



## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **February 26, 2019**  
Project: **Ttown 112 Apartments**  
Planner: Courtney McNair

### AGENDA ITEM

## C

### PRELIMINARY LARGE SCALE DEVELOPMENT PLAN APPROVAL REQUEST

South of 259 S. Maestri Road / North of 493 S. Maestri Road  
Parcel #s 830-37600-000, 830-37610-000, 830-37612-002, 830-37604-005

**SUMMARY:** TTown 112 Apartments is requesting Preliminary Large Scale Development (LSD) approval for 11-24 unit apartment buildings to be constructed in two phases on 21.56 acres for a total of 264 units.

**CURRENT ZONING:** R-MF Residential Multi Family-16/units per acre allowed. Currently proposed at approximately 12.6 units per acre, so they are in compliance with current zoning.

**CITY WARD:** 1- Gene McCartney & Henry Piazza

**FLOODPLAIN:** No

**INFRASTRUCTURE SERVICE AREAS** (not a guarantee of service availability):

**Water:** Tontitown Water to be extended by applicant

**Electric:** Ozarks Electric

**Sewer/Septic:** Tontitown Sewer to be extended by applicant/ lift station proposed

**Phone:** AT&T

**Natural Gas:** Black Hills Energy

**Cable:** Cox Communications

**School District:** Springdale

#### PROJECT SYNOPSIS:

TTown 112 Apartments is requesting Preliminary Large Scale Development (LSD) approval for 11 - 24 unit apartment buildings to be constructed in two phases. This is a total of 264 units. The plan also calls for amenities to include a dog park, playground, and pool area.

The total acreage is 21.56 acres. Residential Multi-Family (R-MF) zoning allows for up to 16/units per acre, so this proposal meets current zoning density requirements.

#### TECHNICAL INFORMATION:

##### Utilities:

**Water:** Tontitown Water to be extended by applicant. The Public Works Director provided comments and will review the water system prior to construction.

**Electric:** Ozarks Electric

**Sewer/Septic:** Tontitown Sewer to be extended by applicant/ lift station proposed. Additional information needed on design data and pump calculations. This design is in the process of being reviewed by the City Water Department Engineer.

**Phone:** AT&T- Commented on the UE with the waterline show in the middle of the easement due to preferred spacing of utilities.

**Natural Gas:** Black Hills Energy- No comments were received from BHE.

**Cable:** Cox Communications- No comments were received from Cox.

It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.

**School District:** Springdale school district was notified of this project, but submitted no comments.

**Stormwater Pollution Prevention Plan (SWPPP):**

The applicant has provided a grading a drainage plan. A SWPPP must be completed and posted on site prior to construction.

**Police:**

Tontitown Police had no comments.

**Fire:**

There are several hydrants shown on these plans. The Fire Marshal has reviewed and made comments. Repponses were received and the Fire Marshal is in the process of reviewing the resubmittal.

All buildings are required to be sprinklered (and are shown as such on the plans). FDC (fire department connection) locations were reviewed and changes requested. The Fire Marshal is in the process of reviewing the resubmittal.

The main drive aisles are 26 feet wide with a 40-foot-wide entrance proposed. All turns have the required radius for fire apparatus access. Fire Lane striping or "No Parking" signs must be added per the Fire Marshal. All interior drives must meet the required compaction rating to support emergency vehicles.

Full architect plans must be submitted prior to issuing building permits. All life safety information will be reviewed at that time.

**Drainage:**

There is a detention pond and several drainage ditches proposed for this site. The applicant's engineer submitted a drainage report for review. The City Engineer reviewed and made comments. The City Engineer is currently reviewing the resubmitted information.

The wetlands map indicated that there may be wetlands present on this property. Currently a jurisdictional study is being completed by FTN. The results of this study will determine if any additional requirements will be added.

All remaining comments from the City Engineer must be addressed prior to Construction Plan approval.

**Roads/Sidewalks:**

This project has access on S. Maestri Road, which is an Arkansas State Highway. Approval for the entrance drives will be required by the Arkansas Department of Transportation (ARDOT).

Site visibility appears to be adequate from the proposed entrance location. Staff has requested that the alignment of nearby drives be shown on the plans to provide an overall view of the connections onto S. Maestri in this area.

No plans have been submitted for future connectivity to property to the south.

As stated above, all interior drives must meet the required compaction rating to support emergency vehicles.

The applicant is requesting a waiver from the sidewalk requirements along S. Maestri Road as ARDOT (Arkansas Department of Transportation) is proposing to improve this street and the street plans are not finalized. WAIVER-SIDEWALKS

Sidewalks to connect from the interior along the entrance drives, to S. Maestri Road must be added to the plans.

**Architectural Design Standards:**

The elevations submitted appear to meet the Large Scale Development design standards.

**Additional Planning Information:**

At this time, Staff has no information for the timeline of Phase 2.

Entrance signage is not shown, and will need to be permitted separately if a sign is desired.

**STAFF RECOMMENDATION:** There are several technical details that remain to be addressed at the Construction Plan phase of plan review, but the overall design should not change significantly. Any significant changes as a result of further study will be required to come back to this Board.

Therefore, staff recommends approval of Ttown 112 Apartments Preliminary Large Scale Development with conditions.

**CONDITIONS RECOMMENDED FOR APPROVAL:**

1. It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.
2. The SWPPP shall be completed and posted on site prior to construction.
3. Correct all remaining items on the "Plat Requirement Worksheet" prior to Construction Plan approval. Planning Staff will provide a copy of the remaining requirements to the engineer for the project.
4. Sidewalks to connect from the interior along the entrance drives, to S. Maestri Road must be added to the plans.
5. Sidewalks along S. Maestri are required unless the Waiver is approved.
6. Show nearby drives on the plans for clarity of connections along S. Maestri Road.
7. Results of the wetlands study must be submitted and a plan provided if any additional work must be completed due to the presence of wetlands.
8. Water and Sewer plans shall be approved prior to construction.
9. A general timeline for Phase 2 must be submitted.
10. If an entrance sign is desired, it must be permitted separately and shall comply with all current sign codes.
11. "No Parking" signs / fire lane striping shall be placed per the Fire Marshal.
12. FDC locations shall be approved by the Fire Marshal.
13. All Life Safety information shall be submitted prior to a building permit being issued.
14. All interior drives shall meet the required compaction rating to support emergency vehicles.
15. Correct all comments from the City Engineer prior to Construction Plan approval.
16. Approval for the entrance drive will be required by the Arkansas Department of Transportation (ARDOT).

17. The applicant shall apply for all required permits prior to construction.
    - a. Pre Construction Meeting must be held and plans approved.
    - b. SWPPP BMPs must be inspected and approved.
    - c. Building permits must be submitted and approved.
  18. Once all Engineering Statements are received by the City, any additional charges will be sent to the developer in an invoice to be paid prior to the issuance of a Certificate of Occupancy.
  19. Final Large Scale Development plans, inspections, and approval is required prior to the issuance of a Certificate of Occupancy.
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#### **Waiver Requests-**

##### **"152.026 WAIVERS.**

###### **(A) General.**

*(1) When, by the strict interpretation of these regulations, an applicant incurs undue restrictions on the physical property to be subdivided, a waiver for such requirements may be granted by the Planning Commission.*

*(2) Under no circumstance should a waiver be granted because of a personal hardship or for personal or emotional reasons. Waivers shall not be granted based strictly on financial hardship.*

*(3) A waiver is determined by the strict interpretation and enforcement of the rules and regulations upon a given piece of property to be subdivided.*

###### **(B) Procedures.**

*(1) No waiver shall be granted except upon written petition by the applicant when the application is filed. The petition shall state fully the grounds for the waiver and all the facts upon which the petition is made.*

*(2) In granting the waiver, the Planning Commission shall prescribe any conditions that it deems necessary to or desirable in the public interest.*

*(3) In considering the petition for a waiver, the Planning Commission shall take into account the nature of the proposed use of land involved, existing uses of land in the area, proximity to public utilities, the number of persons who will reside or work in the proposed subdivision, and the probable effect of such waiver upon traffic conditions and upon the public health, safety and general welfare in the vicinity.*

*(4) The findings of the Planning Commission, together with the specific facts upon which findings are based, shall be incorporated into the official minutes of the Planning Commission meetings at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of these regulations.*

*(5) No waiver shall be granted unless the Planning Commission finds all of the following:*

*(a) That there are special circumstances or conditions affecting the land involved such that the strict application of the provision of these regulations would deprive the applicant of the reasonable use of this land.*

*(b) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant.*

*(c) That the granting of the waiver will not be detrimental to the public health, safety and welfare or injurious to other property in the area.*

*(d) That the granting of the waiver will not have the effect of preventing the orderly subdivision of other land in the area in accord with the provision of these regulations."*

#### **WAIVER-SIDEWALKS**

The applicant is requesting a waiver from the sidewalk requirements along S. Maestri Road as ARDOT (Arkansas Department of Transportation) is proposing to improve this street and the street plans are not finalized.

*STAFF ANALYSIS: While ARDOT does have future plans to improve S. Maestri Road (Hwy. 112), and we have no set plans, there is also no set timeline. Staff does have information from Regional Planning that the intersection at Hwy. 112 and Hwy. 412 has funding set aside. It has been discussed*



*that the northern section of Hwy. 112 that will connect to Hwy. 612 would be completed before work on South Hwy. 112. Improvements on S. Maestri could take many years. Also, there are several properties that have the potential to develop in this area.*

*Staff believes that not constructing this sidewalk could impact public health, safety, and welfare, as well as effect the orderly development of adjacent properties.*

**STAFF RECOMMENDATION:** Staff recommends DENIAL of the waiver request to remove the sidewalk requirement along S. Maestri Road.

February 6, 2019

City of Tontitown  
235 E Henri De Tonti Blvd  
Tontitown, AR 72770

RE: TTown 112 Apartments  
Large Scale Development

Dear Sir or Ma'am:

Please let this letter serve as a narrative to accompany the first submittal for TTown 112 Apartments. The project is located along Highway 112, approximately 0.3 miles south of Highway 412 in Tontitown.

#### *General*

The site is currently zoned Residential – Multi-family and no change in zoning is proposed. The proposed project will consist of 11 apartment buildings, consisting of 264 units. The project is divided into two phases, and will consist of all necessary paving, utility and drainage infrastructure.

#### *Drainage*

There is a large amount of run-on from the north, west, and south. The proposed development handles this run-on by a combination of ditch and storm drainage piping. The proposed site discharges to a detention pond, which then discharges to an existing 3'x3' reinforced concrete box culvert along Highway 112. For more detailed information, please see the included drainage report.

#### *Utilities*

The proposed site currently has inadequate utility infrastructure to handle the proposed development. The site will obtain potable water by two off-site utility connections to the west and northeast of the site. For sanitary sewer, a lift station is proposed which will pump on-site sewer to the existing gravity sewer along the western property line.

Included with this submittal are the following items:

- City of Tontitown check list
- Two hard copies of the plans
- One hard copy of the drainage report
- Proposed building elevations
- Lighting cut sheets
- Warranty deed
- Copy of the filed plat
- CD containing all material

If you have any questions regarding the development or this request, please contact me.

Sincerely,

Blake Murray, P.E.  
Project Engineer



# **24 UNIT BUILDING 2** *FOR CASCADE CONSTRUCTION*

## **CONSTRUCTION DOCUMENTS**

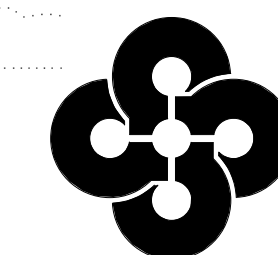






# **24 UNIT BUILDING 1** *FOR CASCADE CONSTRUCTION*

## **CONSTRUCTION DOCUMENTS**



**Crafton Tull**  
architecture | engineering | surveying

1450 E. Zion Road  
Fayetteville, Arkansas 72703  
479.455.2207 t 479.631.6224 f  
www.craftontull.com

**24 UNIT BUILDING 1 - 18114700**

CONSTRUCTION DOCUMENTS  
2/1/19





PLANS FOR A

# LARGE SCALE DEVELOPMENT

TO SERVE

# TTOWN 112 SOUTH HOLDINGS LLC APARTMENTS

IN THE CITY OF

## TONTITOWN, ARKANSAS



**CABLE COMPANY:** COX COMMUNICATION  
CONTACT: MICHAEL MOORE  
4901 SOUTH 48TH STREET  
SPRINGDALE, AR 72762  
PH: 479-717-3730  
FAX: 479-872-0174  
EMAIL: MICHAEL.MOORE3@COX.COM

**TELEPHONE COMPANY:** AT&T  
CONTACT: JOHN HILL  
PH. 479-442-1963  
EMAIL: JH7313@ATT.COM

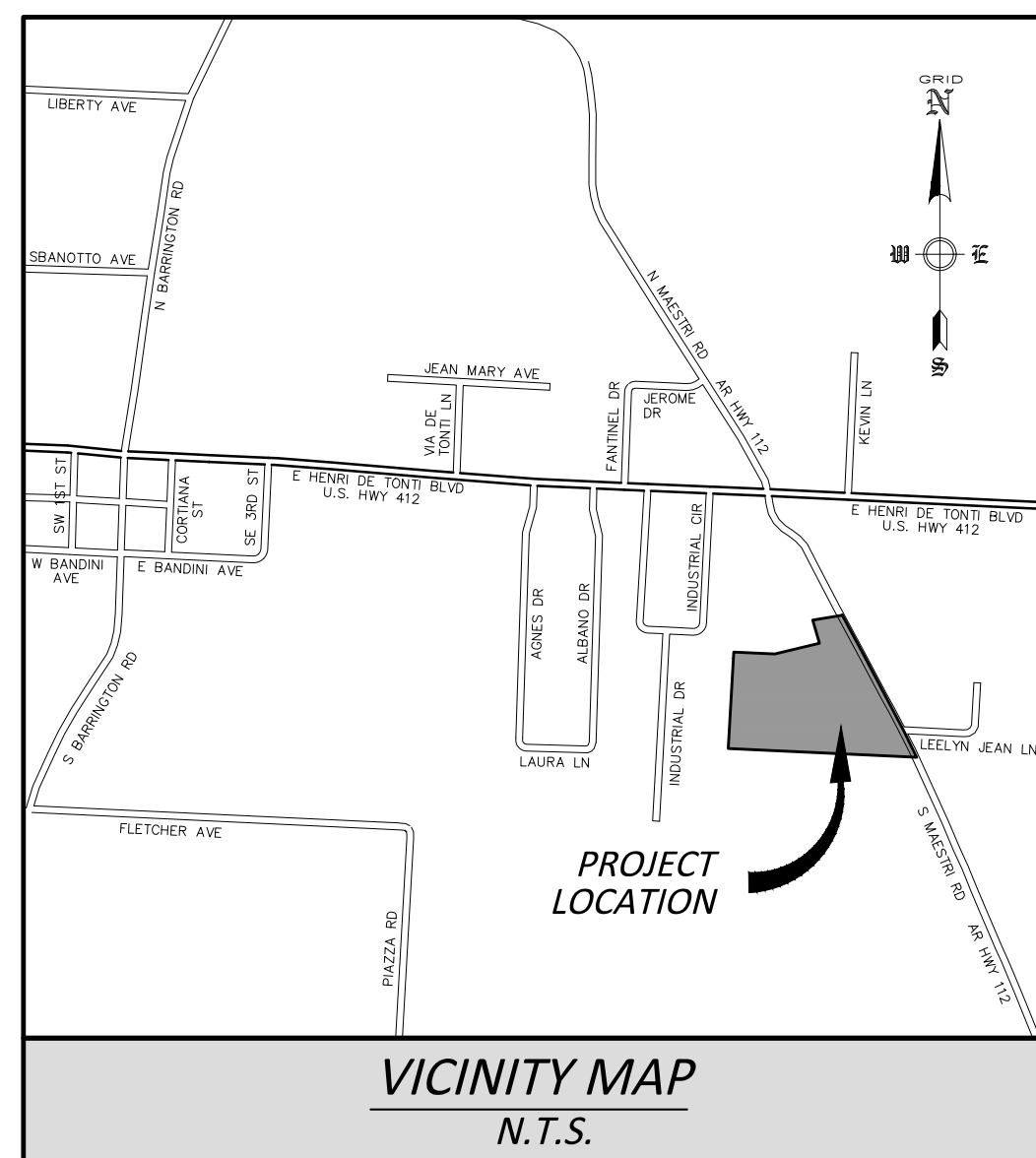
**GAS COMPANY:** BLACK HILLS ENERGY  
CONTACT: BRANDON STOKES  
PH. 479-225-3726

**ELECTRIC COMPANY:** OZARKS ELECTRIC  
CONTACT: WES MAHAFFEY  
PH. 479-684-4949  
EMAIL: WMAHAFFEY@OZARKSECC.COM

**WATER /SEWER DEPARTMENT:** TONTITOWN WATER UTILITIES  
201 E HENRI DE TONTI BLVD  
TONTITOWN, AR 72770  
PH. 479-361-2996  
FAX: 501-421-8774

**PLANNING DEPARTMENT:** PLANNING AND ZONING DEPARTMENT  
235 E. HENRI DE TONTI  
TONTITOWN, AR 72770  
PH. 479-361-9702  
FAX 501-421-0012

**BUILDING DEPARTMENT:** CITY OF TONTITOWN'S BUILDING DEPT.  
235 E. HENRI DE TONTI  
TONTITOWN, AR 72770  
PH. 479-361-9702  
FAX 501-421-0012



REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF TONTITOWN ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER HOWEVER, THE CITY OF TONTITOWN RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION, IF ANY INADEQUACIES ARE FOUND AFTER THE IMPROVEMENTS ARE CONSTRUCTED.

FEBRUARY 20, 2019

BY  
ENGINEERING SERVICES INC.



CONSULTING ENGINEERS  
SPRINGDALE, ARKANSAS  
PHONE: 479-751-8733  
FAX: 479-751-8746  
WWW.ENGINEERINGSERVICES.COM

INDEX OF SHEETS	
SHEET No.	DESCRIPTION
0	COVER SHEET
1	EXISTING CONDITIONS
2	OVERALL LAYOUT
3-4	GRADING PLAN
5	STORM DRAINAGE PLAN
6-7	STORM DRAINAGE PROFILES
8-9	TYPICAL DETAILS
10	SEWER PLAN
11	SANITARY SEWER PROFILE
12	FORCE MAIN PROFILE
13	LIFT STATION DETAILS
14	WATER PLAN
15-16	OFF SITE UTILITY
17-19	WATER & SEWER DETAILS
20	PAVING PLAN
21	SWPPP
22	SWPPP DETAILS
23	LIGHTING PLAN
24	LANDSCAPE PLAN

WAIVER REQUESTED: A WAIVER IS REQUESTED FOR NO SIDEWALK IMPROVEMENTS ALONG HIGHWAY 112 THIS IS REQUESTED AS ARDOT IS PROPOSING TO IMPROVE THIS STREET AND THE STREET PLANS ARE NOT FINALIZED.

THOMAS J. APPEL, P.E. No. 13828  
ENGINEERING SERVICES, INC.

NOTES:

- 1) ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF TONTITOWN, ARKANSAS.
- 2) ALL WATER AND SEWER CONSTRUCTION MUST COMPLY WITH THE SPECIFICATION REQUIREMENTS (ORDINANCE 2013-06-429, ADOPTED JUNE 4, 2013, REVISED APRIL 5, 2016) FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES OF THE CITY OF TONTITOWN WATER UTILITIES.
- 3) ALL FORCE MAIN & SANITARY SEWER CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF TONTITOWN, ARKANSAS.
- 4) TRAFFIC SAFETY CONTROL FEATURES ARE TO BE PROVIDED BY THE CONTRACTOR.
- 5) ANY STREET CLOSURES ARE TO BE COORDINATED WITH THE CITY OF TONTITOWN 48 HOURS PRIOR TO WORK.
- 6) THERE ARE NO KNOWN WETLANDS ON THIS PROPERTY. FTN IS CURRENTLY CONDUCTING A JURISDICTIONAL STUDY OF THE PROPERTY.
- 7) NO KNOWN EROSION PROBLEMS EXIST ON THIS SITE
- 8) THERE ARE NO KNOWN EXISTING OR ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPOUNDMENTS, OR UNDERGROUND STRUCTURES ON THIS PROPERTY.
- 9) THERE ARE NO KNOWN POTENTIALLY DANGEROUS AREAS.
- 10) THERE ARE NO KNOWN EXISTING OR PROPOSED GROUND LEASES OR ACCESS AGREEMENTS.
- 11) THIS PROPERTY IS WITHIN THE FLOOD PLAIN ZONE 'X'. (NO SHADING) DESIGNATED AS AN AREA DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE F.I.R.M. MAP #05143C0065 F, PANEL 65 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.



NOTES:

- 1) ANY COST OF ADJUSTMENTS, RELOCATION OR DAMAGE OF EXISTING UTILITIES WILL BE THE RESPONSIBILITY OF THE OWNERS/DEVELOPERS.
- 2) ALL PROPOSED UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND, EXCLUDING 12KV AND ABOVE.
- 3) OUTDOOR STORAGE, TRASH COLLECTION, AND LOADING AREAS MUST BE LANDSCAPED, SO THAT THEIR FUNCTIONS ARE FULLY CONTAINED AND OUT OF VIEW OF THE ADJACENT PROPERTY AND THE PUBLIC RIGHT-OF-WAY.
- 4) EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES AND BANKS OF METER SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- 5) ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- 6) THE GLOBAL POSITIONING SYSTEM (GPS) AND CONVENTIONAL TERRESTRIAL SURVEYING EQUIPMENT PROVIDED THE RELATIVE POSITIONING FOR THE TOPOGRAPHIC, PLANIMETRIC AND BOUNDARY LOCATIONS SHOWN HEREON.
- 7) THE MAP PROJECTION IS REFERENCED TO THE HORIZONTAL CONTROL DATUM OF NAD83 (NORTH AMERICAN DATUM OF 1983), STATE PLANE COORDINATE SYSTEM, ARKANSAS NORTH ZONE (0301), THE BASIS OF BEARINGS FOR THIS PLAT ARE STATE PLANE GRID BEARING, THE VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), TWO TEMPORARY BENCHMARKS UTILIZING THIS DATUM ARE SHOWN HEREON.
- 8) NO NEW SIGNAGE REQUESTED IN THIS PLATING.
- 9) ALL IMPROVED SURFACES SHALL BE UNREINFORCED CONCRETE.
- 10) MODIFIED CURB REQUIRED ON ALL DRIVES.
- 11) PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING WITH ALL FRANCHISE UTILITIES WILL BE REQUIRED.
- 12) THE DETENTION POND MUST BE SODDED TO THE 100 YEAR FLOOD POOL.

PARCEL NUMBER: 830-37600-000  
830-37610-000  
830-37612-002  
830-37604-005

LEGAL DESCRIPTION:

A PART OF THE WEST HALF OF THE SOUTHEAST QUARTER AND PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 30 WEST, CITY OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 6; THENCE N02°10'20"E A DISTANCE OF 739.87 FEET TO THE POINT OF BEGINNING; THENCE N87°21'25"W A DISTANCE OF 173.27 FEET TO THE EAST LINE OF THE NORTHWEST ARKANSAS INDUSTRIAL PARK SUBDIVISION, AS SHOWN ON PLAT BOOK 10 AT PAGE 73, SAID POINT BEING A FOUND 5/8" REBAR; THENCE ALONG SAID EAST LINE, N03°13'36"E A DISTANCE OF 712.96 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE S87°20'00"E A DISTANCE OF 304.58 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE N76°31'52"E A DISTANCE OF 182.74 FEET TO A FOUND 5/8" REBAR; THENCE N76°31'52"E A DISTANCE OF 154.51 FEET TO A FOUND 5/8" REBAR; THENCE N16°00'53"W A DISTANCE OF 178.10 FEET TO A FOUND 5/8" REBAR; THENCE N80°32'00"E A DISTANCE OF 220.67 FEET TO THE CENTERLINE OF ARKANSAS HIGHWAY 112; THENCE ALONG SAID CENTERLINE THE FOLLOWING FOUR CALLS, S28°15'16"E A DISTANCE OF 359.99 FEET TO A FOUND RAILROAD SPIKE; THENCE S27°48'22"E A DISTANCE OF 417.20 FEET TO A POINT; THENCE S27°44'30"E A DISTANCE OF 188.94 FEET TO A POINT; THENCE S28°05'58"E A DISTANCE OF 216.56 FEET TO A POINT; THENCE LEAVING SAID CENTERLINE, N87°21'25"W A DISTANCE OF 1,217.35 FEET TO THE POINT OF BEGINNING, CONTAINING 21.56 ACRES - 939,170 SQ.FT., MORE OR LESS, SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

(1) CERTIFICATE OF PRELIMINARY SURVEY ACCURACY.

I, \_\_\_\_\_, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.

DATE OF EXECUTION: \_\_\_\_\_

REGISTERED LAND SURVEYOR

STATE OF ARKANSAS REGISTRATION NO. \_\_\_\_\_

(2) CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY.

I, \_\_\_\_\_, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN MADE UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.

DATE OF EXECUTION: \_\_\_\_\_

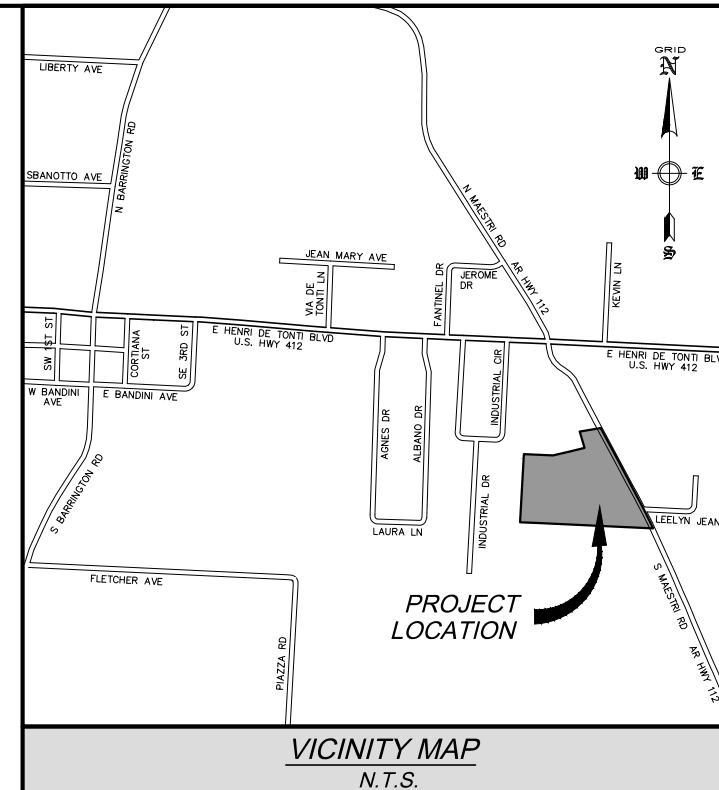
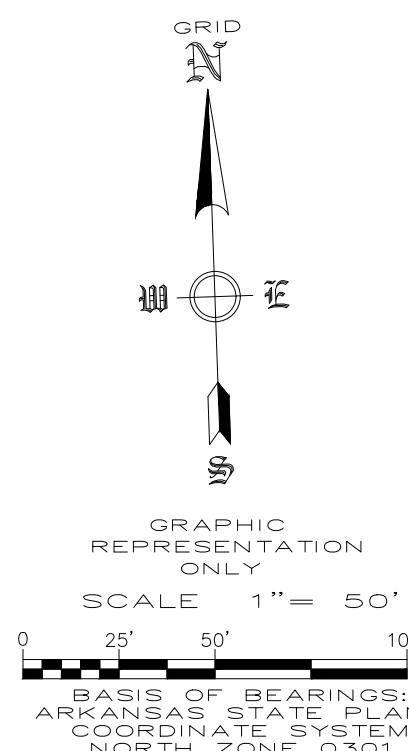
REGISTERED ENGINEER

STATE OF ARKANSAS REGISTRATION NO. \_\_\_\_\_

(3) THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL EXPIRE ON \_\_\_\_\_ (DATE).

DATE OF EXECUTION: \_\_\_\_\_

SIGNED: TONTITOWN PLANNING COMMISSION CHAIRMAN



OWNER/DEVELOPER: TOWN 112 SOUTH HOLDINGS LLC APARTMENTS  
111 HOLCOMB ST.  
SPRINGDALE, AR 72765

ENGINEER: ENGINEERING SERVICES, INC.  
1207 S. OLD MISSOURI ROAD  
P.O. BOX 282  
SPRINGDALE, AR 72762

CITY ZONING: R-MF RESIDENTIAL MULTI-FAMILY  
16 UNITS/ACRE MAXIMUM DENSITY

SETBACKS: FRONT - 20'  
SIDE - 10'  
REAR - 25'

GROSS AREA: 21.56 ACRES±  
NET AREA: 20.34 ACRES±

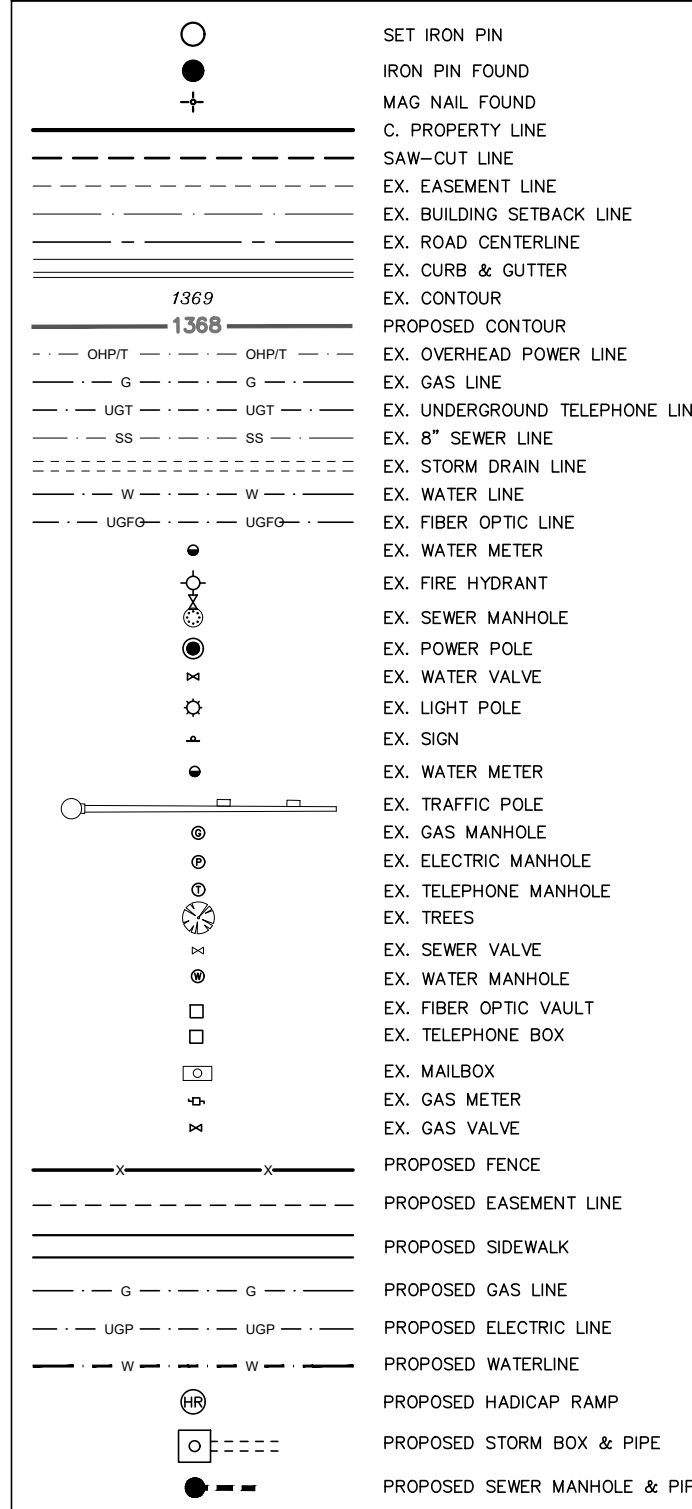
PARKING REQUIRED PHASE 1: 1 1/2 SPACES PER UNIT  
(192 UNITS) = 336 SPACES

PARKING PROVIDED PHASE 1: 366 SPACES ( ADA 8 SPACES)

PARKING REQUIRED PHASE 2: 1 1/2 SPACES PER UNIT  
(72 UNITS) = 126 SPACES

PARKING PROVIDED PHASE 2: 96 SPACES ( ADA 3 SPACES )

LEGEND



OVERALL LAYOUT  
TTOWN 112 APARTMENTS  
TONTITOWN, ARKANSAS

REVISION DATE DESCRIPTION

SCALE: 1"=50'

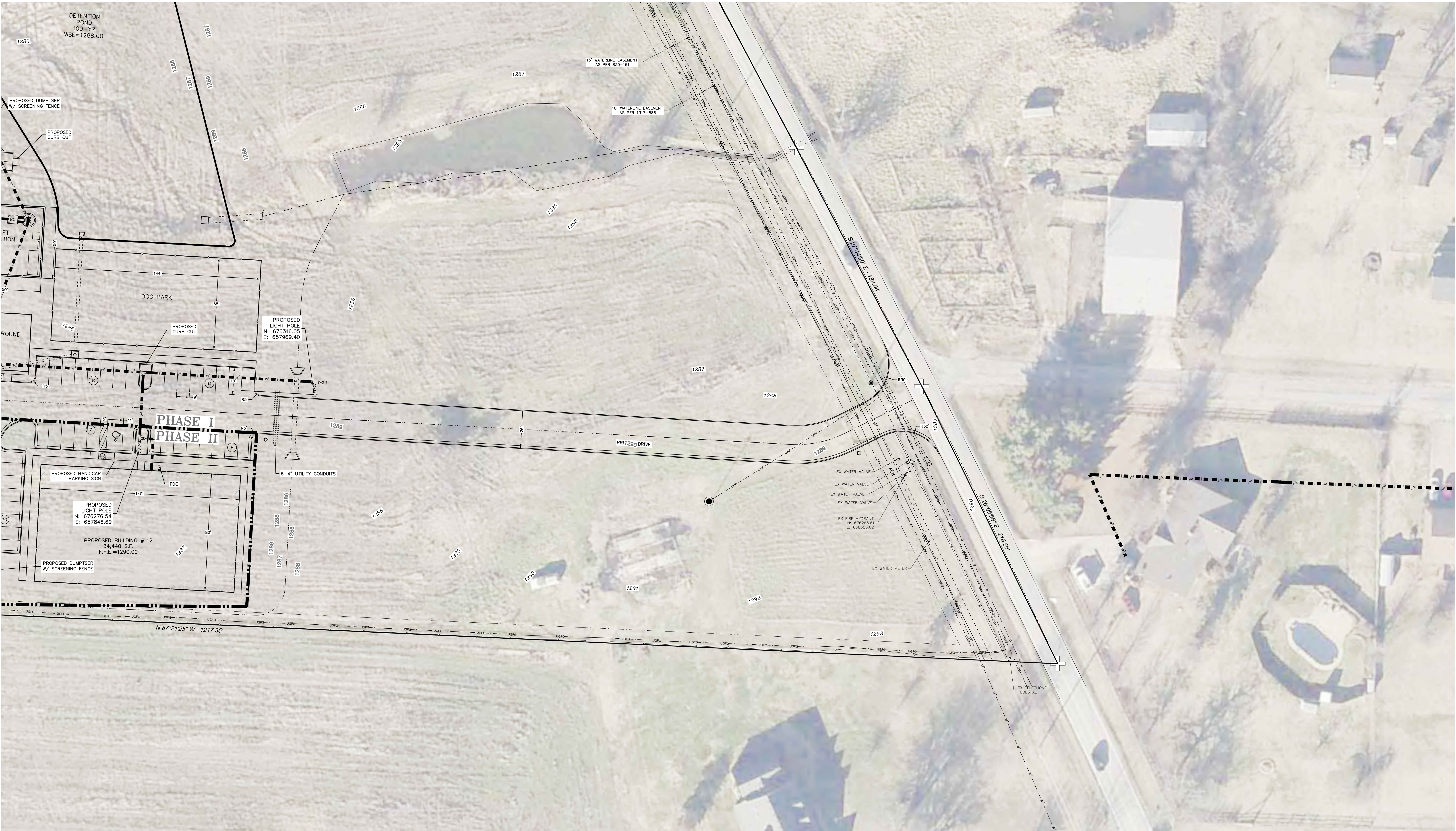
DATE: Feb 20, 2019

ENGINEER: TJA

DRAWN BY: DBB

W.O. #: 19903

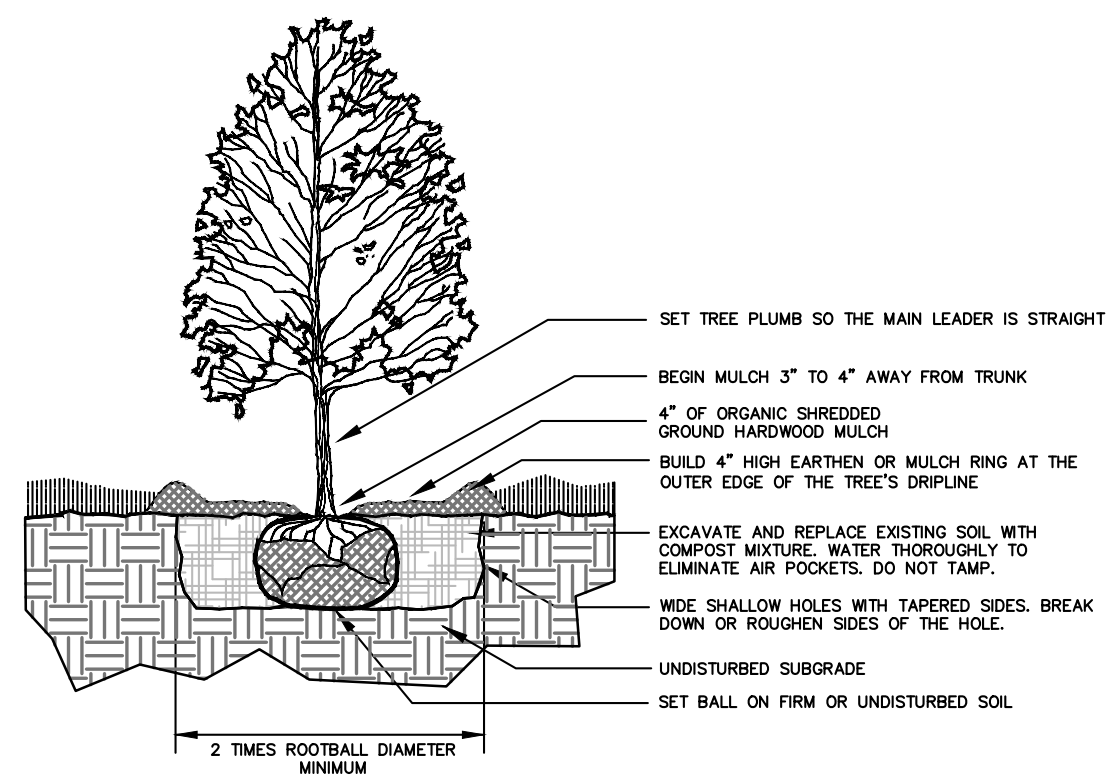






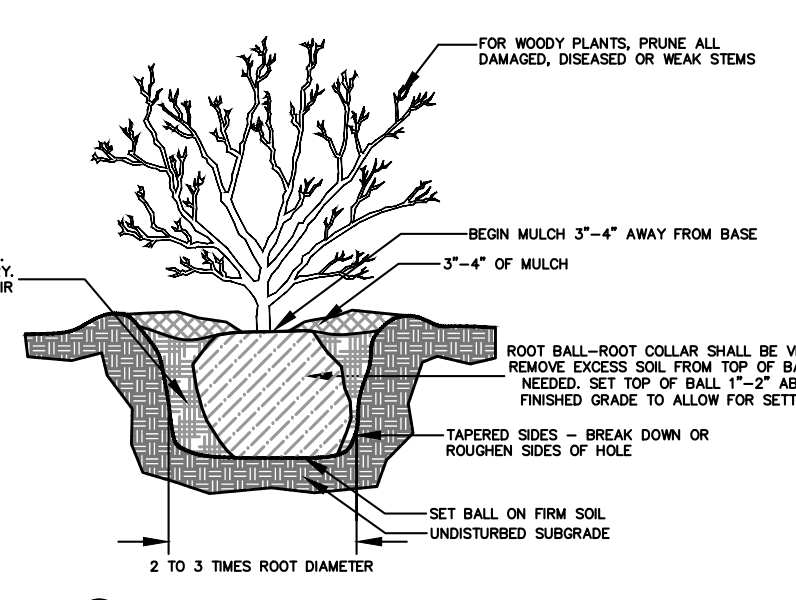






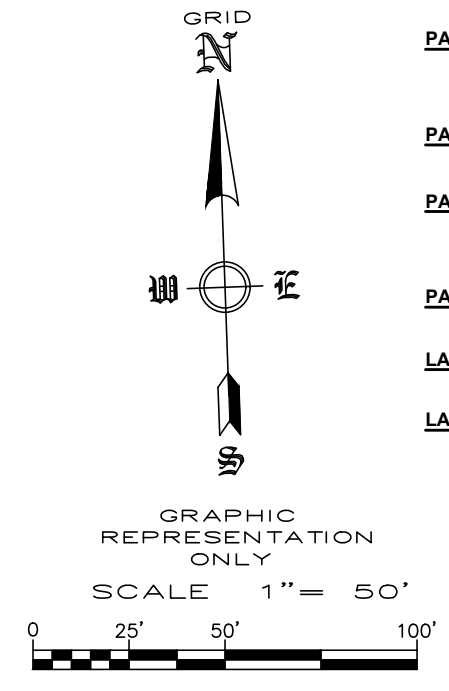
TREE PLANTING DETAIL  
NOT TO SCALE

- NOTES:
1. TREES SHALL BE 1-1/2" OR 2" CALIPER AS SPECIFIED.
  2. THE HOLE FOR THE TREE SHALL BE EXCAVATED 2-3 TIMES THE SIZE OF THE ROOT BALL.
  3. REMOVE ANY TWINE, ROPE, FLAGGING, WRAPPING, OR GUARDS FROM TREE.
  4. PRUNE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT TIME OF PLANTING.
  5. ROOTBALL - ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED. AFTER LOCATING AND SETTING BALL IN PLANTING HOLE, CUT AWAY OR REMOVE THE ENTIRE WIRE BASKET, CUT OR REMOVE ALL ROPES OR TWINE FROM BALL, CUT AWAY OR REMOVE BURLAP IF ROOTBALL BEGINS FALLING APART DURING INSTALLATION OR WARE REMOVING THE WIRE BASKET, CUT AWAY ONLY HALF OF THE BURLAP, ENSURE THAT NONE OF THE ROOTBALL IS EXPOSED TO AIR.
  6. REFER TO THE TREE STAKING AND WRAPPING DETAIL FOR ADDITIONAL INSTALLATION REQUIREMENTS.



SHRUB PLANTING DETAIL  
NOT TO SCALE

INDEX OF SHRUBS				
SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # PLANTS	SIZE
1	EMERALD ARBORVITAE	Thuja occidentalis	34	3 GAL.
2	ENGLISH BOXWOOD	Buxus sempervirens	22	3 GAL.
3	ROSE CREEK ABELIA	Abelia x Rose Creek	31	3 GAL.
4	VIRGINIA SWEETSPIRE	Itea Virginia	12	3 GAL.
5	COMPACT DENSE YEW	Schizachyrium scoparium	20	3 GAL.
6	CREPE MYRTLE	Lagerstroemia indica	31	3 GAL.
7	DRIFT ROSE	Rosa radrazz 'Drift'	18	3 GAL.



**OWNER/DEVELOPER:** MORSANI PROPERTIES LLC  
111 HOLCOMB ST.,  
SPRINGDALE, AR 72765

**ENGINEER:** ENGINEERING SERVICES, INC.  
1207 S. OLD MISSOURI ROAD  
P.O. BOX 282  
SPRINGDALE, AR 72762

**CITY ZONING:** R-MF RESIDENTIAL MULTI-FAMILY  
16 UNITS/ACRE MAXIMUM DENSITY

**SETBACKS:** FRONT - 20'  
SIDE - 10'  
REAR - 25'

**GROSS AREA:** 21.56 ACRES±  
**NET AREA:** 21.56 ACRES±

**PARKING REQUIRED PHASE 1:** 1 1/2 SPACES PER UNIT  
(192 UNITS) = 336 SPACES

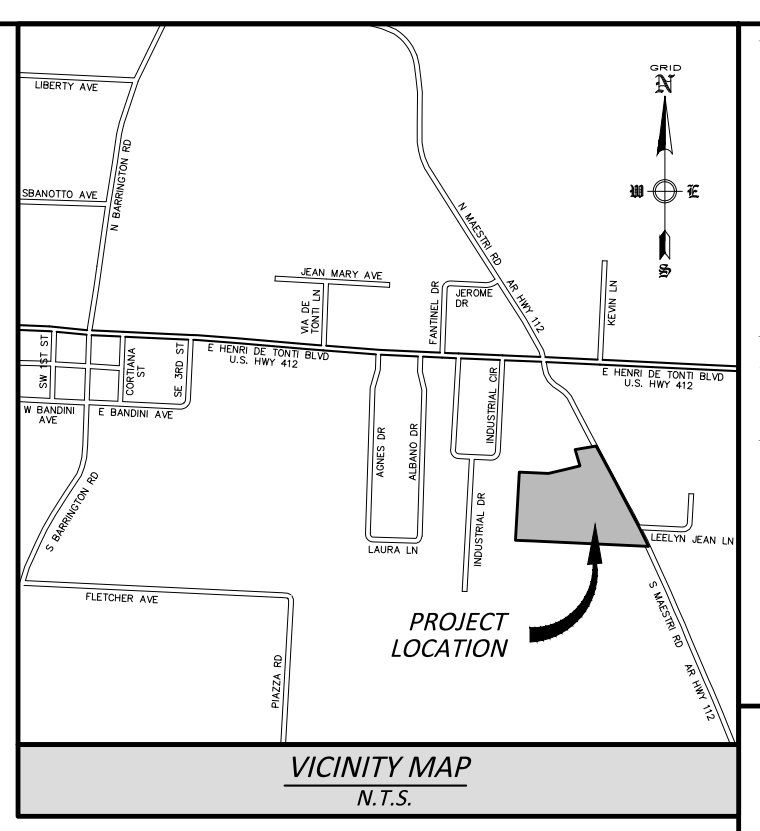
**PARKING PROVIDED PHASE 1:** 367 SPACES ( ADA 8 SPACES)

**PARKING REQUIRED PHASE 2:** 1 1/2 SPACES PER UNIT  
(72 UNITS) = 126 SPACES

**PARKING PROVIDED PHASE 2:** 104 SPACES ( ADA 3 SPACES )

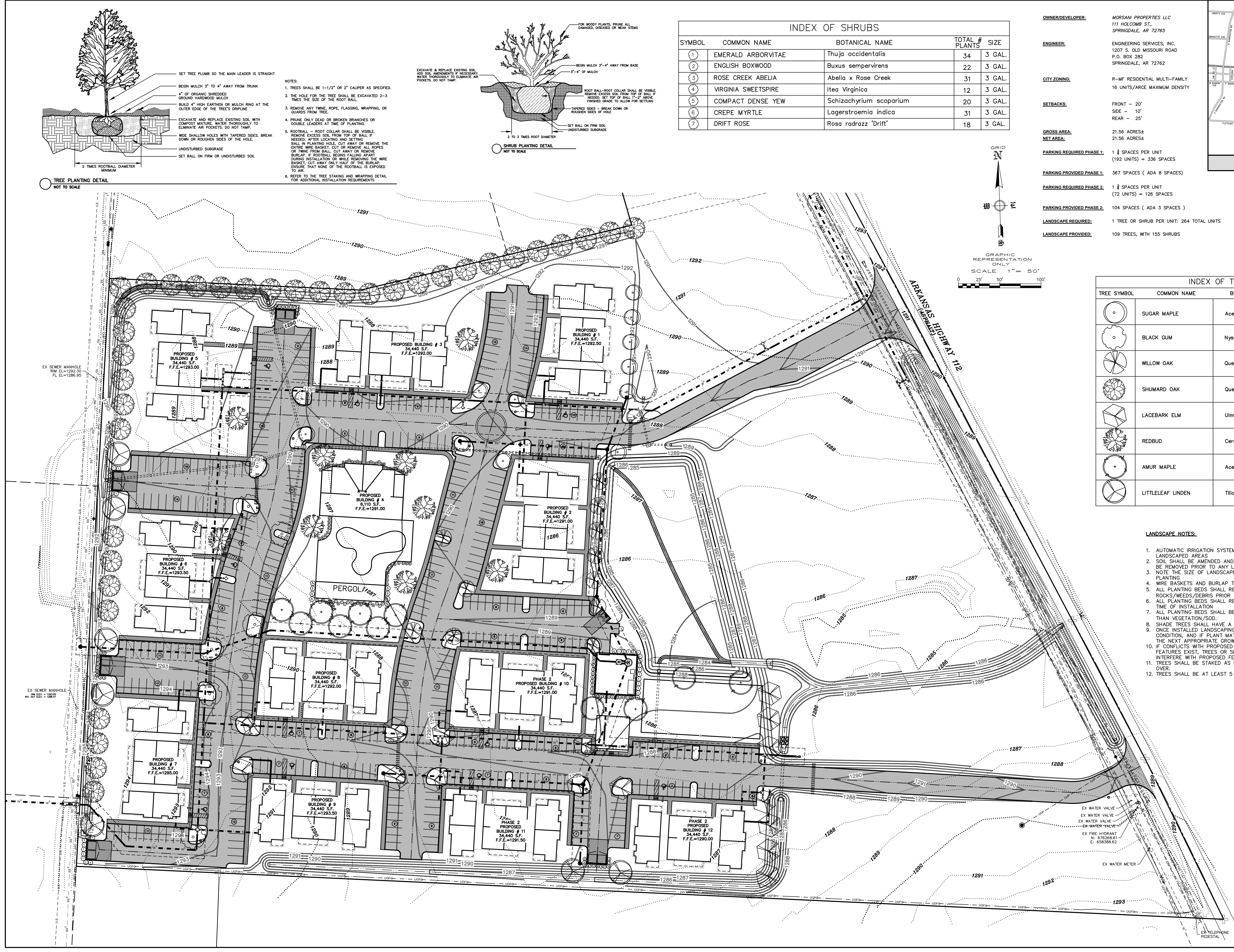
**LANDSCAPE REQUIRED:** 1 TREE OR SHRUB PER UNIT: 264 TOTAL UNITS

**LANDSCAPE PROVIDED:** 109 TREES, WITH 155 SHRUBS



INDEX OF TREES				
TREE SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # TREES	SIZE
1	SUGAR MAPLE	Acer saccharum	13	3" Cal B & B
2	BLACK GUM	Nyssa sylvatica	7	3" Cal B & B
3	WILLOW OAK	Quercus phellos	11	3" Cal B & B
4	SHUMARD OAK	Quercus shumardi	36	3" Cal B & B
5	LACEBARK ELM	Ulmus parvifolia	16	3" Cal B & B
6	REDBUD	Cercis Canadensis	9	2" Cal B & B
7	AMUR MAPLE	Acer ginnala	11	2" Cal B & B
8	LITTLELEAF LINDEN	Tilia Cordata	7	3" Cal B & B

- LANDSCAPE NOTES:**
1. AUTOMATIC IRRIGATION SYSTEM OR HOSE BIBS WILL BE PROVIDED FOR ALL LANDSCAPED AREAS.
  2. SOIL SHALL BE AMENDED AND ALL ROCKS AND FOREIGN MATERIAL SHALL BE REMOVED PRIOR TO ANY LANDSCAPE INSTALLATION.
  3. NOTE THE SIZE OF LANDSCAPE TREES AND MATERIALS AT TIME OF PLANTING.
  4. WIRE BASKETS AND BURLAP TO BE REMOVED DURING TREE PLANTING.
  5. ALL PLANTING BEDS SHALL RECEIVE 6" OF TOPSOIL FREE OF ROCKS/WEEDS/DEBRIS PRIOR TO INSTALLATION OF PLANT MATERIAL.
  6. ALL PLANTING BEDS SHALL RECEIVE RIVER ROCK OR ORGANIC MULCH AT TIME OF INSTALLATION.
  7. ALL PLANTING BEDS SHALL BE CONTAINED BY EDGING OR MATERIAL OTHER THAN VEGETATION/SOD.
  8. SHADE TREES SHALL HAVE A MIN. CALIPER OF 3" AND A HEIGHT OF 8'.
  9. ONCE INSTALLED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY LIVING CONDITION, AND IF PLANT MATERIAL DIES IT SHALL BE REPLACED WITHIN THE NEXT APPROPRIATE GROWING SEASON.
  10. IF CONFLICTS WITH PROPOSED LIGHTS, FIRE HYDRANTS, OR OTHER SITE FEATURES EXIST, TREES OR SHRUBS SHALL BE MOVED AND SHALL NOT INTERFERE WITH PROPOSED FEATURES.
  11. TREES SHALL BE STAKED AS NECESSARY TO PREVENT LEANING OR FALLING OVER.
  12. TREES SHALL BE AT LEAST 5 FEET FROM ANY UTILITY MAIN LINES.



ENGINEERING SERVICES, INC.  
111 HOLCOMB ST.,  
SPRINGDALE, AR 72765

LANDSCAPE PLAN  
TTOWN 112 APARTMENTS  
TONTITOWN, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=40'

DATE: Feb 20, 2019

ENGINEER: TJA  
DRAWN BY: ALS

W.O. #: 19903

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