.

ALL DISTURBED AREAS, THAT ARE NOT PAVED, SHALL BE TOPSOILED, SEEDED AND STRAWED UNTIL GRASS IS ESTABLISHED.

CONSTRUCTION SEQUENCE:

- 1) INSTALL EROSION CONTROL.
- 2) STRIP EXISTING TOP SOIL.
- 3) PREPARE SUB-GRADE AND BASE MATERIAL.
- 4) POUR CONCRETE AND ASPHALT.
- 5) FINAL GRADING AND ESTABLISH VEGETATION.

NOTES:

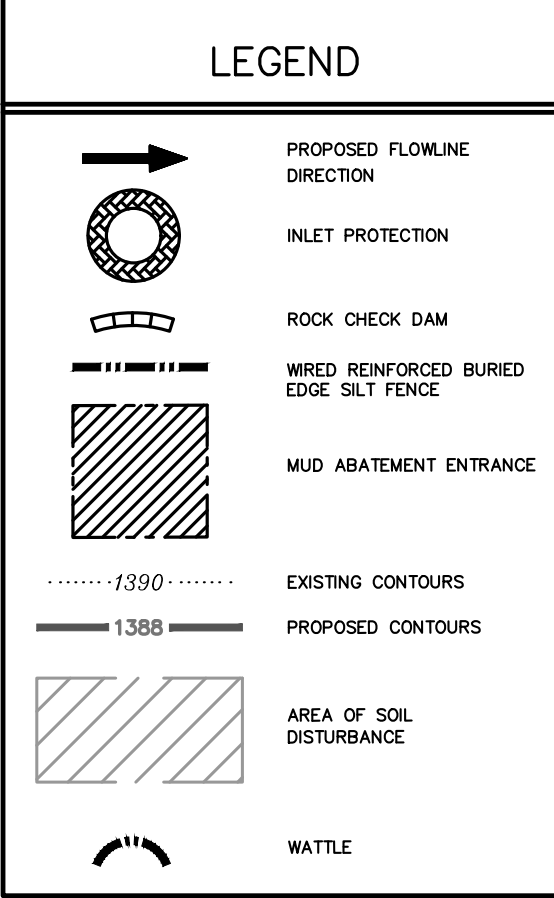
- 1) NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
- 2) SEED AND MULCH SHALL BE PLACED (BY OWNER) IN ALL AREAS WHERE VEGETATION IS DISTURBED.
- 3) STRAW AND WOOD CHIPS SHALL BE PLACED TO PROVIDE TEMPORARY PROTECTION WHILE FINAL GRADING IS BEING COMPLETED.
- 4) PLACE FILTER FABRIC ON ALL CURB INLETS.

***WATTLES ARE USED AS ENERGY DISSIPATION DEVICES**

***WATTLES ARE USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE**

***WATTLES MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED**

AREA OF SOIL DISTURBANCE: 19.65 ACRES FULL SCOPE
3.75 ACRES - EARLY GRADING



TOTAL DISTURBED AREA: 19.65 ACRES

STORM WATER POLLUTION PREVENTION PLAN

NEW ELEMENTARY SCHOOL 2021

TONTITOWN, ARKANSAS

REVISION	DATE	DESCRIPTION
1	9/16/20	CITY TECH PLAT COMMENT 9/9/20

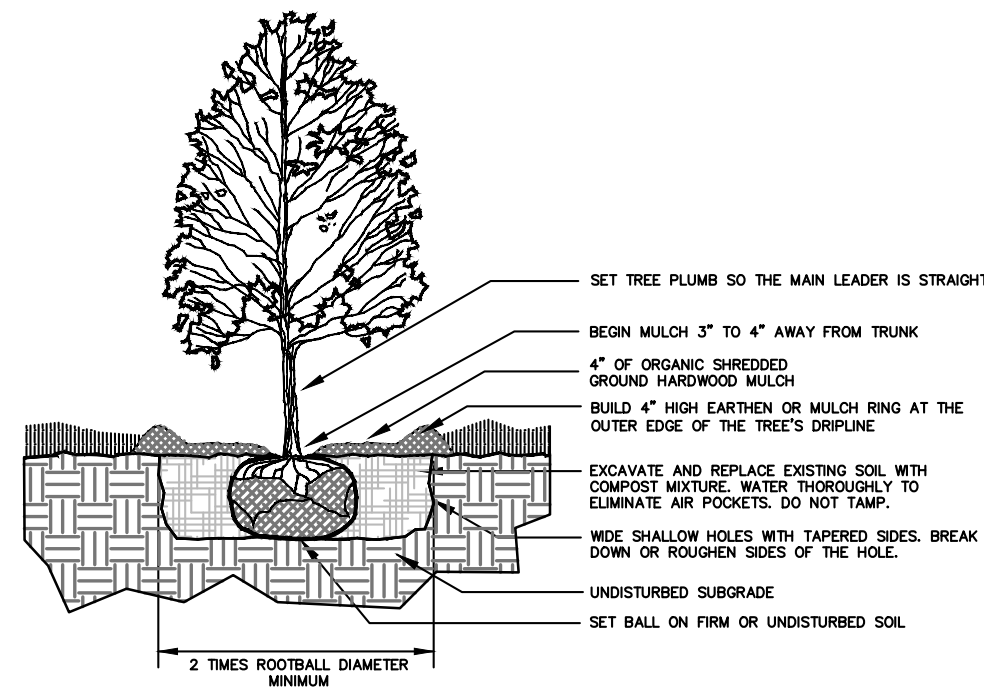
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DATE: Sep 17, 2020

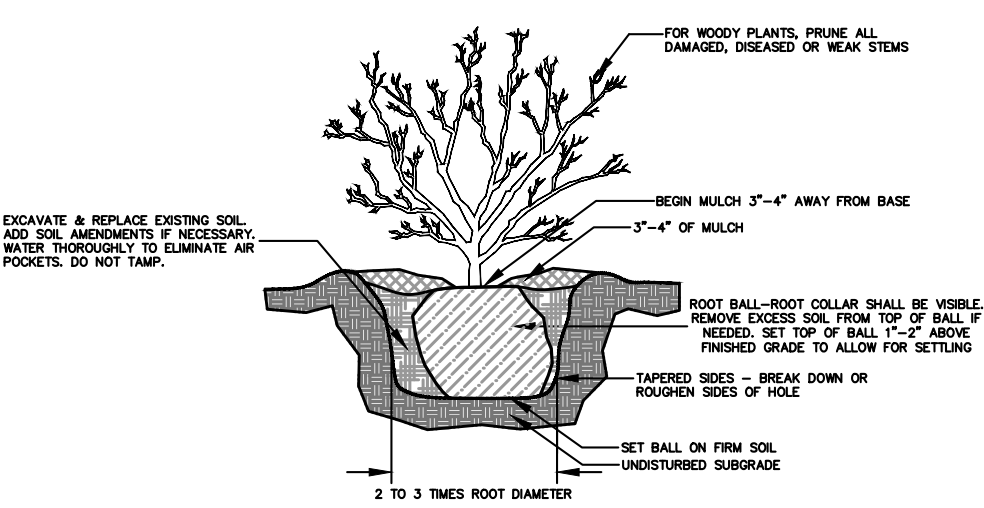
ENGINEER: DBB

DRAWN BY: XXX

W.O. #: 20922

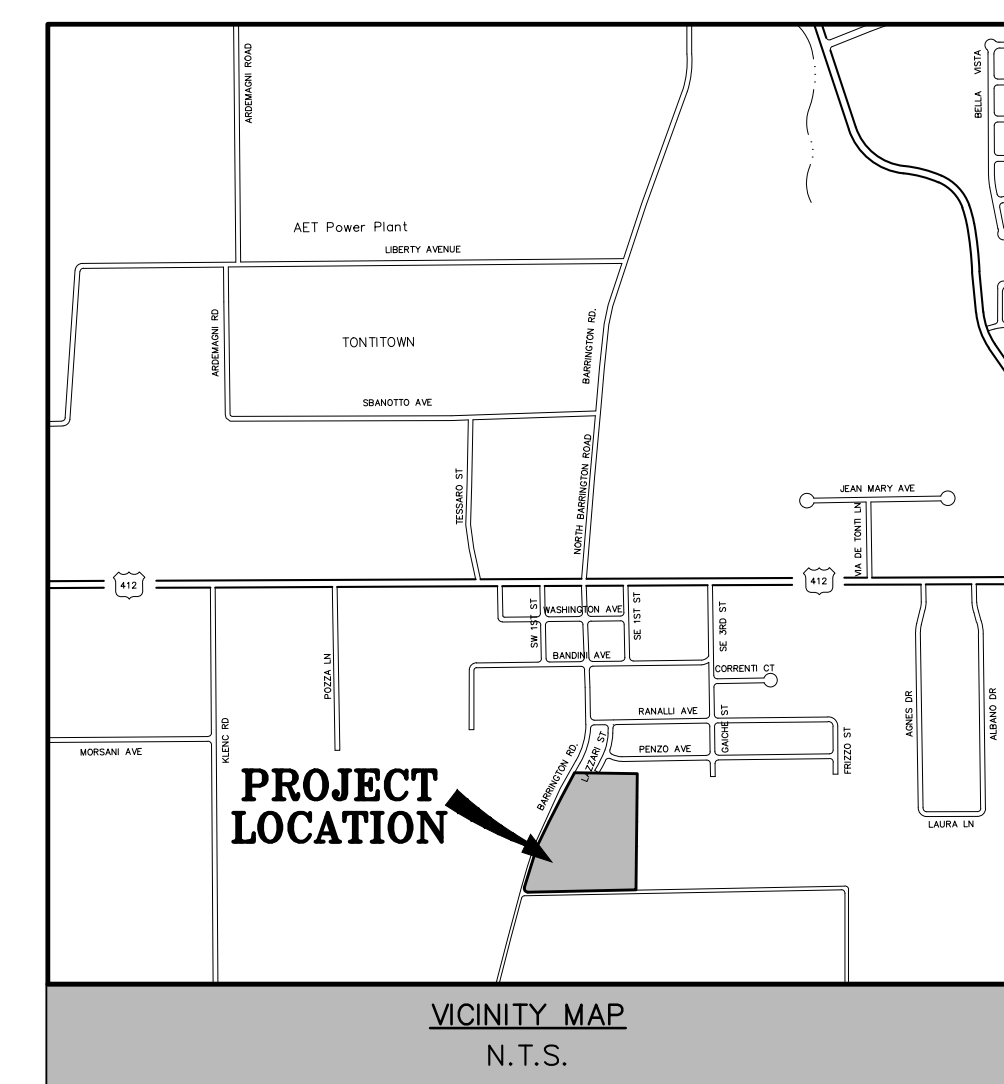
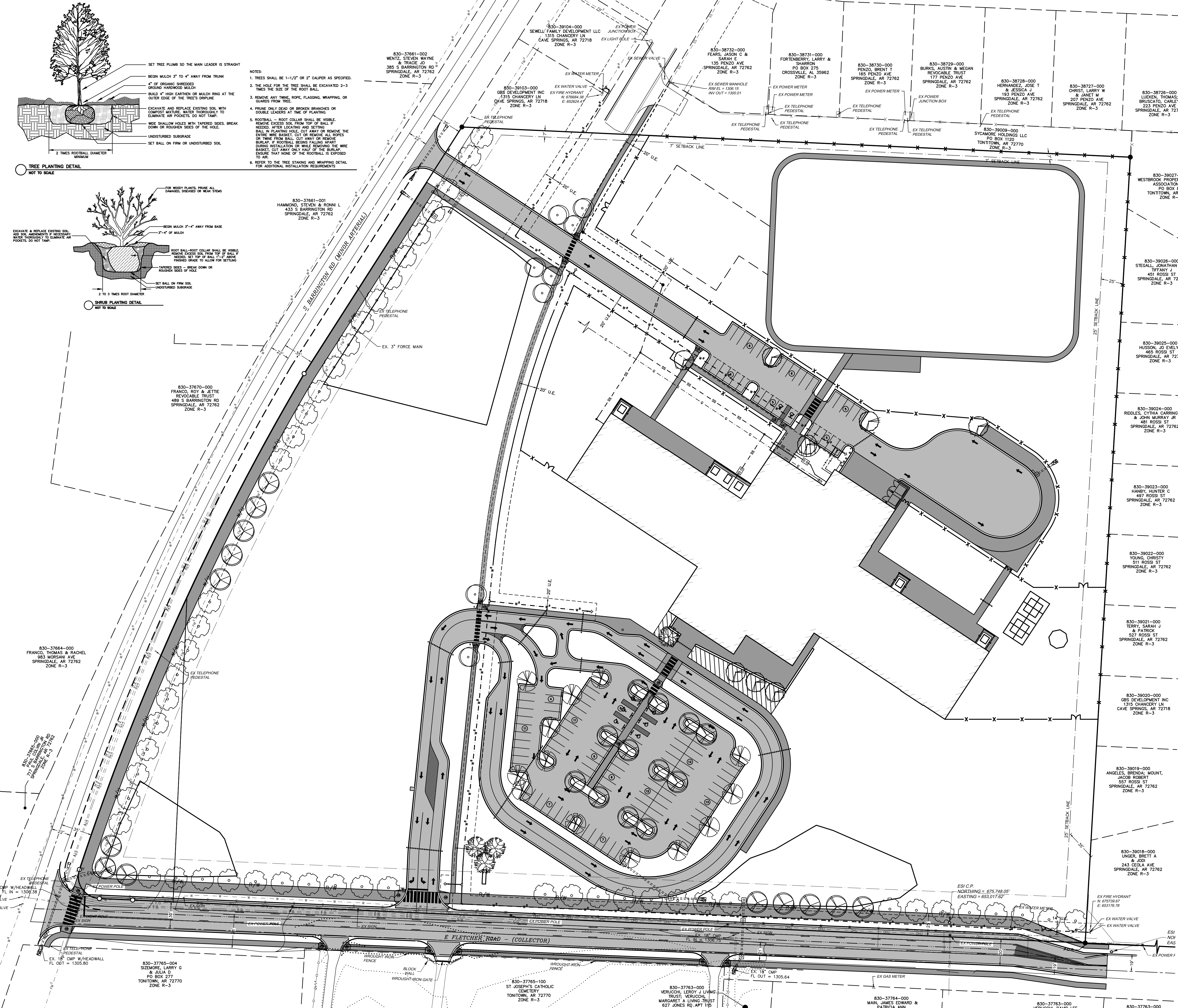


TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

- NOTES:
1. TREES SHALL BE 1-1/2" OR 2" CALIPER AS SPECIFIED.
 2. THE HOLE FOR THE TREE SHALL BE EXCAVATED 2-3 TIMES THE SIZE OF THE ROOT BALL.
 3. REMOVE ANY TWINE, ROPE, FLAGGING, WRAPPING, OR GUARDS FROM TREE.
 4. PRUNE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT TIME OF PLANTING.
 5. ROOTBALL - ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED. AFTER LOCATING AND SETTING BALL IN PLANTING HOLE, CUT AWAY OR REMOVE BURLAP IF ROOTBALL BEGINS FALLING APART DURING INSTALLATION OR WIRE REMOVING THE WIRE BASKET. CUT AWAY ONLY HALF OF THE BURLAP ENSURING THAT NONE OF THE ROOTBALL IS EXPOSED TO AIR.
 6. REFER TO THE TREE STAKING AND WRAPPING DETAIL FOR ADDITIONAL INSTALLATION REQUIREMENTS.



PROJECT LOCATION

VICINITY MAP
N.T.S.

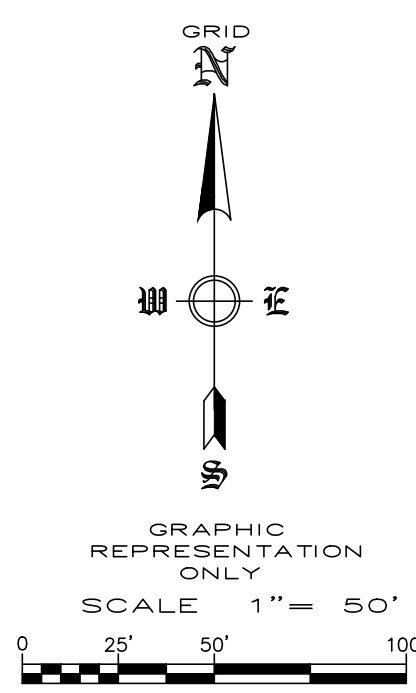
OWNER/DEVELOPER: SPRINGDALE SCHOOL DISTRICT # 50
PO BOX 8
SPRINGDALE, AR 72765-0008

ENGINEER: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762

CITY ZONING: R-3 SINGLE-FAMILY RESIDENTIAL

SETBACKS: FRONT - 30'
SIDE - 7'
STREET SIDE - 25'
REAR - 25'

GROSS AREA: 20.00 ACRES
NET AREA: 20.00 ACRES



NOTES:

FRONTAGE TREES REQUIRED = 1 PER 30 LINEAR FT
TOTAL FRONTAGE TREES = 65 @ 1950 FT OF FRONTAGE
TOTAL FRONTAGE TREE PROVIDED: 67

INDEX OF TREES				
TREE SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL #	SIZE
	LITTLELEAF LINDEN	Tilia Cordata	8	3" Cal B & B
	LACEBARK ELM	Ulmus parvifolia	13	3" Cal B & B
	NORTHERN RED OAK	Quercus rubra	51	3" Cal B & B
	SUGAR MAPLE	Acer saccharum	25	3" Cal B & B
	EASTERN REDBUD	Cercis canadensis	4	3" Cal B & B
	RED MAPLE	Acer rubrum	8	3" Cal B & B

LANDSCAPE NOTES:

1. AUTOMATIC IRRIGATION SYSTEM OR HOSE BIBS WILL BE PROVIDED FOR ALL LANDSCAPED AREAS
2. SOIL SHALL BE AMENDED AND ALL ROCKS AND FOREIGN MATERIAL SHALL BE REMOVED PRIOR TO ANY LANDSCAPE INSTALLATION
3. NOTE THE SIZE OF LANDSCAPE TREES AND MATERIALS AT TIME OF PLANTING
4. WIRE BASKETS AND BURLAP TO BE REMOVED DURING TREE PLANTING
5. ALL PLANTING BEDS SHALL RECEIVE 6" OF TOPSOIL FREE OF ROCKS/WEEDS/DEBRIS PRIOR TO INSTALLATION OF PLANT MATERIAL
6. ALL PLANTING BEDS SHALL RECEIVE ORGANIC MULCH AT TIME OF INSTALLATION
7. ALL PLANTING BEDS SHALL BE CONTAINED BY EDGING OR MATERIAL OTHER THAN VEGETATION/SOD
8. SHADE TREES SHALL HAVE A MIN. CALIPER OF 3" AND A HEIGHT OF 8'
9. ORNAMENTAL TREES SHALL HAVE A MIN. CALIPER OF 1.5" AND A HEIGHT OF 4'
10. PLANT MATERIAL TO BE GUARANTEED FOR A MINIMUM PERIOD OF THREE (3) YEARS FROM DATE OF INSTALLATION
11. ONCE INSTALLED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY LIVING CONDITION, AND IF PLANT MATERIAL DIES IT SHALL BE REPLACED WITHIN THE NEXT APPROPRIATE GROWING SEASON
12. IF CONFLICTS WITH PROPOSED LIGHTS, FIRE HYDRANTS, OR OTHER SITE FEATURES EXIST, TREES OR SHRUBS SHALL BE MOVED AND SHALL NOT INTERFERE WITH PROPOSED FEATURES
13. TREES SHALL BE STAKED AS NECESSARY TO PREVENT LEANING OR FALLING OVER.
14. TREES SHALL BE AT LEAST 5 FEET FROM ANY UTILITY MAIN LINES.
15. TREES FRONTING LOCAL STREETS WILL REQUIRE LOWER BRANCHES TO BE TRIMMED.

ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762

LANDSCAPE PLAN
NEW ELEMENTARY SCHOOL 2021
TONTITOWN, ARKANSAS

REVISION	DATE	DESCRIPTION
1	9/16/20	CITY TECH PLAT COMMENT 9/9/20

SCALE: 1"=50'

DATE: Sep 17, 2020

ENGINEER: DBB

DRAWN BY: JLS

W.O. #: 20922

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[illegible]

NO.	DATE	DESCRIPTION
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C:\Users\martin\Documents\19-072 SSD Elementary 2(00_martin27927.rtf

FINDINGS and RECOMMENDATIONS

Findings of this study are summarized as follows:

- It is estimated that 671 AM peak hour trips and 274 school PM peak hour trips are projected with a maximum enrollment of 820 students plus (grades K-5).
- Capacity and level of service analysis was performed for existing traffic volumes, lane geometry and traffic control for the AM and school PM peak hours for the study intersection. All existing vehicle movements for existing traffic conditions at the study intersection of S. Barrington Road and E. Fletcher Avenue presently operates at what calculates as an acceptable LOS "B" or better for the AM and school PM peak hours.
- Capacity and LOS analysis was performed for projected traffic conditions of full build-out of the site to include a maximum enrollment of approximately 820 students (grades K-5) plus five-years background growth for the AM and school PM peak hours for the study intersections. All vehicle movements are expected to operate at what calculates as LOS "D" or better for these projected five-year traffic conditions at the study intersections for the AM and school PM peak hours except for the westbound left-turn vehicle movement on E. Fletcher Avenue at S. Barrington Road during the AM peak hour (LOS "E") with "Stop" sign control. The addition of an approximate 120-foot (plus taper) westbound left-turn lane on E. Fletcher Avenue at S. Barrington Road has been included in this analysis. Widening E. Fletcher Avenue to accommodate a westbound left-turn lane was found to be necessary for this intersection. The westbound left-turn 95th percentile vehicle queue on E. Fletcher Avenue approach to S. Barrington Road is calculated to be approximately only two to three vehicles with an approximate 21.2 second per vehicle delay during the highest volume AM peak hour with proposed lane geometry and "Stop" sign control.
- The access drive from E. Fletcher Avenue to the school campus, if build as shown on attached site plan, would provide approximately 1,980 linear feet of available vehicle queuing (includes

double-stacking). This is more than the calculated vehicle queue length needed of 1,353 linear feet for a maximum enrollment of 820 students. It is expected that the planned school vehicle queuing will likely not exceed the proposed available storage within the site with the access drive constructed as planned.

- Based on peak hour volume criteria set out in the MUTCD, it was found that traffic signal warrants are not projected to be met at the intersection of S. Barrington Road and E. Fletcher Avenue for projected 5-year traffic conditions during either the AM or School PM peak hours.
- As shown on the attached site plan, it is recommended to construct the access drive along S. Barrington Road (North Drive) to consist of one inbound receiving lane, an outbound lane. It will serve as the access drive to support services and bus access.
- As shown on the attached site plan, it is recommended to construct the access drive along E. Fletcher Avenue (South Drive) to consist of one inbound receiving and one left-turn and one right left-turn outbound lane. South Drive is proposed to serve access to the parent pickup/drop-off area as well as the parking area for staff.
- It is recommended to construct roadway widening for addition of an approximate 120-foot (plus taper) westbound left-turn lane on E. Fletcher Avenue at S. Barrington Road to coincide with the school development.

The conclusion of traffic operational findings associated with this study is that projected traffic associated with the planned elementary school can be accommodated adequately by the adjacent street that offers access to and from the site for projected 5-year traffic conditions to include a maximum enrollment of 820 students with the recommendations included in this study.

