

MORSANI ACRES SUBDIVISION

TONTITOWN, AR

EDA PROJECT NO. 2171

March 5, 2019

Revised: March 19, 2019

SITE NOTES:

1. THERE ARE NO JURISDICTIONAL WATERS OF THE U.S. KNOWN ON THIS SITE, OR WETLANDS.
2. THERE ARE NO KNOWN EROSION CONTROL PROBLEMS ON THE SITE OR WITHIN 100' DOWN STREAM OF THE PROJECT.
3. ALL KNOWN EXISTING OR ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPOUNDMENTS AND UNDERGROUND STRUCTURES ARE SHOWN ON THE PLANS.
4. THERE ARE NO KNOWN SEWER OVERFLOW ISSUES ON THIS SITE.
5. THERE ARE NO KNOWN GROUND LEASES OR ACCESS AGREEMENTS FOR THIS SITE.
6. THERE ARE NO KNOWN POTENTIAL HAZARDOUS AREAS FOR THIS SITE.
7. CITY OF TONTITOWN STANDARD WATER AND SEWER SPECIFICATIONS DATED JUNE 25, 2018 SHALL GOVERN THE CONSTRUCTION OF THE ALL WATER AND SEWER INFRASTRUCTURE.
8. ALL SPECIFIED PIPING MATERIALS, COMPONENTS AND INSTALLATION SHALL MEET OR EXCEED THE CITY OF TONTITOWN STANDARD WATER AND SEWER SPECIFICATIONS.

GRADING NOTES:

1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVAL AND PROPER DISPOSAL OF DEBRIS, CLEARING, GRUBBING, AND STRIPPING OF TOPSOIL AND ORGANIC MATTER AS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. TOPSOIL MAY BE STOCKPILED ON SITE, AS DIRECTED BY THE ENGINEER. THE BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS GAINED FROM THE OWNER, ENGINEER, AND GOVERNING OFFICIALS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, ETC. REQUIRED.

2) BUILDING SETBACK AREAS TO RECEIVE FILL MATERIAL SHALL BE SCARIFIED TO A DEPTH OF 8-INCH DEPTH AND PROPERLY COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE FURTHER UNDERCUT AND REPLACED WITH SUITABLE MATERIAL, AS DIRECTED BY THE ENGINEER.

3) OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 20 OR LESS, A LIQUID LIMIT OF 50 OR LESS, AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF SITE FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER.

4) AREAS THAT ARE TO BE CUT TO SUB-GRADE LEVELS SHALL BE PROOF-ROLLED WITH A LOADED TANDEM AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS. CUT AREAS ARE TO BE SCARIFIED AND RE-COMPACTED TO 95% STANDARD PROCTOR AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.

5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE WATER SPRINKLING TRUCKS OR OTHER MEANS SUITABLE OF CONTROL OF DUST. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

6) THE DEVELOPER SHALL PROVIDE AN INDEPENDENT TESTING LABORATORY TO PERFORM CONSTRUCTION TESTING OF THE SUB-GRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUB-GRADE DENSITIES. THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTIFICATION SO THE DEVELOPER CAN SCHEDULE TESTING.

7) THE CONTRACTOR SHALL MAINTAIN ALL SLOPES 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ALL SLOPES EXCEEDING 3:1, BUT LESS THAN 2:1 SHALL BE SODDED.

8) CONTRACTOR SHALL CONTROL EROSION ALONG THE EDGE OF THE PROPERTY INCLUDING BOTTOM OF SLOPE LOCATIONS AND ALONG DITCHES LINES. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEANS TO PREVENT MUD AND DEBRIS FROM FLOWING ONTO ADJACENT PROPERTY.

9) ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR-INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOP-SOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL 70% GRASS COVER IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR.

REVEGETATION REQUIREMENTS:
RE-VEGETATION SHALL BE REQUIRED TO MEET THE FOLLOWING PERFORMANCE STANDARDS (SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED) UNLESS OTHERWISE ALLOWED BY THE CITY ENGINEER:

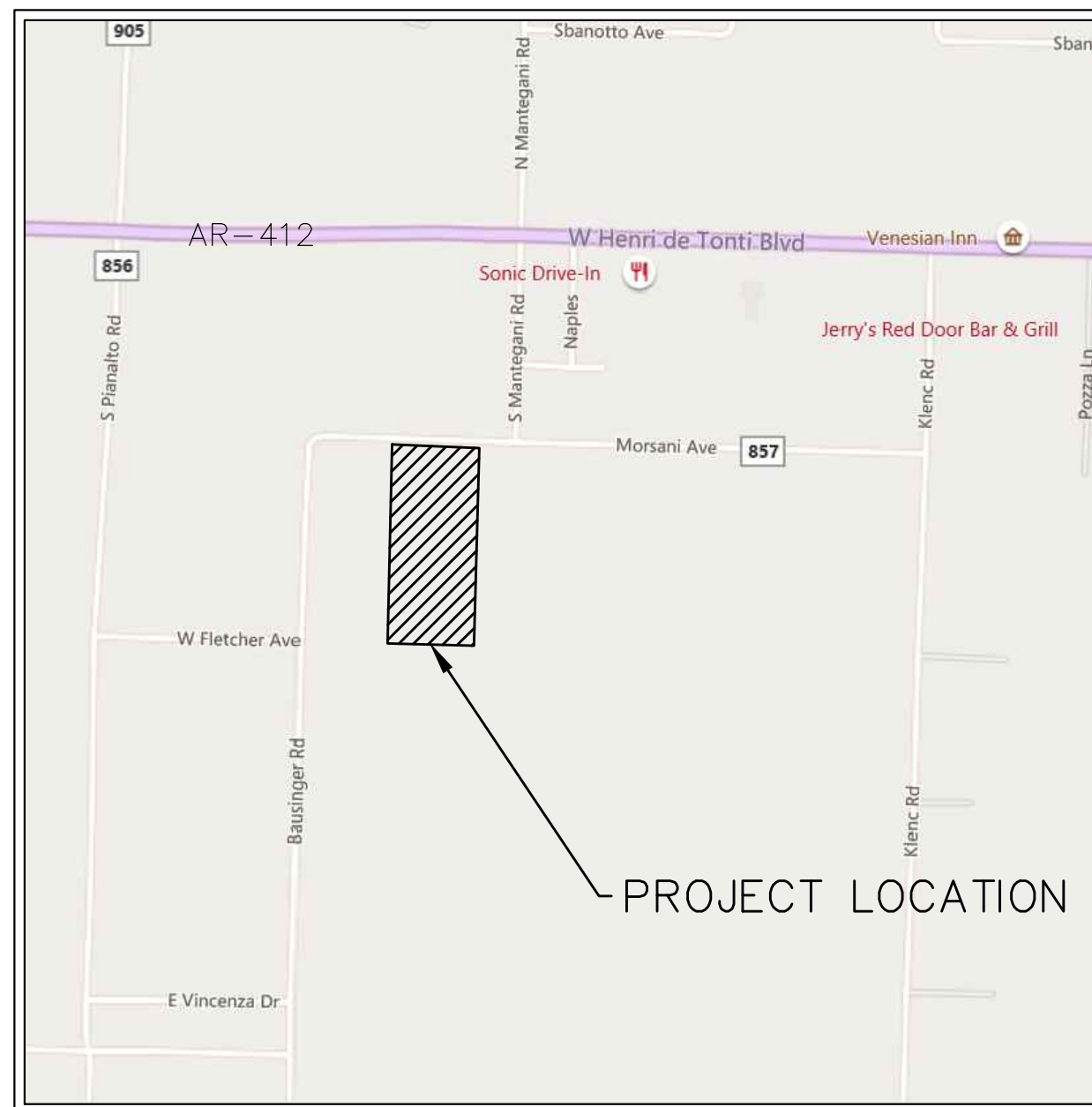
1. TOPSOIL: ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL AND REVEGETATED. TOPSOIL SHALL BE REQUIRED TO BE EITHER EXISTING OR INSTALLED IN AREAS TO BE REVEGETATED AS SET FORTH BELOW. ANY APPLICATION OF TOPSOIL AND SEEDING UNDER THE DRAIN LINE OF A TREE SHOULD BE MINIMIZED TO 3 INCHES SO AS NOT TO DAMAGE THE TREES ROOT SYSTEM.
2. ZERO TO 10% GRADE: RE-VEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING; SAID SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
3. 10:1 UP TO 4:1 GRADE: RE-VEGETATION SHALL BE A MINIMUM OF HYDRO-SEEDING WITH MULCH AND FERTILIZER, SOD, OR GROUNDCOVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
4. 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDED WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUNDCOVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.

GENERAL NOTES:

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES THAT MAY RESULT.
2. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE GENERAL IN NATURE AND ARE BASED ON INFORMATION PROVIDED BY THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT LOCATION OF ALL UTILITIES BEFORE PROCEEDING WITH THE CONSTRUCTION.
3. OTHER CONTRACTORS, LABORERS, WORKMEN, UTILITY COMPANIES, ETC., MAY BE WORKING WITHIN OR AROUND THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH OTHERS TO MINIMIZE ANY CONFLICTS THAT ARISE.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.
5. CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF EROSION CONTROL THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
6. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET OR EXCEED THE MINIMUM STANDARD AS SPECIFIED BY THE ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT AND THE CITY OF COUNTY WITH JURISDICTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, PAYING AND POSTING FOR ALL PAYMENT PERFORMANCE AND MAINTENANCE BONDS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.
8. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONSTRUCTION SIGNAGE AND OTHER TRAFFIC CONTROL DEVICES WHEN WORKING IN ANY RIGHT OF WAY. SIGNAGE AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL GUIDELINES AND REGULATIONS.
9. THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARDS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASURES TO PROVIDE ADEQUATE TRENCH SAFETY, AND ALL OTHER ITEMS NECESSARY TO SATISFY ACT 291-1993 OF THE ARKANSAS.
11. THE CONTRACTOR SHALL VERIFY WITH THE ENGINEER BEFORE BEGINNING CONSTRUCTION, THE PROCUREMENT AND LOCATION OF ALL EASEMENTS, TEMPORARY AND PERMANENT NECESSARY TO CARRY OUT THE WORK OUTLINED WITHIN THESE DRAWINGS AND RELATED CONTRACT DOCUMENTS. PRIOR TO ANY CONSTRUCTION ACTIVITIES OFF THE SUBJECT PROPERTY, CONSTRUCTION STAKING OF PROPOSED WORK BY ENGINEER DOES NOT CONSTITUTE VERIFICATION OF EASEMENT OR AUTHORIZE THE CONTRACTOR TO PROCEED WITH WORK. VERIFICATION SHALL BE IN WRITING FROM ENGINEER.
12. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL STATE AND FEDERAL REGULATIONS PERTAINING TO THE AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM AND THE ARKANSAS WATER AND AIR POLLUTION CONTROL ACT. CONTRACTOR IS TO FILE NOTICE OF INTENT WITH THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY.

EROSION CONTROL NOTES:

- 1) ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- 2) CONTRACTOR SHALL MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- 3) ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO CONFIRM THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, IRRIGATED AND RESEEDED AS REQUIRED.
- 4) A MINIMUM VEGETATIVE BUFFER OF 25 FEET SHALL BE PROVIDED BETWEEN CONSTRUCTION OPERATIONS AND WETLANDS AND ORDINARY HIGH WATER MARKS OF RIVERS AND STREAMS.
- 5) DEBRIS, MUD, AND SOIL IN PUBLIC STREETS, DEBRIS, MUD AND SOIL SHALL NOT BE ALLOWED ON PUBLIC STREETS BUT IF ANY DEBRIS, MUD, OR SOIL FROM DEVELOPMENT SITES REACHES THE PUBLIC STREET IT SHALL BE IMMEDIATELY REMOVED VIA SWEEPING OR OTHER METHODS OF PHYSICAL REMOVAL. DEBRIS, MUD, OR SOIL IN THE STREET MAY NOT BE WASHED OFF THE STREET OR WASHED INTO THE STORM DRAINAGE SYSTEM. STORM DRAINAGE SYSTEMS DOWNSTREAM OF A DEVELOPMENT SITE SHOULD BE PROTECTED FROM DEBRIS, MUD, OR SOIL IN THE EVENT THAT DEBRIS, MUD, OR SOIL REACHES THE DRAINAGE SYSTEM.
- 6) PERMANENT EROSION CONTROL: THE DEVELOPER SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES AT THE EARLIEST PRACTICAL TIME. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE UNFORSEEN DURING THE DESIGN STAGE, THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT EROSIONS CONTROL FEATURES, OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PROJECTS, BUT ARE NOT ASSOCIATED WITH PERMANENT CONTROL FEATURES ON THE PROJECT.
- 7) DUST: WHERE EXCESSIVE DUST MAY BECOME A PROBLEM, A PLAN FOR SPRAYING WATER ON HEAVILY TRAVELED DIRT AREAS SHALL BE ADDRESSED.
- 8) CONSTRUCTION EXITS: A STABILIZED ROCK EXIT IS REQUIRED ON CONSTRUCTION SITES. ROCK EXITS MUST BE AT LEAST 20' WIDE BY 50' LONG BY 6" THICK STABILIZED ROCK HAVING A MINIMUM AVERAGE DIAMETER OF 3". IF THERE IS AN EXISTING CURB, LOOSE MATERIAL SUCH AS FILL, DIRT OR GRAVEL SHALL NOT BE USED TO RAMP UP TO IT FROM THE STREET. TEMPORARY WOODEN RAMPS IN FRONT OF CURBS ARE ACCEPTABLE.
- 9) FRANCHISE AND PRIVATE UTILITIES: THE PROPERTY OWNER OR MAIN CONTRACTOR ONSITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGED OR DISTURBED BY UNDERGROUND PRIVATE OR FRANCHISE UTILITY CONSTRUCTION SUCH AS WASTER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.



Vicinity Map

Not to Scale



OWNER & DEVELOPER:

MICHAEL BADER
P.O. BOX 35
TONTITOWN, AR 72770

ENGINEER:

EARTHPLAN DESIGN ALTERNATIVES, PA
134 WEST EMMA
SPRINGDALE, AR 72764
1-479-756-1266

SURVEYOR:

JAMES LAYOUT SERVICES, LLC
P.O. BOX 611
FARMINGTON, AR 72730
479-439-9929

FLOODPLAIN:

THIS PROPERTY IS NOT LOCATED IN A FLOOD PLAIN PER FEMA FIRM MAP 05143C0045F. EFFECTIVE 05/16/2008.

BASIS OF BEARING:

ARKANSAS STATE PLANE SYSTEM NORTH ZONE
HORIZONTAL NAD 83
VERTICAL NAVD 88

SEPTIC:

NO KNOWN EXISTING WELLS AND/OR SEPTIC SYSTEM

EXISTING PARCEL NUMBERS: 930-37733-002, 830-37733-004

SURVEY DESCRIPTION:

A PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 17 NORTH, RANGE 31 WEST, TONTITOWN, WASHINGTON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND STONE BEING THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 11; THENCE SOUTH 87°17'15" EAST A DISTANCE OF 435.75 FEET TO A SET 5/8" REBAR BEING THE POINT OF BEGINNING; THENCE NORTH 02°54'30" EAST A DISTANCE OF 1323.41 FEET TO A RAIL ROAD SPIKE; THENCE SOUTH 87°07'28" EAST A DISTANCE OF 550.28 FEET TO A RAIL ROAD SPIKE; THENCE SOUTH 02°55'17" WEST 1321.84 FEET TO A SET 5/8" REBAR; THENCE NORTH 87°17'15" WEST A DISTANCE OF 549.98 FEET TO THE POINT OF BEGINNING CONTAINING 16.70 ACRES OR 727,619 SQUARE FEET MORE OR LESS. SUBJECT TO THAT PORTION IN ROAD RIGHT-OF-WAY ON THE NORTH SIDE OF THE HEREIN DESCRIBED TRACT AND UTILITY EASEMENTS OF RECORD, IF ANY.

INDEX

- Survey V101
- PUD-Master Street Plan P101
- Preliminary Plat C101
- Utility Plan C102
- Grading Plan C103
- Utilities Profiles C202
- Drainage Profiles C203
- Street Profiles C204
- Landscape Plan L101

SHEET

REVISION DESC.

DATE



COVER
MORSANI ACRES SUBDIVISION
TONTITOWN, AR

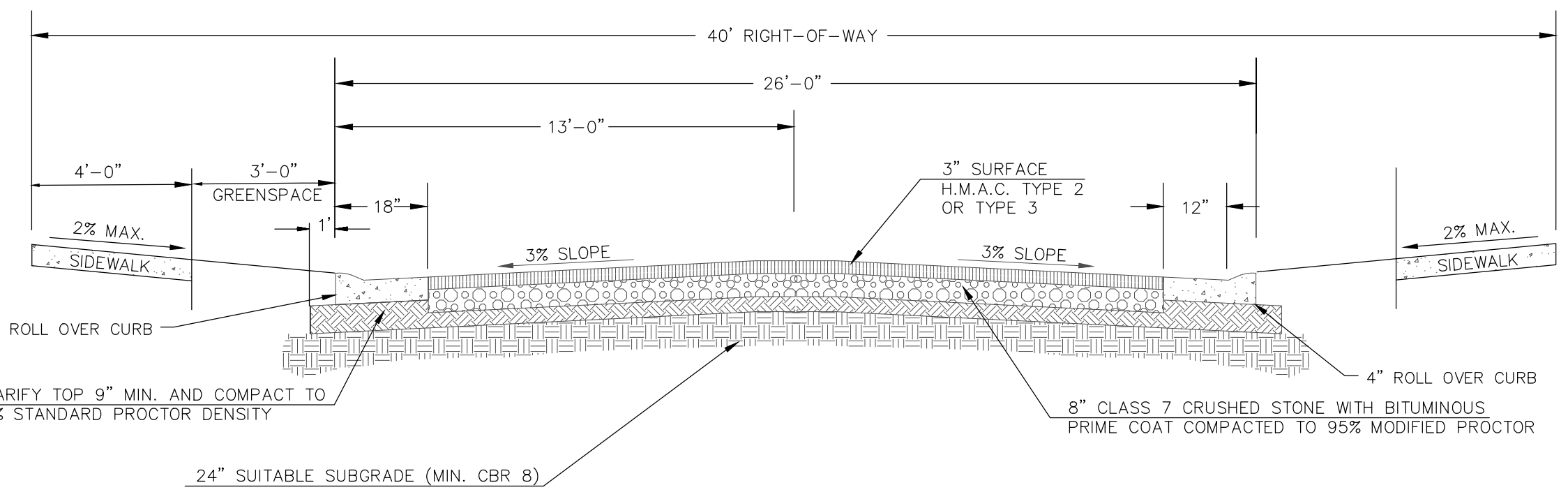
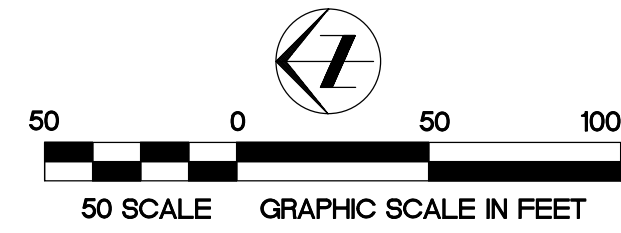
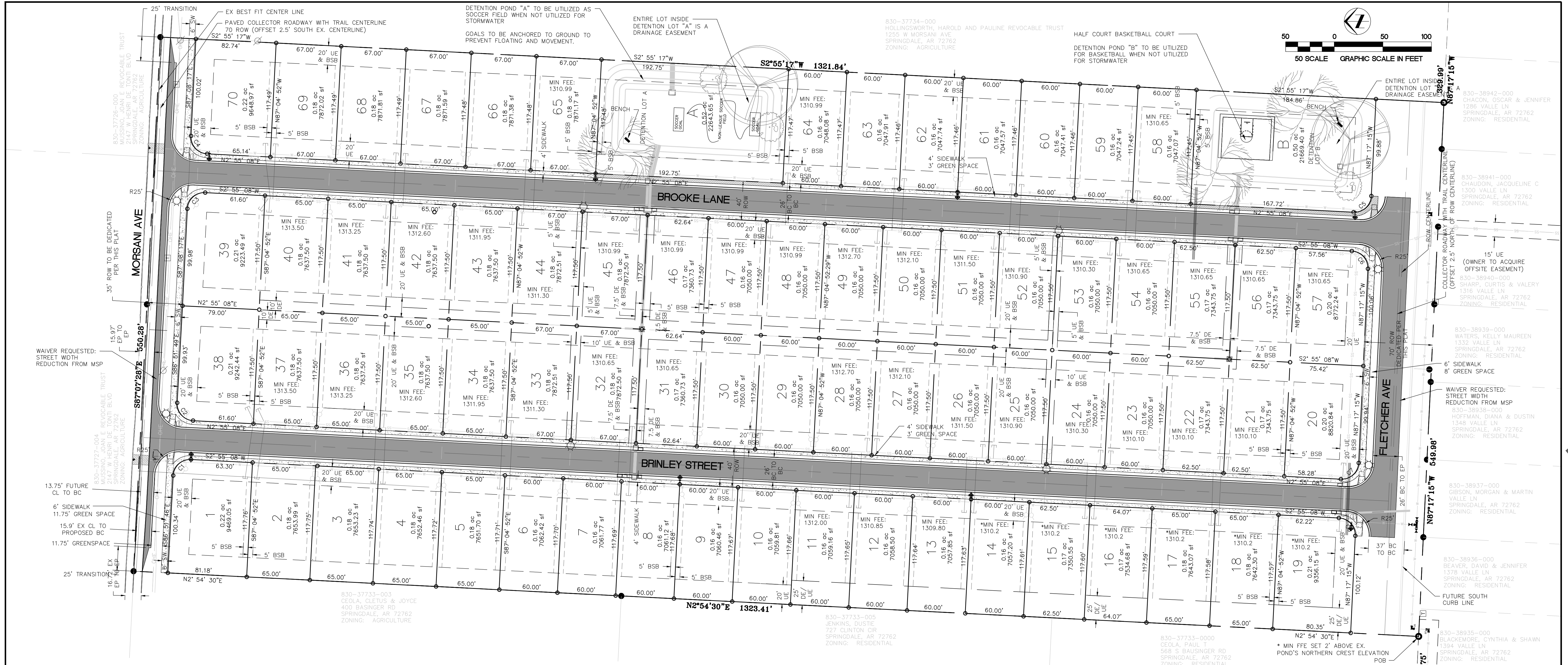
Earthplan Design Alternatives, PA
Civil Engineering / Landscape Architecture
134 West Emma Avenue
Springdale, Arkansas 72764
www.eda-pa.com



Know what's below.
Call before you dig.



COVER



RESIDENTIAL STREET CROSS SECTION
N.T.S.

Parcel #	Area (AC)	Parcel #	Area (AC)	Parcel #	Area (AC)
1	0.22	25	0.16	49	0.16
2	0.18	26	0.16	50	0.16
3	0.18	27	0.16	51	0.16
4	0.18	28	0.16	52	0.16
5	0.18	29	0.16	53	0.16
6	0.16	30	0.16	54	0.16
7	0.16	31	0.17	55	0.17
8	0.16	32	0.18	56	0.17
9	0.16	33	0.18	57	0.20
10	0.16	34	0.18	58	0.16
11	0.16	35	0.18	59	0.16
12	0.16	36	0.18	60	0.16
13	0.16	37	0.18	61	0.16
14	0.16	38	0.21	62	0.16
15	0.17	39	0.21	63	0.16
16	0.17	40	0.18	64	0.16
17	0.18	41	0.18	65	0.18
18	0.18	42	0.18	66	0.18
19	0.21	43	0.18	67	0.18
20	0.20	44	0.18	68	0.18
21	0.17	45	0.18	69	0.18
22	0.17	46	0.17	70	0.22
23	0.16	47	0.16	A	0.52
24	0.16	48	0.16	B	0.50

EXISTING ZONING: R3
PROPOSED ZONING: PUD
SETBACKS: FRONT: 20'
SIDE: 5'
REAR: 20'

USE: RESIDENTIAL
CURRENT USE: AGRICULTURAL

UTILITY EASEMENT
20' UE ALL EXTERIOR LOTS
10' UE ALL INTERIOR/Common REAR LOTS
20' UE ALONG STREETS.

SUBDIVISION CONSISTS OF:
LOTS 1-68
68 TOTAL LOTS
66 BUILDABLE LOTS
2 NON-BUILDABLE LOTS

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ENGINEER:
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134 WEST EMMA
SPRINGDALE, AR 72764
1-479-756-1266
No. 15162

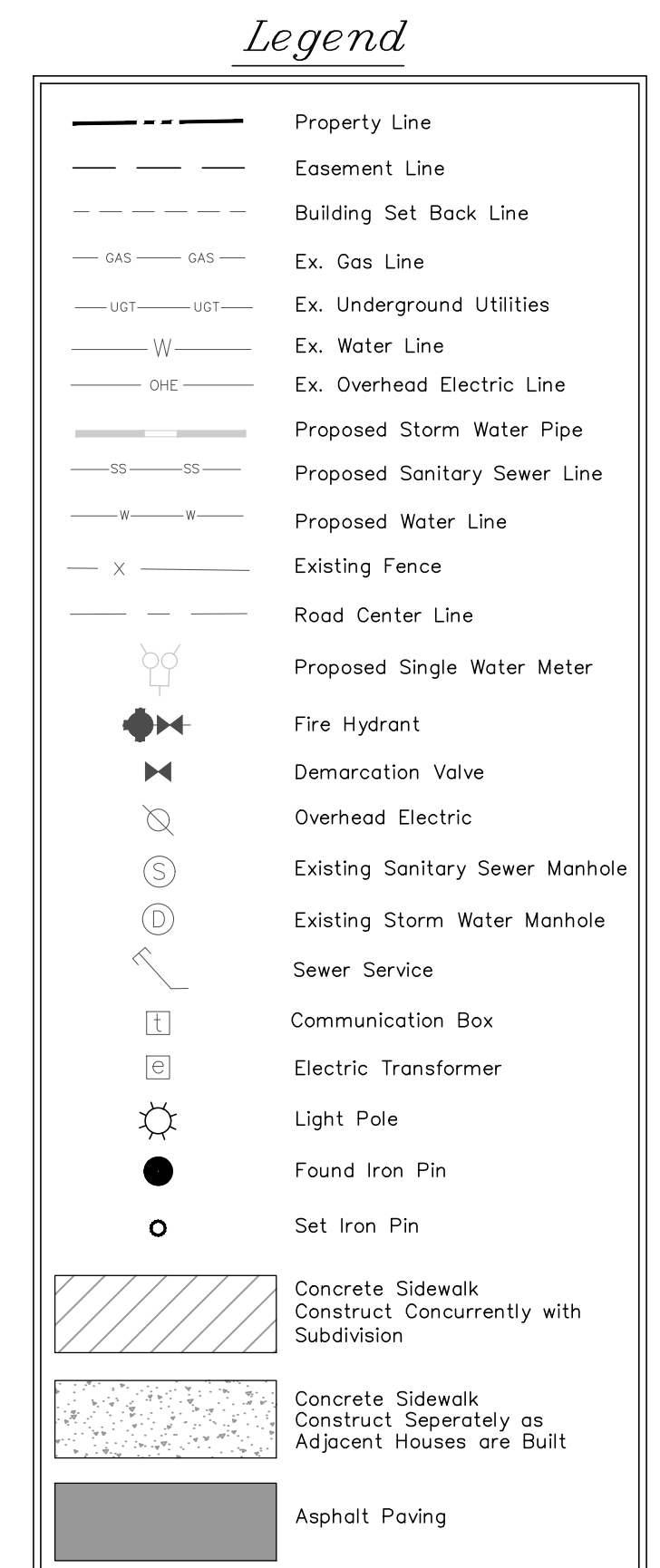
SURVEYOR:
JAMES LAYOUT SERVICES,
P.O. BOX 611
FARMINGTON, AR 72730
479-439-9929
PLS 1845

FLOODPLAIN:
THIS PROPERTY IS NOT LOCATED IN A FLOOD PLAIN PER FEMA FIRM MAP 05143C0045F. EFFECTIVE 05/16/2008.

BASIS OF BEARING:
ARKANSAS STATE PLANE SYSTEM NORTH ZONE
HORIZONTAL NAD 83
VERTICAL NAVD 88

SEPTIC:
NO KNOWN EXISTING WELLS AND/OR SEPTIC SYSTEM

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	27.42	17.50	89.78	S41° 58' 22"E	24.70
C2	27.27	17.50	89.29	N48° 29' 00"E	24.60
C3	27.51	17.50	90.06	S42° 06' 31"E	24.76
C4	27.47	17.50	89.94	N47° 53' 25"E	24.74
C5	27.55	17.50	90.21	N42° 11' 04"W	24.79
C6	27.43	17.50	89.79	S47° 49' 01"W	24.70
C7	27.55	17.50	90.21	N42° 11' 04"W	24.79
C8	27.15	17.50	88.90	S48° 15' 15"W	24.51



EXISTING PARCEL NUMBERS: 830-37733-002, 830-37733-004

SURVEY DESCRIPTION:

A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 17 NORTH, RANGE 31 WEST, TONTITOWN, WASHINGTON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
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NOTES:

- PRELIMINARY PLAT FOR INSPECTION PURPOSES ONLY. NOT FOR RECORD PURPOSES.
- ANY RELOCATION OF EXISTING FACILITIES OR EXTENSION OF LINE THAT HAS TO BE BUILT SPECIFICALLY TO FEED THE SUBDIVISION WILL BE AT FULL COST TO THE DEVELOPER.
- LOTS 1, 36, 37 & 66 SHALL NOT HAVE DRIVEWAY ACCESS TO MORSANI AVE.
- LOTS 18,19 & 54 SHALL NOT HAVE DRIVEWAY ACCESS TO FLETCHER AVE.
- THE DEVELOPER/CONTRACTOR WILL BE RESPONSIBLE FOR ALL ADA RAMP CONSTRUCTION AND ALL COMMON PROPERTY SIDEWALK CONSTRUCTION.
- LOT DEVELOPER/BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF SIDEWALKS PRIOR TO CERTIFICATE OF OCCUPANCY, PER CITY OF TONTITOWN SPECIFICATIONS AND THE AMERICAN DISABILITY ACT, (3'-FT GREEN SPACE BOC AND 4'-FT SIDEWALK ON ALL STREET FRONTAGES).
- LOT DEVELOPER/BUILDER SHALL BE RESPONSIBLE FOR REPLACEMENT IN KIND OF ANY EXISTING SIDEWALK OR ADA RAMP(S) DAMAGED DURING CONSTRUCTION ACTIVITIES.
- ALL CORNER MONUMENTS TO BE 5/8" REBAR WITH PLASTIC CAP, MARKED AR PLS 1845.
- THERE ARE NO KNOWN WETLANDS ON SITE.
- EACH LOT MAY HAVE A 6' TALL WOODEN PRIVACY FENCE.
- GARBAGE COLLECTION TO BE CURB-SIDE PICKUP.

CERTIFICATE OF PRELIMINARY SURVEY ACCURACY.

I, _____ HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.
DATE OF EXECUTION: _____

REGISTERED LAND SURVEYOR
STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY.

EACH SET OF STREET AND DRAINAGE PLANS MUST BE SUBMITTED IN ACCORDANCE WITH APPLICABLE STATE STATUTES AND ANY PLANS AND SPECIFICATIONS REQUIRED.

I, _____ HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN PREPARED UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.
DATE OF EXECUTION: _____

REGISTERED ENGINEER
STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF PRELIMINARY PLAT APPROVAL.

THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL EXPIRE ON _____ (DATE).
DATE OF EXECUTION: _____

CHAIRMAN, CITY OF TONTITOWN PLANNING COMMISSION

PUD - MASTER STREET PLAN
MORSANI ACRES SUBDIVISION
TONTITOWN, AR

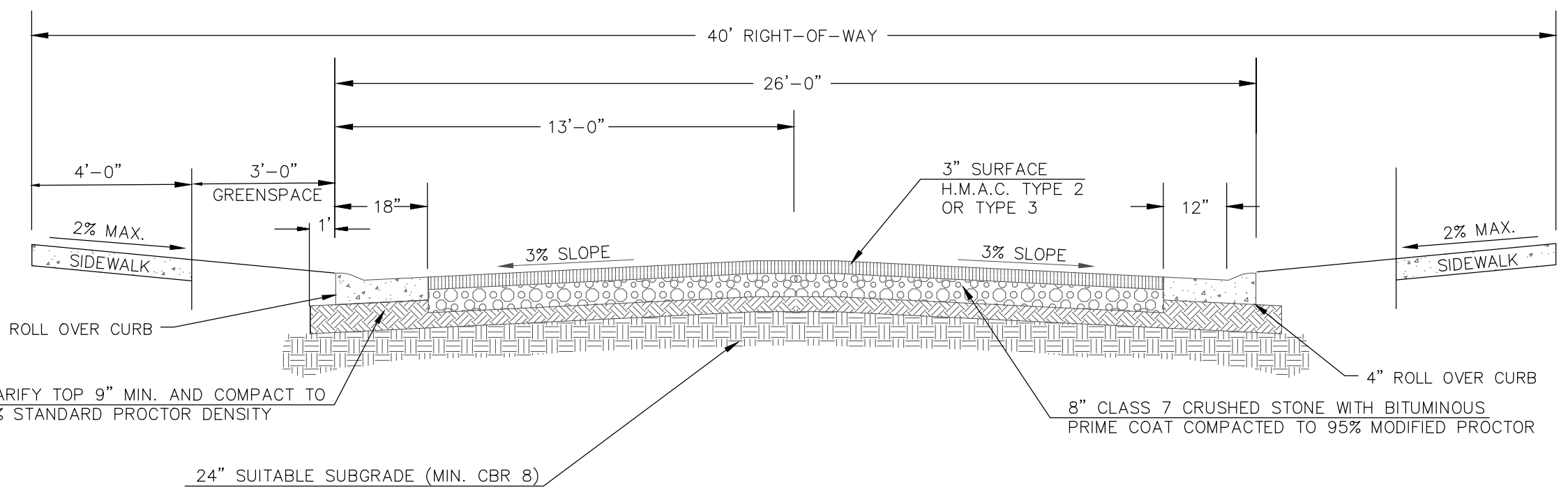
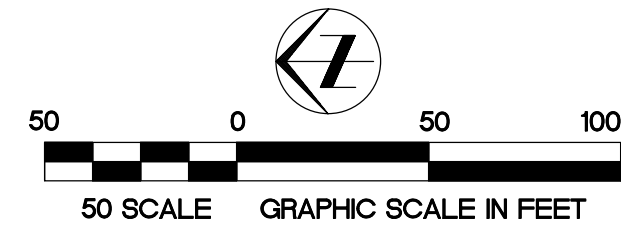
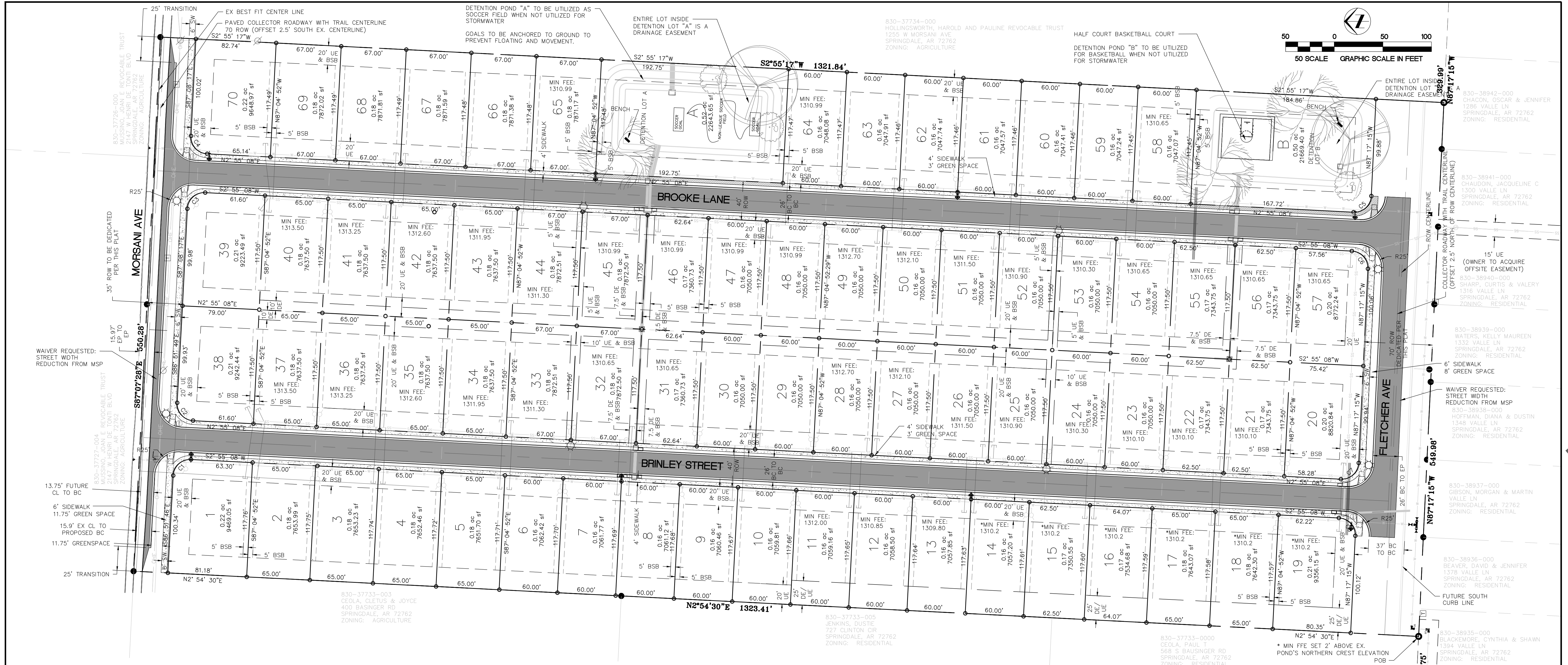
DATE: 01/24/19
DRAWN BY: CLP
CHECKED BY: JURG
JOB NUMBER: 2171
DRAWING CREATION DATE: 2/17/19

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 15162
MORRIS R. GERRITZ

CERTIFICATE OF AUTHORITY
EARTHPLAN DESIGN ALTERNATIVES, PA
No. 282
ARKANSAS ENGINEER

EARTHPLAN Design Alternatives, PA
Civil Engineering / Landscape Architecture
134 West Emma Avenue
Springdale, Arkansas 72764
www.eapda.com

C101



RESIDENTIAL STREET CROSS SECTION
N.T.S.

Parcel #	Area (AC)	Parcel #	Area (AC)	Parcel #	Area (AC)
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15	0.17	39	0.21	63	0.16
16	0.17	40	0.18	64	0.16
17	0.18	41	0.18	65	0.18
18	0.18	42	0.18	66	0.18
19	0.21	43	0.18	67	0.18
20	0.20	44	0.18	68	0.18
21	0.17	45	0.18	69	0.18
22	0.17	46	0.17	70	0.22
23	0.16	47	0.16	A	0.52
24	0.16	48	0.16	B	0.50

EXISTING ZONING: R3
PROPOSED ZONING: PUD
SETBACKS: FRONT: 20'
SIDE: 5'
REAR: 20'

USE: RESIDENTIAL
CURRENT USE: AGRICULTURAL

UTILITY EASEMENT
20' UE ALL EXTERIOR LOTS
10' UE ALL INTERIOR/Common REAR LOTS
20' UE ALONG STREETS.

SUBDIVISION CONSISTS OF:
LOTS 1-68
68 TOTAL LOTS
66 BUILDABLE LOTS
2 NON-BUILDABLE LOTS

OWNER & DEVELOPER:
MICHAEL BADER
P.O. BOX 35
TONTITOWN, AR 72770

ENGINEER:
EARTHPLAN DESIGN ALTERNATIVES, PA
134 WEST EMMA
SPRINGDALE, AR 72764
479-439-9929
PLS 1845

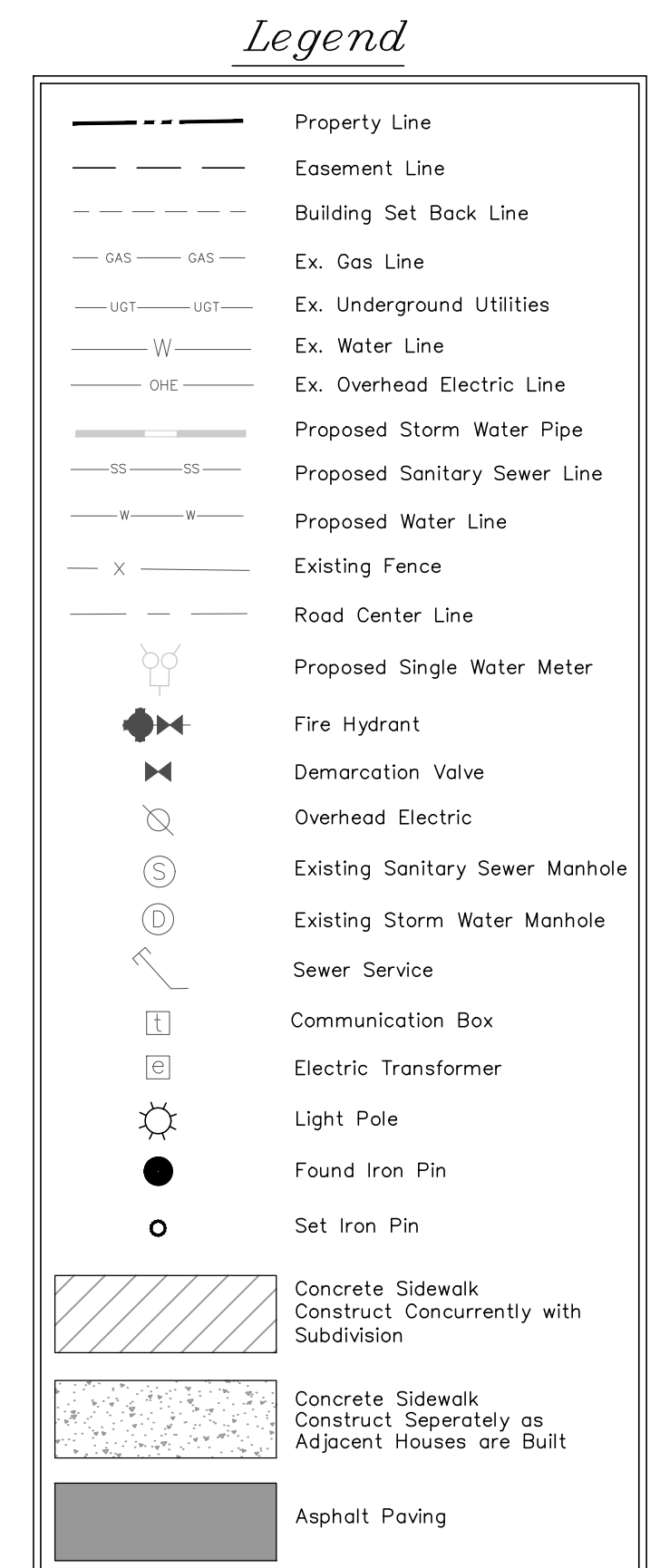
SURVEYOR:
JAMES LAYOUT SERVICES,
P.O. BOX 611
FARMINGTON, AR 72730
479-439-9929
PLS 1845

FLOODPLAIN:
THIS PROPERTY IS NOT LOCATED IN A FLOOD PLAIN PER FEMA FIRM MAP 05143C0045F. EFFECTIVE 05/16/2008.

BASIS OF BEARING:
ARKANSAS STATE PLANE SYSTEM NORTH ZONE
HORIZONTAL NAD 83
VERTICAL NAVD 88

SEPTIC:
NO KNOWN EXISTING WELLS AND/OR SEPTIC SYSTEM

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	27.42	17.50	89.78	S41° 58' 22"E	24.70
C2	27.27	17.50	89.29	N48° 29' 00"E	24.60
C3	27.51	17.50	90.06	S42° 06' 31"E	24.76
C4	27.47	17.50	89.94	N47° 53' 25"E	24.74
C5	27.55	17.50	90.21	N42° 11' 04"W	24.79
C6	27.43	17.50	89.79	S47° 49' 01"W	24.70
C7	27.55	17.50	90.21	N42° 11' 04"W	24.79
C8	27.15	17.50	88.90	S48° 15' 15"W	24.51



EXISTING PARCEL NUMBERS: 830-37733-002, 830-37733-004

SURVEY DESCRIPTION:

A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 17 NORTH, RANGE 31 WEST, TONTITOWN, WASHINGTON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A FOUND STONE BEING THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 11; THENCE SOUTH 87°17'15" EAST A DISTANCE OF 435.75 FEET TO A SET 5/8" REBAR BEING THE POINT OF BEGINNING; THENCE NORTH 02°54'30" EAST A DISTANCE OF 1323.41 FEET TO A RAIL ROAD SPIKE; THENCE SOUTH 87°07'28" EAST A DISTANCE OF 550.28 FEET TO A RAIL ROAD SPIKE; THENCE SOUTH 02°55'17" WEST 1321.84 FEET TO A SET 5/8" REBAR; THENCE NORTH 87°17'15" WEST A DISTANCE OF 549.98 FEET TO THE POINT OF BEGINNING CONTAINING 16.70 ACRES OR 727,616 SQUARE FEET MORE OR LESS. SUBJECT TO THAT PORTION OF ROAD RIGHT-OF-WAY ON THE NORTH SIDE OF THE HEREIN DESCRIBED TRACT AND UTILITY EASEMENTS OF RECORD, IF ANY.

NOTES:

- PRELIMINARY PLAT FOR INSPECTION PURPOSES ONLY. NOT FOR RECORD PURPOSES.
- ANY RELOCATION OF EXISTING FACILITIES OR EXTENSION OF LINE THAT HAS TO BE BUILT SPECIFICALLY TO FEED THE SUBDIVISION WILL BE AT FULL COST TO THE DEVELOPER.
- LOTS 1, 36, 37 & 66 SHALL NOT HAVE DRIVEWAY ACCESS TO MORSANI AVE.
- LOTS 18,19, & 54 SHALL NOT HAVE DRIVEWAY ACCESS TO FLETCHER AVE.
- THE DEVELOPER/CONTRACTOR WILL BE RESPONSIBLE FOR ALL ADA RAMP CONSTRUCTION AND ALL COMMON PROPERTY SIDEWALK CONSTRUCTION.
- LOT DEVELOPER/BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF SIDEWALKS PRIOR TO CERTIFICATE OF OCCUPANCY, PER CITY OF TONTITOWN SPECIFICATIONS AND THE AMERICAN DISABILITY ACT, (3'-FT GREEN SPACE BOC AND 4'-FT SIDEWALK ON ALL STREET FRONTAGES).
- LOT DEVELOPER/BUILDER SHALL BE RESPONSIBLE FOR REPLACEMENT IN KIND OF ANY EXISTING SIDEWALK OR ADA RAMP(S) DAMAGED DURING CONSTRUCTION ACTIVITIES.
- ALL CORNER MONUMENTS TO BE 5/8" REBAR WITH PLASTIC CAP, MARKED AR PLS 1845.
- THERE ARE NO KNOWN WETLANDS ON SITE.
- EACH LOT MAY HAVE A 6' TALL WOODEN PRIVACY FENCE.
- GARBAGE COLLECTION TO BE CURB-SIDE PICKUP.

CERTIFICATE OF PRELIMINARY SURVEY ACCURACY.

I, _____ HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.
DATE OF EXECUTION: _____

REGISTERED LAND SURVEYOR
STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY.

EACH SET OF STREET AND DRAINAGE PLANS MUST BE SUBMITTED IN ACCORDANCE WITH APPLICABLE STATE STATUTES AND ANY PLANS AND SPECIFICATIONS REQUIRED.

I, _____ HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN PREPARED UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.
DATE OF EXECUTION: _____

REGISTERED ENGINEER
STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF PRELIMINARY PLAT APPROVAL.

THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL EXPIRE ON _____ (DATE).
DATE OF EXECUTION: _____

CHAIRMAN, CITY OF TONTITOWN PLANNING COMMISSION

PRELIMINARY PLAT
MORSANI ACRES SUBDIVISION
TONTITOWN, AR

DATE: 01/24/19
DRAWN BY: CLP
CHECKED BY: JURG
JOB NUMBER: 2171
DRAWING CREATION DATE: 2/17/19
LAST SAVED: 3/19/2019 1:49 PM
PLOT DATE: 3/19/2019 1:49 PM

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
NO. 15162
MORRIS R. GERRITZ

CERTIFICATE OF AUTHORITY
EARTHPLAN DESIGN ALTERNATIVES, PA
NO. 282
ARKANSAS ENGINEER

EARTHPLAN Design Alternatives, PA
Civil Engineering / Landscape Architecture
134 West Emma Avenue
Springdale, Arkansas 72764
www.eapda.com

C101



GRADING NOTES:

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVAL AND PROPER DISPOSAL OF DEBRIS, CLEARING, GRUBBING, AND STRIPPING OF TOPSOIL AND ORGANIC MATTER AS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. TOPSOIL MAY BE STOCKPILED ON SITE, AS DIRECTED BY THE ENGINEER. THE BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS GAINED FROM THE OWNER, ENGINEER, AND GOVERNING OFFICIALS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, ETC. REQUIRED.
 - 2) BUILDING SETBACK AREAS TO RECEIVE FILL MATERIAL SHALL BE SCARIFIED TO A DEPTH OF 8-INCH DEPTH AND PROPERLY COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE FURTHER UNDERCUT AND REPLACED WITH SUITABLE MATERIAL, AS DIRECTED BY THE ENGINEER.
 - 3) OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 20 OR LESS, A LIQUID LIMIT OF 50 OR LESS, AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF SITE FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER.
 - 4) AREAS THAT ARE TO BE CUT TO SUB-GRADE LEVELS SHALL BE PROOF-ROLLED WITH A LOADED TANDEM AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS. CUT AREAS ARE TO BE SCARIFIED AND RE-COMPACTED TO 95% STANDARD PROCTOR AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
 - 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE WATER SPRINKLING TRUCKS OR OTHER MEANS SUITABLE OF CONTROL OF DUST. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - 6) THE DEVELOPER SHALL PROVIDE AN INDEPENDENT TESTING LABORATORY TO PERFORM CONSTRUCTION TESTING OF THE SUB-GRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUB-GRADE DENSITIES. THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTIFICATION SO THE DEVELOPER CAN SCHEDULE TESTING.
 - 7) THE CONTRACTOR SHALL MAINTAIN ALL SLOPES 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ALL SLOPES EXCEEDING 3:1, BUT LESS THAN 2:1 SHALL BE SODDED.
 - 8) CONTRACTOR SHALL CONTROL EROSION ALONG THE EDGE OF THE PROPERTY INCLUDING BOTTOM OF SLOPE LOCATIONS AND ALONG DITCHES LINES. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEANS TO PREVENT MUD AND DEBRIS FROM FLOWING ONTO ADJACENT PROPERTY.
 - 9) ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR-INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOP-SOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL 70% GRASS COVER IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR.
- REVEGETATION REQUIREMENTS:**
RE-VEGETATION SHALL BE REQUIRED TO MEET THE FOLLOWING PERFORMANCE STANDARDS (SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED) UNLESS OTHERWISE ALLOWED BY THE CITY ENGINEER:
1. TOPSOIL. ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL AND REVEGETATED. TOPSOIL SHALL BE REQUIRED TO BE EITHER EXISTING OR INSTALLED IN AREAS TO BE REVEGETATED AS SET FORTH IN BELOW. ANY APPLICATION OF TOPSOIL AND SEEDING UNDER THE DRIP LINE OF A TREE SHOULD BE MINIMIZED TO 3 INCHES SO AS NOT TO DAMAGE THE TREE'S ROOT SYSTEM.
 2. ZERO TO 10% GRADE: RE-VEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING. SAID SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 3. 10:1 UP TO 4:1 GRADE: RE-VEGETATION SHALL BE A MINIMUM OF HYDRO-SEEDING WITH MULCH AND FERTILIZER, SOD, OR GROUNDCOVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 4. 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDED WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUNDCOVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.

DRAINAGE SYSTEM NOTES:

1. THE CONTRACTOR SHALL INSTALL THE DRAINAGE SYSTEM AS INDICATED ON THE PLANS, IN ACCORDANCE WITH THE SPECIFICATION AND DETAILS.
2. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III OR CLASS IV IN SIZE, TYPE, DIAMETER, AND LENGTH AS INDICATED ON THE PLANS. ALL RCP TO BE USED ON THESE PLANS SHALL BE TONGUE AND GROOVE TYPE.
3. RCP FLARED END SECTIONS SHALL BE CLASS II.
4. ALL TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH AASHTO T280, LATEST REVISION. THE MANUFACTURE AND FURNISHING OF CIRCULAR PIPE SHALL BE IN ACCORDANCE WITH AASHTO M170.
5. JOINTS SHALL BE SEALED WITH PREFORMED RUBBER GASKETS OR BITUMEN/BUTYL RUBBER PLASTIC GASKETS CONFORMING TO AASHTO M198, TYPE A.
6. ALL SPOT ELEVATIONS TO GUTTER UNLESS OTHERWISE NOTED.

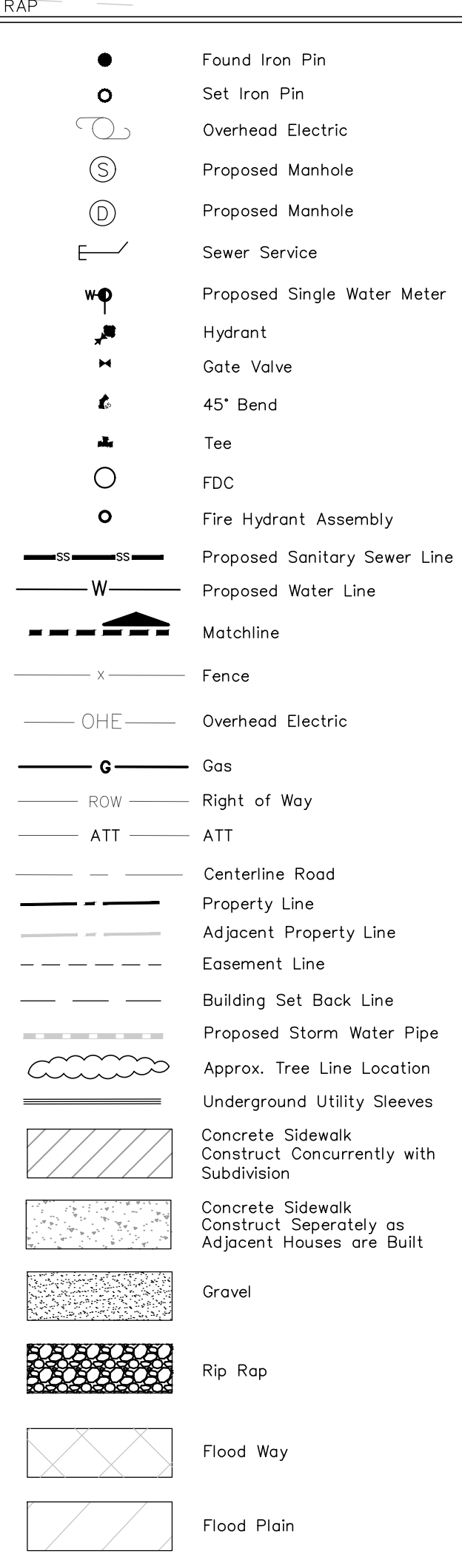
PAVING NOTES:

- 1) ASPHALTIC CONCRETE SURFACE AND BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SECTIONS 406 AND 303.
- 2) AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALTIC CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS.
- 3) CRUSHED STONE BASE SHALL BE CLEAN CRUSHER RUN STONE IN THE THICKNESS AND COMPACTION REQUIREMENTS AS REQUIRED AND SPECIFIED ON THE PLANS. CRUSHED STONE BASE COURSE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS FOR CLASS 7 BASE MATERIAL AS REQUIRED BY THE ARKANSAS HIGHWAY AND TRANSPORTATION DEPARTMENT.
- 4) BITUMINOUS PRIME COAT SHALL BE OUTBACK ASPHALT, TYPE MC-30 OR MC-70 IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARKANSAS STATE HIGHWAY SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- 5) HOT-MIX ASPHALTIC CONCRETE SHALL CONFORM TO THE PROVISIONS OF SECTION 409, MATERIALS AND EQUIPMENT FOR HOT MIX BITUMINOUS BINDER AND SURFACE COURSES IN THE ARKANSAS STATE HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

CONCRETE NOTES:

- 1) CONCRETE STRUCTURES SHOULD CONFORM TO THE ARKANSAS DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SECTION 501.
- 2) CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,500 PSI WITH A FOUR INCH MAXIMUM SLUMP. CONCRETE SHALL COMPLY WITH TYPE 1 PORTLAND CEMENT COMPLIANCE WITH ACI COMMITTEE 318-89 REQUIREMENTS.
- 3) REINFORCING STEEL AND WELDED WIRE FABRIC SHALL BE AS SPECIFIED IN THE CONSTRUCTION DETAILS.
- 4) VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE SPECIFICATIONS.
- 5) THE CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINTS BY SAW-CUT OR OTHER APPROVED MEANS. THE CONSTRUCTION JOINTS SHALL BE LOCATED 15-FOOT ON-CENTERS, MAXIMUM EACH WAY. THE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH EQUAL TO AT LEAST 1/4 CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE ENGINEER OR AS DETAILED ON PLANS.

Legend

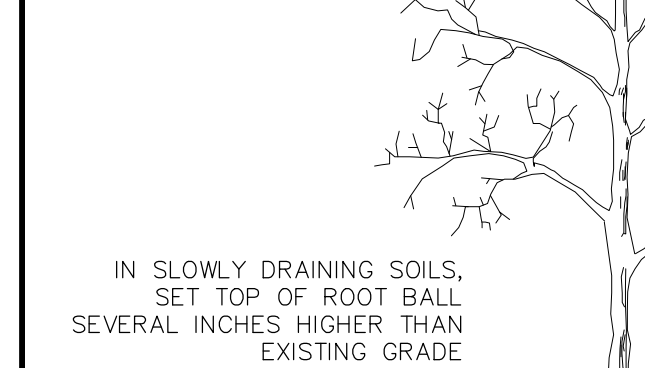


<p>830-37727-004 REVOCABLE TRUST 2147 W HENRI DE TONTI BLVD SPRINGDALE, AR 72762 ZONING: AGRICULTURE</p> <p>830-37727-005 REVOCABLE TRUST 2147 W HENRI DE TONTI BLVD SPRINGDALE, AR 72762 ZONING: AGRICULTURE</p> <p>830-37733-003 CEOLA, PAUL T & JOYCE 400 BASINGER RD SPRINGDALE, AR 72762 ZONING: AGRICULTURE</p> <p>830-37733-006 JENNINS, DUSTIN 727 CLINTON CIR SPRINGDALE, AR 72762 ZONING: RESIDENTIAL</p> <p>830-37734-000 HOLLINGSWORTH, HAROLD AND PAULINE REVOCABLE TRUST 1255 W MORSANI AVE SPRINGDALE, AR 72762 ZONING: AGRICULTURE</p> <p>830-38941-000 CHAUDRON, OSCAR & JENNIFER 1286 VALLE LN SPRINGDALE, AR 72762 ZONING: RESIDENTIAL</p> <p>830-38941-000 CHAUDRON, JACQUELINE C 1300 VALLE LN SPRINGDALE, AR 72762 ZONING: RESIDENTIAL</p> <p>830-38940-000 SHARP, CURTIS & VALERY SPRINTRAP, CHANNEL 762 ZONING: RESIDENTIAL 3:1 SIDES 1.75' MIN. DEPTH SODDED</p> <p>830-38938-000 HOFFMAN, DIANA & DUSTIN 1348 VALLE LN SPRINGDALE, AR 72762 ZONING: RESIDENTIAL</p> <p>830-38938-000 WATERS, KELLY MAUREEN 1332 VALLE LN SPRINGDALE, AR 72762 ZONING: RESIDENTIAL</p> <p>830-38938-000 BEAVER, JACQUELINE 1378 V SPRING ZONING: RESIDENTIAL</p> <p>830-38938-000 BLACKIE, PAUL T 1394 V SPRING ZONING: RESIDENTIAL</p>	<p>DATE: 02/01/19</p> <p>CLP CHECKED BY: JRG</p> <p>DRAWN BY: JRG</p> <p>JOB NUMBER: 12171</p> <p>PROJECT: 2171-2 CIVIL 12/17/19</p> <p>LAST SAVED: 3/19/2019 12:41 PM</p> <p>PLOT DATE: 3/19/2019 2:44 PM</p> <p>REVISION DESC.</p>
<p>GRADING PLAN</p> <p>MORSANI ACRES SUBDIVISION</p> <p>TONTITOWN, AR</p>	<p>STATE OF ARKANSAS</p> <p>LICENSED PROFESSIONAL ENGINEER</p> <p>NO. 15162</p> <p>ROBERT R. GERTZ</p> <p>CERTIFICATE OF AUTHORITY NO. 222</p> <p>ARTHUR PLAN DESIGN ALTERNATIVES, P.A.</p> <p>ARKANSAS ENGINEER</p>
<p>Earthplan Design Alternatives, PA</p> <p>Civil Engineering / Landscape Architecture</p> <p>134 West Emma Avenue</p> <p>Springdale, Arkansas 72762</p>	<p>C103</p>

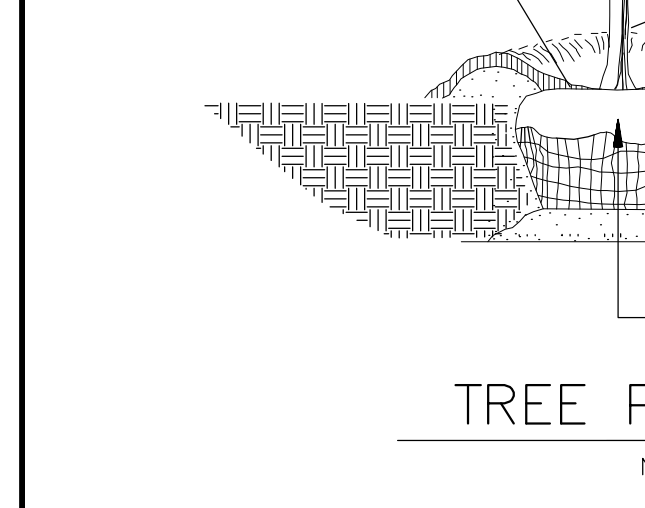


50 SCALE GRAPHIC SCALE IN FEET

SITE
SCALE: 1" = 50'



TREE PLANTING
N.T.S.



STAKING AND GUYING

A. Stake or guy a tree only when necessary for the specific conditions encountered and with the approval of the landscape architect. Staking may be required in unusual circumstances such as sandy soils in either the root ball or adjacent soils or in extremely windy locations. Poor quality trees with cracked, wet, or loose root balls, poorly developed trunk-to-crown ratios, or undersized root balls shall be rejected if they require staking, unless written approval to permit staking or guying as a remedial treatment is obtained from the landscape architect. Trees that settle out of plumb due to inadequate soil compaction either under or adjacent to the root ball shall be excavated and reset. In no case shall trees that have settled out of plumb be pulled upright using guy wires.

B. When required, staking and guying methods shall be approved by the landscape architect. If no staking or guying requirements appear on the drawings, submit for approval a drawing of the staking or guying method to be used. Stakes, anchors, and wires shall be of sufficient strength to maintain the tree in an upright position that overcomes the particular circumstances that initiated the need for staking or guying. Guy wires shall be galvanized, multi-strand, twisted wire.

C. Where guy wires are attached around the tree, the trunk shall be protected with 3/4 in. diameter rubber hose, black in color, and of sufficient length to extend past the trunk by more than 6 in. Stakes and guys shall be installed immediately upon approval or planting.

GREEN SPACE CALCULATION:

NET AREA:	669,382.45 SQ FT	
PERMEABLE SURFACES:	164,096.33 SQ FT	25%
<small>(Counted between ROW and front BSB, root greenspace, and detention pond lots)</small>		
OPEN SPACE		

INSTALLATION NOTES:

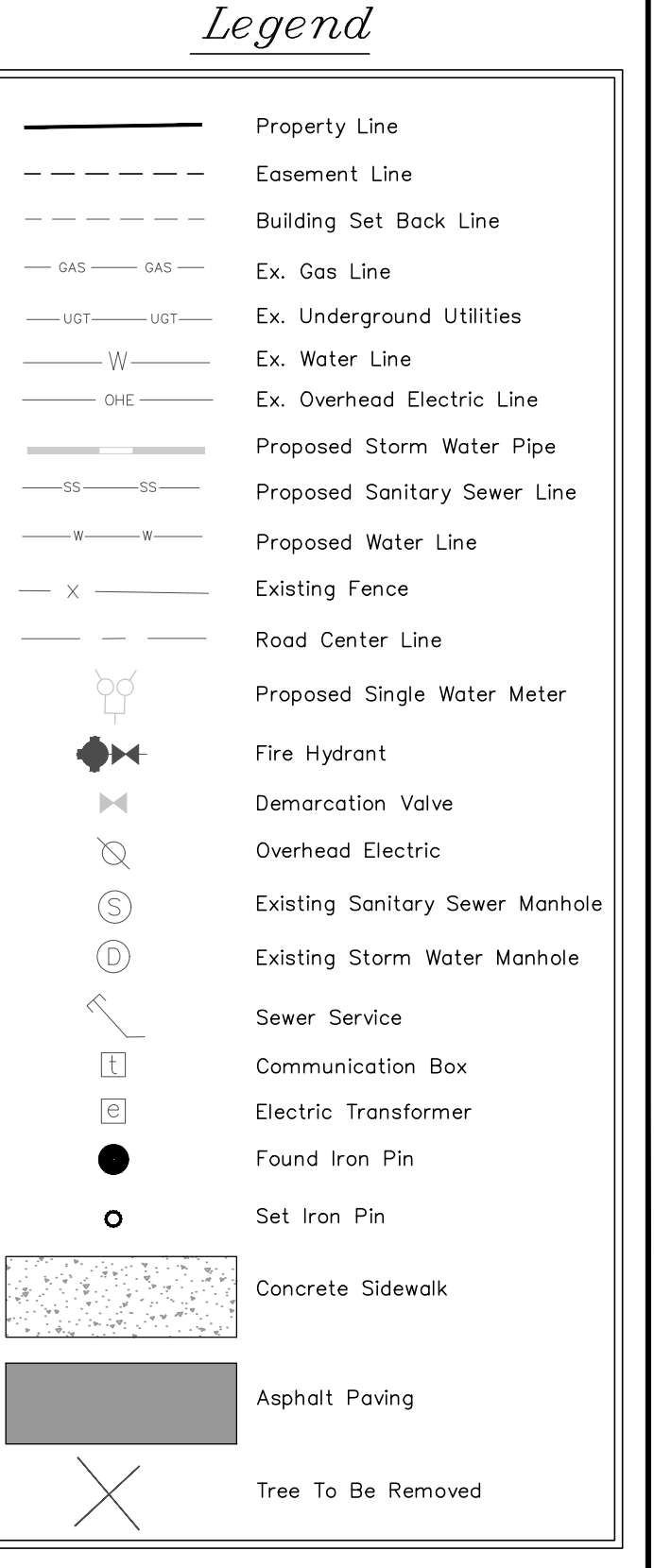
- LANDSCAPE TO BE MAINTAINED WEEKLY DURING GROWING SEASON.
- ALL TREES AND SHRUBS ARE GRAPHICALLY SHOWN AT APPROXIMATE MATURE SIZE.
- TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER PRUNING TECHNIQUES AS ESTABLISHED BY ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED DURING MAINTENANCE.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL TREES SHALL BE BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST (IF BALLED AND BURLAPPED IS SPECIFIED ON THE PLAN).
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED, UNLESS SPECIFIED OTHERWISE, AND MUST MEET ALL REQUIREMENTS SPECIFIED ON PLANS.
- SHREDDED HARDWOOD MULCH SHALL NOT BE PLACED IMMEDIATELY ADJACENT TO TREE TRUNKS AND SHALL BE KEPT AT LEAST 3" FROM ROOT COLLAR AT THE SOIL LINE. EXCESSIVE MULCHING OVER TREE ROOTS IS NOT ALLOWED. THE DEPTH OF SHREDDED HARDWOOD MULCH COVERING TREE ROOTS SHALL BE 3" THICK.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION AT NO COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE CONSTRUCTION BEGINS.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED WITH TURF-TYPE BERMUDA.



PLANTING OPERATIONS

- Plants shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, unless otherwise noted on the drawings. Plants must be set plumb and braced in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compacting of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later.
- (NOTE: Proper planting depth requires the root flare to be at or slightly above the finished grade. It is important to determine how deep the root flare is in the ball before it is placed in the planting hole. Sometimes the top of the ball may need to be raised until the root flare is at the proper planting depth and/or soil must be removed from the top of the ball.)
 - Determine the elevation of the root flare and ensure that it is planted at grade. This may require that the tree be set higher than the grade in the nursery.
 - If the root flare is less than 2 in. below the soil level of the root ball, plant at the appropriate level above the grade to set the flare even with the grade.
- Lift plants only from the bottom of the root balls or with belts or lifting harnesses of sufficient width not to damage the root balls. Do not lift trees by their trunk or use the trunk as a lever in positioning or moving the tree in the planting area.
- Remove plastic, paper, or fiber pots from containerized plant material. Pull roots out of the root mat and cut circling roots with a sharp knife. Loosen the potting medium and shake away from the root mat. Immediately after removing the container, install the plant such that the roots do not dry out. Pack planting mix around the exposed roots while planting. See detail, this sheet, about shaving method for containerized trees.
- The roots of bare-root trees shall be pruned at the time of planting to remove damaged or undesirable roots (those likely to become a detriment to future growth of the root system). Bare-root trees shall have the roots spread to approximate the natural position of the roots and shall be centered in the planting pit. The planting-soil backfill shall be worked firmly into and around the roots, with care taken to fill in completely with no air pockets.
- If circling roots are present on container trees, the periphery roots shall be shaved off (see root ball shaving detail) to a maximum of 2 in. thick.
- Cut ropes or strings from the top of shrub root balls and trees smaller than 3 in. caliper after plant has been set. Remove burlap or cloth wrapping and any wire baskets from around top one-half of balls. Do not turn under and bury portions of burlap; cut away and remove all material and wire.
 - Completely remove any waterproof or water-repellent strings or wrappings from the root ball and trunk before backfilling.
- Place amended soils into the area in a planting bed, tamping lightly to reduce settlement.
 - For plants planted in large beds of prepared soil, add soil amendments during the soil installation process.
- Ensure that the backfill immediately around the base of the root ball is tamped with foot pressure sufficient to prevent the root ball from shifting or leaning.
- Thoroughly water all plants immediately after planting. Apply water by hose directly to the root ball and the adjacent soil.
- Remove all tags, labels, strings, etc. from all plants.
- Remove any excess soil, debris, and planting material from the job site at the end of each workday.
- Form watering saucers 4 in. high immediately outside the area of the root ball of each tree or as indicated in details.

TREE LEGEND					
#	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE (HEIGHT X WIDTH)	NOTES/COMMENTS
2		QUERCUS MACROCARPA	BUR OAK	2.5" CAL DBH & 6" TALL	AR NATIVE. MOST OR DRY SITES.
3		NYSSA SYLVATICA	BLACK GUM	2.5" CAL DBH & 6" TALL	AR NATIVE. MOST OR DRY SITES.
3		PLATANUS ACERIFOLIA	AMERICAN SYCAMORE	2.5" CAL DBH & 6" TALL	AR NATIVE. MOST OR DRY SITES. WHITE EXFOLIATING BARK.



LANDSCAPE PLAN

MORSANI ACRES SUBDIVISION
TONTITOWN, AR

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Legend

Property Line
Easement Line
Building Set Back Line
Ex. Gas Line
Ex. Underground Utilities
Ex. Water Line
Ex. Overhead Electric Line
Proposed Storm Water Pipe
Proposed Sanitary Sewer Line
Proposed Water Line
Existing Fence
Road Center Line
Proposed Single Water Meter
Fire Hydrant
Demarcation Valve
Overhead Electric
Existing Sanitary Sewer Manhole
Existing Storm Water Manhole
Sewer Service
Communication Box
Electric Transformer
Found Iron Pin
Set Iron Pin
Concrete Sidewalk
Asphalt Paving
Tree To Be Removed

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PLANTING OPERATIONS

A. Plants shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, unless otherwise noted on the drawings. Plants must be set plumb and braced in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compacting of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later.

B. (NOTE: Proper planting depth requires the root flare to be at or slightly above the finished grade. It is important to determine how deep the root flare is in the ball before it is placed in the planting hole. Sometimes the top of the ball may need to be raised until the root flare is at the proper planting depth and/or soil must be removed from the top of the ball.)

- Determine the elevation of the root flare and ensure that it is planted at grade. This may require that the tree be set higher than the grade in the nursery.
- If the root flare is less than 2 in. below the soil level of the root ball, plant at the appropriate level above the grade to set the flare even with the grade.

C. Lift plants only from the bottom of the root balls or with belts or lifting harnesses of sufficient width not to damage the root balls. Do not lift trees by their trunk or use the trunk as a lever in positioning or moving the tree in the planting area.

D. Remove plastic, paper, or fiber pots from containerized plant material. Pull roots out of the root mat and cut circling roots with a sharp knife. Loosen the potting medium and shake away from the root mat. Immediately after removing the container, install the plant such that the roots do not dry out. Pack planting mix around the exposed roots while planting. See detail, this sheet, about shaving method for containerized trees.

E. The roots of bare-root trees shall be pruned at the time of planting to remove damaged or undesirable roots (those likely to become a detriment to future growth of the root system). Bare-root trees shall have the roots spread to approximate the natural position of the roots and shall be centered in the planting pit. The planting-soil backfill shall be worked firmly into and around the roots, with care taken to fill in completely with no air pockets.

F. If circling roots are present on container trees, the periphery roots shall be shaved off (see root ball shaving detail) to a maximum of 2 in. thick.

G. Cut ropes or strings from the top of shrub root balls and trees smaller than 3 in. caliper after plant has been set. Remove burlap or cloth wrapping and any wire baskets from around top one-half of balls. Do not turn under and bury portions of burlap; cut away and remove all material and wire.

- Completely remove any waterproof or water-repellent strings or wrappings from the root ball and trunk before backfilling.

H. Place amended soils into the area in a planting bed, tamping lightly to reduce settlement.

- For plants planted in large beds of prepared soil, add soil amendments during the soil installation process.

I. Ensure that the backfill immediately around the base of the root ball is tamped with foot pressure sufficient to prevent the root ball from shifting or leaning.

J. Thoroughly water all plants immediately after planting. Apply water by hose directly to the root ball and the adjacent soil.

K. Remove all tags, labels, strings, etc. from all plants.

L. Remove any excess soil, debris, and planting material from the job site at the end of each workday.

M. Form watering saucers 4 in. high immediately outside the area of the root ball of each tree or as indicated in details.