



### **Planning Board**

Darrell Watts – Chairman  
Rocky Clinton-Vice-Chairman  
Michael Lunsford-Secretary  
Larry Roberts-Member  
Kevin Boortz-Member

City Engineer-Garver  
City Planner-Courtney McNair  
City Attorney-Harrington-Miller  
Public Works Director-James Clark  
Code Enforcement Officer-Brett Freeland  
Building Inspector-Roger Duncan

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## ***Board of Zoning Adjustments Public Hearing Agenda***

Date: Tuesday, August 28, 2018

Time: 6:00 p.m. – Tontitown City Hall, 201 E. Henri de Tonti, Tontitown, AR 72770

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- 1. Board of Zoning Adjustments Meeting Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
  - a. Waste Management Hauling Company Rezoning Request
  - b. Update to Chapter 153-addition of Exclusive Landfill Use Zoning
- 4. Comments from Citizens**
- 5. Meeting Adjourned**





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- 1. Planning Board Meeting Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Approval of Minutes**
  - a. Approval of July 31, 2018 Planning Board Minutes
- 5. Comments from Citizens**
- 6. Old Business**
- 7. New Business**
  - a. MH Backhoe Commercial Building Preliminary LSD
  - b. Southpointe Subdivision Phase 1 Final Plat
  - c. Waste Management Hauling Company Rezoning Request
  - d. Waste Management Hauling Company -Compressed Natural Gas Station Preliminary LSD
  - e. Update to Chapter 153-addition of Exclusive Landfill Use Zoning
- 8. Review Items for Placement on City Council Agenda (if applicable)**
  - a. Waste Management Hauling Company Rezoning Request
  - b. Update to Chapter 153-addition of Exclusive Landfill Use Zoning
- 9. Reoccurring Items and Items for Review**
  - a. Review of Approved Projects & Expirations
  - b. Review Building Activity
- 10. Comments from Staff**
  - a. Update on Future Land Use/Master Transportation Plan
  - b. Upcoming Planning Board Meeting, **Tuesday, September 25, 2018**
- 11. Comments from Board Members**
- 12. Meeting Adjourned**





## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **August 28, 2018**  
Project: **MH Backhoe LSD**  
Planner: Courtney McNair

### AGENDA ITEM

## A

### PRELIMINARY LARGE SCALE DEVELOPMENT PLAN APPROVAL REQUEST

630 W. Henri de Tonti Blvd.

Parcel # 830-37653-000

**SUMMARY:** MH Backhoe Commercial Building is requesting Preliminary Large-Scale Development Approval to add a 7500 SF Commercial Building on a currently vacant parcel that is approximately 3.33 acres in size.

**CURRENT ZONING:** C-2 General Commercial (and **R-3** on the northern corner of the property)

**CITY WARD:** 2- Arthur Penzo & Larry Ardemagni

**FLOODPLAIN:** YES-The north end of the property is within the floodplain.

**INFRASTRUCTURE SERVICE AREAS** (not a guarantee of service availability):

**Water:** Tontitown Water

**Sewer:** Tontitown Sewer

**Road Access:** W. Henri de Tonti

**Electric:** Ozarks Electric

**Cable:** Cox Communications

**Phone:** ATT

**Natural Gas:** Black Hills Energy

**School District:** Springdale

#### PROJECT SYNOPSIS:

MH Backhoe Commercial Building is requesting Preliminary Large-Scale Development Approval to add a 7500 SF Commercial Building on a currently vacant parcel that is approximately 3.33 acres in size.

A small portion of the north end of the property is zoned for R3, but the portion to be used for the Commercial Building and associated uses is zoned C2. A portion of the detention pond is in the R3 zoning; however, this does not require the zoning to be changed. Easements (drainage easement in this case) do not have to be the same zoning as the project. Furthermore, the use of a detention pond adjacent to the floodplain is an appropriate use of the land. Any grading or structures within the Floodplain will require a Floodplain Permit.

#### TECHNICAL INFORMATION:

##### Utilities:

**Water:** Tontitown Water-According to the Water System information, there is an existing 6-inch water line along W. Henri de Tonti.

**Electric:** Ozarks Electric-Submitted general comments. Any relocation, addition, or required easements will be at cost to the developer.

**Sewer/Septic:** Sewer- this project proposes to connect to the City of Tontitown sewer system. The connection must be approved prior to construction.



**Phone:** AT&T- Had no comments.

**Natural Gas:** Black Hills Energy- No comments were received from BHE.

**Cable:** Cox Communications- We don't have any Cable plant on this property. Our cable plant is across the street on the power poles. If the customer would like our service in their building they would need to install a 4" conduit from the data room to the outside to the easement and all 90's will need to be sweeping 90's.

It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.

**Stormwater Pollution Prevention Plan (SWPPP):**

The applicant has provided a grading a drainage plan. A SWPPP must be completed and posted on site prior to construction.

**Police:**

No concerns were found for the proposed project.

**Fire:**

There is a fire hydrant shown on the plans. The nearest offsite hydrant is on the adjacent property, approximately 80 feet from the entrance drive, with a fire flow of 1189 gpm.

The Fire Marshal has reviewed the plans and found them to be adequate. A knox box is required for the building and gate. "No Parking" signs or striping is required in some areas for fire lane. All interior drives must meet the required compaction rating to support emergency vehicles.

**Drainage:**

There is a detention pond proposed for this site. The applicant's engineer submitted a drainage report for review, and the City Engineer has reviewed and approved the report.

**Roads:**

This project has access on W. Henri de Tonti, which is an Arkansas State Highway. Approval for the entrance drive will be required by the Arkansas Department of Transportation (ARDOT).

Site visibility appears to be adequate from the proposed entrance location.

As stated above, all interior drives must meet the required compaction rating to support emergency vehicles.

**STAFF RECOMMENDATION:** There are some minor plan corrections, but nothing that should significantly impact the overall design.

Therefore, staff recommends approval of MH Backhoe Commercial Building Preliminary Large-Scale Development Request with conditions.

**CONDITIONS RECOMMENDED FOR APPROVAL:**

1. It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.
2. The SWPPP must be posted on site prior to construction.
3. Any grading or structures within the Floodplain will require a Floodplain Permit.
4. The gate shall have a knox box system for emergency access.
5. Correct all remaining items on the "Plat Requirement Worksheet" prior to Construction Plan approval. Planning Staff will provide a copy of the remaining requirements to the engineer



for the project.

6. "No Parking" signs or striping shall be added per the Fire Marshal.
7. All interior drives must meet the required compaction rating to support emergency vehicles.
8. Approval for the entrance drive will be required by the Arkansas Department of Transportation (ARDOT).
9. The applicant must apply for all required permits prior to construction.



# M.H. BACKHOE COMMERCIAL BUILDING

## LARGE SCALE DEVELOPMENT

630 W HENRI DE TONTI BLVD.  
TONTITOWN, AR

EDA PROJECT NO. 2122

August 7, 2018

Revised: August 22, 2018



Vicinity Map

Not to Scale

#### SITE NOTES:

- 1) THERE ARE NO JURISDICTIONAL WATERS OF THE US KNOWN ON THIS SITE, OR WETLANDS
- 2) AS SHOWN ON THE PLANS, PART OF THE SITE IS LOCATED IN A FEMA 100 YEAR FLOOD PLAIN ZONE A, AS SHOWN ON FEMA FIRM 05143C0065F, EFFECTIVE DATE 4/2/2008.
- 3) THE PRESSURE OF THE NEAREST HYDRANT (HYDRANT 611) STATIC:101 PSI, RESIDUAL: 69 PSI, FLOW: 1,189 GPM.
- 4) THERE ARE NO KNOWN EROSION CONTROL PROBLEMS ON THE SITE OR WITHIN 100' DOWN STREAM OF THE PROJECT.
- 5) ALL KNOWN EXISTING OR ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPOUNDMENTS AND UNDERGROUND STRUCTURES ARE SHOWN ON THE PLANS.
- 6) THE PROPOSED BUILDING IS INTENDED FOR COMMERCIAL USE AND IS 7500 SQFT IN AREA.
- 7) THERE ARE NO KNOWN SEWER OVERFLOW ISSUES ON THIS SITE.
- 8) THERE ARE NO KNOWN GROUND LEASES OR ACCESS AGREEMENTS FOR THIS SITE.
- 9) THERE ARE NO KNOWN POTENTIAL HAZARDOUS AREAS FOR THIS SITE.

#### GRADING NOTES:

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVAL AND PROPER DISPOSAL OF DEBRIS, CLEARING, GRUBBING, AND STRIPPING OF TOPSOIL AND ORGANIC MATTER AS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. TOPSOIL MAY BE STOCKPILED ON SITE, AS DIRECTED BY THE ENGINEER. THE BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS GAINED FROM THE OWNER, ENGINEER, AND GOVERNING OFFICIALS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, ETC. REQUIRED.

- 2) BUILDING SETBACK AREAS TO RECEIVE FILL MATERIAL SHALL BE SACRIFICED TO A DEPTH OF 8-INCH DEPTH AND PROPERLY COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE FURTHER UNDERCUT AND REPLACED WITH SUITABLE MATERIAL, AS DIRECTED BY THE ENGINEER.

- 3) OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 20 OR LESS, A LIQUID LIMIT OF 50 OR LESS, AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF SITE FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER.

- 4) AREAS THAT ARE TO BE CUT TO SUB-GRADE LEVELS SHALL BE PROOF-ROLLED WITH A LOADED TANDEM AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS. CUT AREAS ARE TO BE SCARIFIED AND RE-COMPACTED TO 95% STANDARD PROCTOR AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.

- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE WATER SPRINKLING TRUCKS OR OTHER MEANS SUITABLE OF CONTROL OF DUST. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

- 6) THE DEVELOPER SHALL PROVIDE AN INDEPENDENT TESTING LABORATORY TO PERFORM CONSTRUCTION TESTING OF THE SUB-GRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUB-GRADE DENSITIES. THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTIFICATION SO THE DEVELOPER CAN SCHEDULE TESTING.

- 7) THE CONTRACTOR SHALL MAINTAIN ALL SLOPES 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ALL SLOPES EXCEEDING 3:1, BUT LESS THAN 2:1 SHALL BE SODDED.

- 8) CONTRACTOR SHALL CONTROL EROSION ALONG THE EDGE OF THE PROPERTY INCLUDING DEPTH OF SLOPE LOCATIONS AND ALONG DITCHES LINES. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEANS TO PREVENT MUD AND DEBRIS FROM FLOWING ONTO ADJACENT PROPERTY.

- 9) ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR-INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOP-SOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL 70% GRASS COVER IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR.

#### REVEGETATION REQUIREMENTS:

RE-VEGETATION SHALL BE REQUIRED TO MEET THE FOLLOWING PERFORMANCE STANDARDS (SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED) UNLESS OTHERWISE ALLOWED BY THE CITY ENGINEER:

1. TOPSOIL: ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL AND REVEGETATED. TOPSOIL SHALL BE REQUIRED TO BE EITHER EXISTING OR INSTALLED IN AREAS TO BE REVEGETATED AS SET FORTH BELOW. ANY APPLICATION OF TOPSOIL AND SEEDING UNDER THE DRIP LINE OF A TREE SHOULD BE MINIMIZED TO 3 INCHES SO AS NOT TO DAMAGE THE TREES ROOT SYSTEM.

2. ZERO TO 10% GRADE: RE-VEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING. SAID SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.

3. 10:1 UP TO 4:1 GRADE: RE-VEGETATION SHALL BE A MINIMUM OF HYDRO-SEEDING WITH MULCH AND FERTILIZER, SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.

4. 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDED WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.

#### GENERAL NOTES:

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES THAT MAY RESULT.

2. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE GENERAL IN NATURE AND ARE BASED ON INFORMATION PROVIDED BY THE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT LOCATION OF ALL UTILITIES BEFORE PROCEEDING WITH THE CONSTRUCTION.

3. OTHER CONTRACTORS, LABORERS, WORKMEN, UTILITY COMPANIES, ETC., MAY BE WORKING WITHIN OR AROUND THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH OTHERS TO MINIMIZE ANY CONFLICTS THAT ARISE.

4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.

5. CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF EROSION CONTROL THROUGHOUT THE CONSTRUCTION OF THE PROJECT.

6. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET OR EXCEED THE MINIMUM STANDARD AS SPECIFIED BY THE ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT AND THE CITY OR COUNTY WITH JURISDICTION.

7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, PAYING AND POSTING FOR ALL PAYMENT, PERFORMANCE, AND MAINTENANCE BONDS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.

8. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONSTRUCTION SIGNAGE AND OTHER TRAFFIC CONTROL DEVICES WHEN WORKING IN ANY RIGHT OF WAY. SIGNAGE AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL GUIDELINES AND REGULATIONS.

9. THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARDS.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY MEASURES TO PROVIDE ADEQUATE TRENCH SAFETY, AND ALL OTHER ITEMS NECESSARY TO SATISFY ACT 291-1993 OF THE STATE OF ARKANSAS.

11. THE CONTRACTOR SHALL VERIFY WITH THE ENGINEER BEFORE BEGINNING CONSTRUCTION, THE PROCUREMENT AND LOCATION OF ALL EASEMENTS, TEMPORARY AND PERMANENT, NECESSARY TO CARRY OUT THE WORK OUTLINED WITHIN THESE DRAWINGS AND RELATED CONTRACT DOCUMENTS. PRIOR TO ANY CONSTRUCTION ACTIVITIES OFF THE SUBJECT PROPERTY, CONSTRUCTION STAKING OF PROPOSED WORK BY ENGINEER DOES NOT CONSTITUTE VERIFICATION OF EASEMENT OR AUTHORIZE THE CONTRACTOR TO PROCEED WITH WORK. VERIFICATION SHALL BE IN WRITING FROM ENGINEER.

12. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL STATE AND FEDERAL REGULATIONS PERTAINING TO THE AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM AND THE ARKANSAS WATER AND AIR POLLUTION CONTROL ACT. CONTRACTOR IS TO FILE NOTICE OF INTENT WITH THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY.

#### EROSION CONTROL NOTES:

- 1) ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.

- 2) CONTRACTOR SHALL MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

- 3) ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO CONFIRM THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, IRRIGATED AND RESEEDED AS REQUIRED.

- 4) A MINIMUM VEGETATIVE BUFFER OF 25 FEET SHALL BE PROVIDED BETWEEN CONSTRUCTION OPERATIONS AND WETLANDS AND ORDINARY HIGH WATER MARKS OF RIVERS AND STREAMS.

- 5) DEBRIS, MUD, AND SOIL IN PUBLIC STREETS, DEBRIS, MUD AND SOIL SHALL NOT BE ALLOWED ON PUBLIC STREETS BUT IF ANY DEBRIS, MUD, OR SOIL FROM DEVELOPMENT SITES REACHES THE PUBLIC STREET IT SHALL BE IMMEDIATELY REMOVED VIA SWEEPING OR OTHER METHODS OF PHYSICAL REMOVAL. DEBRIS, MUD, OR SOIL IN THE STREET MAY NOT BE WASHED OFF THE STREET OR WASHED INTO THE STORM DRAINAGE SYSTEM. STORM DRAINAGE SYSTEMS DOWNSTREAM OF A DEVELOPMENT SITE SHOULD BE PROTECTED FROM DEBRIS, MUD, OR SOIL IN THE EVENT THAT DEBRIS, MUD, OR SOIL REACHES THE DRAINAGE SYSTEM.

- 6) PERMANENT EROSION CONTROL: THE DEVELOPER SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES AT THE EARLIEST PRACTICAL TIME. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE UNFORSEEN DURING THE DESIGN STAGE, THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT EROSIONS CONTROL FEATURES, OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PROJECTS, BUT ARE NOT ASSOCIATED WITH PERMANENT CONTROL FEATURES ON THE PROJECT.

- 7) DUST: WHERE EXCESSIVE DUST MAY BECOME A PROBLEM, A PLAN FOR SPRAYING WATER ON HEAVILY TRAVELED DIRT AREAS SHALL BE ADDRESSED.

- 8) CONSTRUCTION EXITS: A STABILIZED ROCK EXIT IS REQUIRED ON CONSTRUCTION SITES. ROCK EXITS MUST BE AT LEAST 20' WIDE BY 50' LONG BY 6" THICK STABILIZED ROCK HAVING A MINIMUM AVERAGE DIAMETER OF 3". IF THERE IS AN EXISTING CURB, LOOSE MATERIAL SUCH AS FILL DIRT OR GRAVEL SHALL NOT BE USED TO RAMP UP TO IT FROM THE STREET. TEMPORARY WOODEN RAMPS IN FRONT OF CURBS ARE ACCEPTABLE.

- 9) FRANCHISE AND PRIVATE UTILITIES: THE PROPERTY OWNER OR MAIN CONTRACTOR ON-SITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGED OR DISTURBED BY UNDERGROUND PRIVATE OR FRANCHISE UTILITY CONSTRUCTION SUCH AS WASTER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.

#### ZONING

SETBACKS: FRONT: 30'  
SIDE: 30'  
REAR: 30'

USE: COMMERCIAL

#### ELEVATION DATUM: NAVD 88

HORIZONTAL: ARKANSAS STATE PLANE NORTH

#### FLOOD CERTIFICATION:

A PART OF THIS PROPERTY IS LOCATED IN ZONE A PER FIRM MAP 05143C0065F, EFFECTIVE DATE: 4/2/2008

#### OWNER:

MIKE AND TRISHA HATHORN

#### ENGINEER:

EARTHPLAN DESIGN ALTERNATIVES, PA  
134 W. EMMA AVE.  
SPRINGDALE, AR 72764  
479-756-1266 Office  
479-756-2129 Fax

#### SURVEYOR:

JAMES LAYOUT SERVICES, LLC  
P.O. BOX 611  
FARMINGTON, AR 72730  
479-439-9929

#### Certificate of Preliminary Survey Accuracy.

I, \_\_\_\_\_, hereby certify that this plat correctly represents a boundary survey made by me and all monuments shown hereon actually exist and their location, size, type and material are correctly shown.  
Date of Execution: \_\_\_\_\_

#### Registered Land Surveyor

State of Arkansas Registration No. \_\_\_\_\_

Certificate of Preliminary Engineering Accuracy. Each set of street and drainage plans must be submitted in accordance with applicable state statutes and any plans and specifications required:

I, \_\_\_\_\_, hereby certify that this plan, correctly represents a plan prepared under my direction and engineering requirements of the Tontitown Subdivision Regulations have been complied with.  
Date of Execution: \_\_\_\_\_

#### Registered Engineer

State of Arkansas Registration No. \_\_\_\_\_

Certificate of Preliminary Plot Approval.  
This plat has been given preliminary plot approval only and has not been approved for recording purposes as a public record. This certificate shall expire on \_\_\_\_\_ (date).  
Date of Execution: \_\_\_\_\_

Chairman, City of Tontitown Planning Commission

## INDEX

Survey V101  
Site Plan C101  
Utility Plan C102  
Grading Plan C103  
Erosion Control Plan C104  
Storm Sewer Profiles C201  
Details C501  
Details C502  
Details C503  
Landscape Plan L101  
Landscape Details L501

## SHEET

V101  
C101  
C102  
C103  
C104  
C201  
C501  
C502  
C503  
L101  
L501



**Earthplan  
Design  
Alternatives, PA**  
Civil Engineering / Landscape Architecture

134 West Emma Avenue . Springdale, Arkansas 72764  
(479) 756-1266 . FAX: (479) 755-3570  
www.eda-pa.com



**Know what's below.  
Call before you dig.**



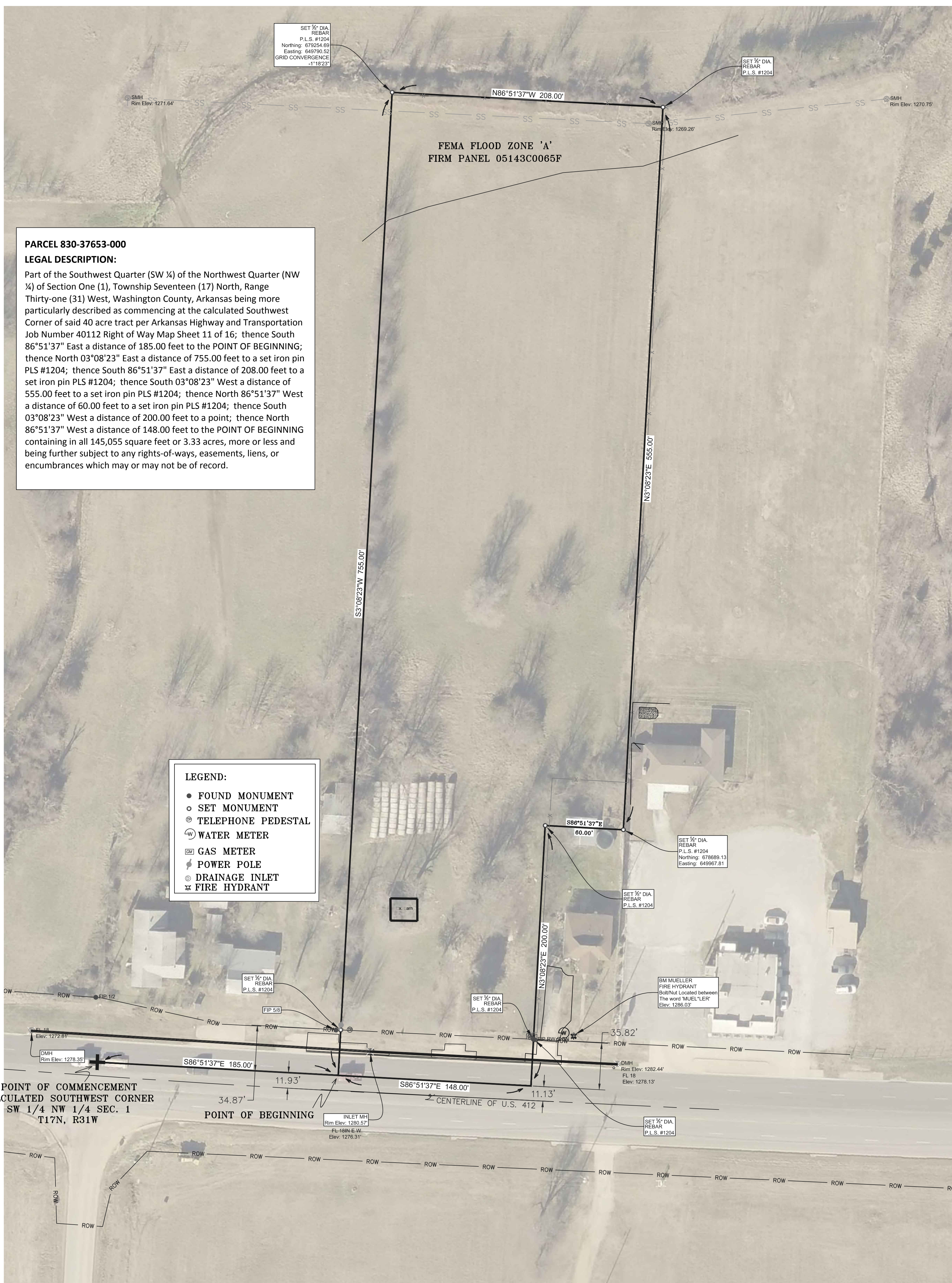
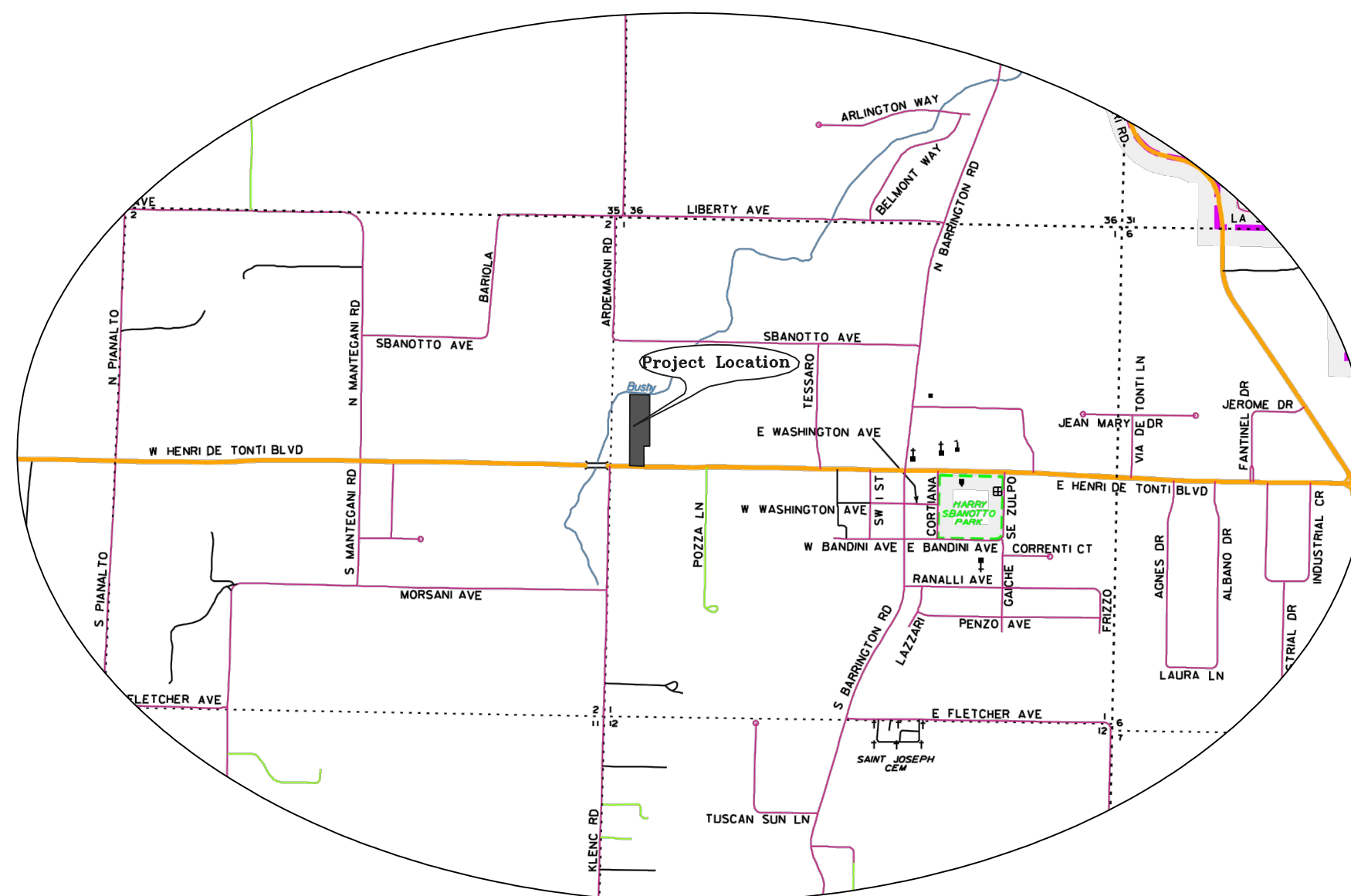
**Earthplan  
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Alternatives, PA**  
Civil Engineering / Landscape Architecture  
479-756-1266  
www.eda-pa.com



134 West Emma Avenue  
Springdale, Arkansas 72764

COVER





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SHEET NO.

*JLS*

James Layout Services, LLC  
P.O. Box 611  
Farmington, Arkansas 72730  
Telephone: (479) 439-9929  
survey@ilsnwa.com

BOUNDARY SURVEY FOR  
MICHAEL E. & TRISHA R. HATHORN

DATE: AUG. 7th, 2018	SCALE:	CHECKED BY:	DRAWN BY:	OWNER/DEVELOPER:
	AS SHOWN	nr	lfg	Michael and Trisha Hathorn
				JOB NO.: 18-113

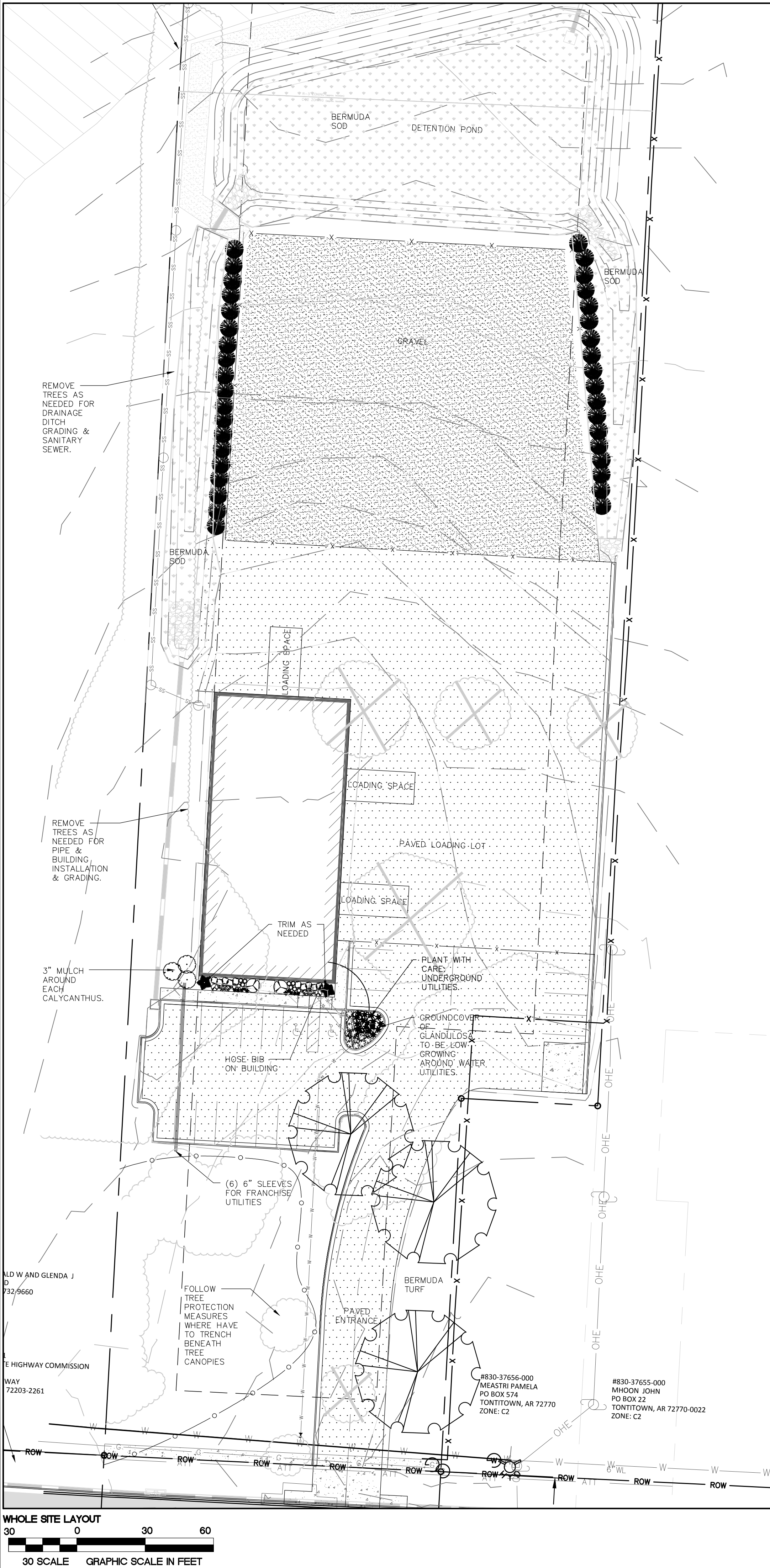
## REVISIONS

DATE:	BY:	REASON:
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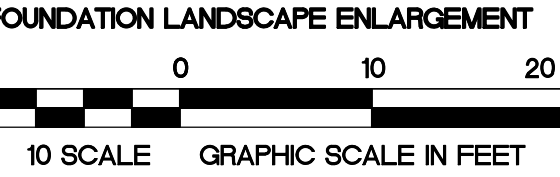




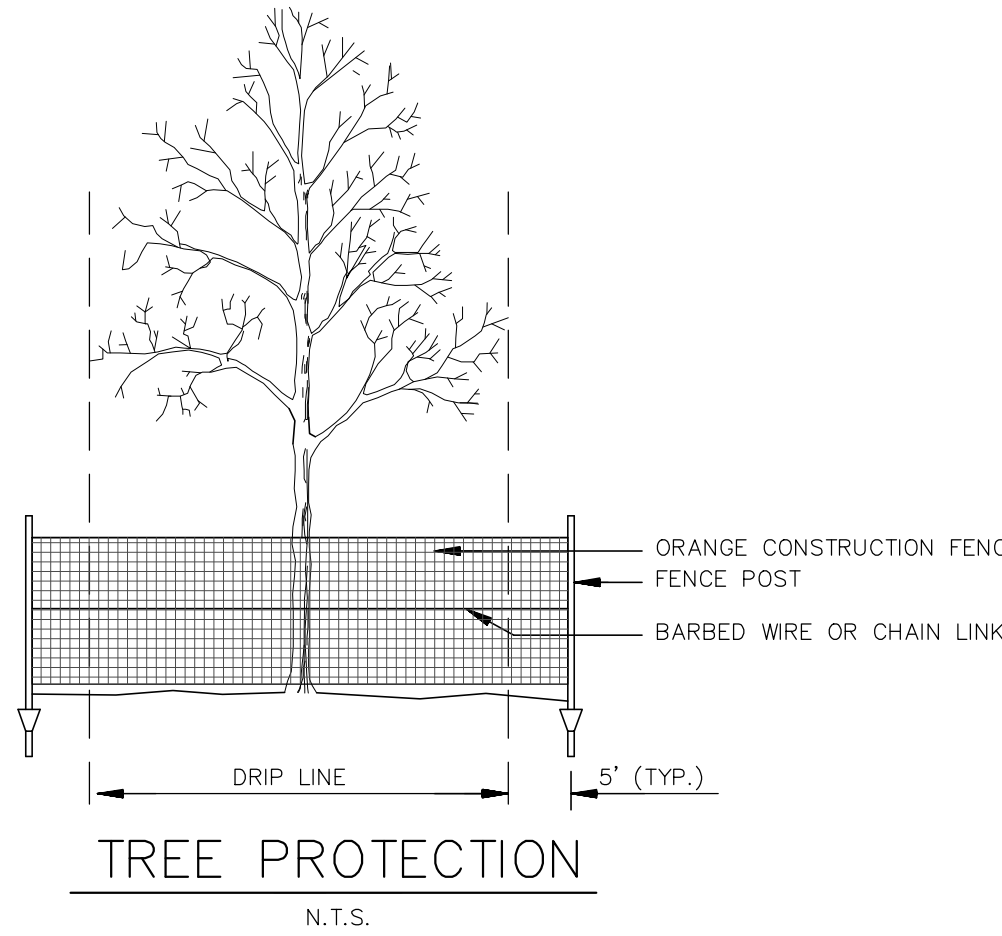




TREES LEGEND					
#	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE (HEIGHT X WIDTH)	NOTES/COMMENTS
3		ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3" GAL & MIN. 8' TALL	70' X 55' AR NATIVE; DUTCH ELM DISEASE-RESISTANCE CULTIVAR
37		ILEX X 'CONTY' OR JUNIPERUS CHINENSIS 'HETZI COLUMNARIS'	LIBERTY RED HOLLY OR HETZI COLUMNARIS JUNIPER	MIN. 5' TALL	HOLLY-14' X 8' JUNIPER-18' X 8' EVERGREEN
SHRUBS LEGEND					
1		CALYCANTHUS FLORIDUS	SWEETSHRUB	3 GAL	10' X 12' NATIVE.
13		ARONIA MELANOCARPA 'LOW SCAPE'	LOW SCAPE BLACK CHOKECHERRY	3 GAL	2' X 3' NATIVE; WHITE FLOWERS; BLACK BERRIES; SPREADS; TOUGH, SHINY FOLIAGE, TINY PLANT. SUCKERS TO FORM MASS.
2		ILEX X 'CONTY'	LIBERTY RED HOLLY	5 GAL	14' X 8' EVERGREEN
2		CLETHRA ALNIFOLIA 'CRYSTALLINA'	SUGARTINA SUMMERSWEET	3 GAL	3' X 3' AR NATIVE
2		COTONEASTER DAMMERI 'CORAL BEAUTY'	ROYAL BEAUTY COTONEASTER	1 GAL	6' X 2.5' SEMI-EVERGREEN/EVERGREEN
3		CALYCANTHUS FLORIDUS	CAROLINA ALLSPICE	3 GAL	8' X 8' AR NATIVE
10		ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	3 GAL	3' X 3' AR NATIVE; EVERGREEN
PERENNIALS & GRASSES					
10		LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER	1 QT	2.5' X 2' FRAGRANT FOLIAGE & SUMMER BLOOMS; RETAINS SILVERY FOLIAGE THROUGH WINTER. TRIM BACK IN LATE WINTER. AR NATIVE; BLOOMS ALL SPRING-SUMMER-FALL. CREEPS; ROOTS ALONG STEMS. If blooming slows, fertilize with super phosphate to keep blooming.
25		GLANDULARIA CANADENSIS 'HOMESTEAD PURPLE'	HOMESTEAD PURPLE VERBENA	1 QT	10" X 3' NATIVE PERENNIAL; CULTIVAR HAS YELLOW PETALS WITH BROWNISH PURPLE INNER COLORING
14		RUDEBECKIA HIRTA 'DENVER DAISY'	DENVER DAISY BLACK-EYED SUSAN	1 QT	20" X 1.5'



- TREE PROTECTION NOTES:
- ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION/CONSTRUCTION WITH TEMPORARY FENCING. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH LANDSCAPE CONTRACTOR.
  - TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING).
  - FENCES SHALL COMPLETELY SURROUND TREE OR CLUSTERS OF TREES; SHALL BE LOCATED 5' FROM THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIP LINE), AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:
    - SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
    - ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING.
    - WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
    - OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
  - EXCEPTIONS TO INSTALLING FENCES 5' FROM TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
    - WHERE PERMEABLE PAVING IS TO BE INSTALLED; ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA.
    - WHERE TREES ARE CLOSE TO THE PROPOSED BUILDING; ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING.
  - WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHES) IN ADDITION TO THE REDUCED FENCING PROVIDED.
  - WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES (UNDER DRIP LINES), THOSE AREAS SHOULD BE COVERED WITH 4 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
  - ALL GRADING WITHIN PROTECTED ROOT ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND THE GRADE CHANGE AREA.
  - ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED WITH A CLEAN CUT FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
  - PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIP LINES, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS.
  - TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
  - ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
  - NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
  - PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.
  - ALL PRUNING MUST BE DONE ACCORDING TO RECOGNIZED APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES) BY A CERTIFIED ARBORIST.



**Legend**

- Found Iron Pin
- Set Iron Pin
- Property Line
- Adjacent Property Line
- Easement Line
- Building Set Back Line
- Overhead Electric
- Proposed Manhole
- Sewer Service
- Proposed Sanitary Sewer Line
- Proposed Water Line
- Proposed Single Water Meter
- Hydrant
- Gate Valve
- Matchline
- Fence
- Overhead Electric
- Gas
- Right of Way
- ATT
- Centerline Road
- Parking Lot Paving
- Gravel
- Concrete
- Rip Rap
- Flood Plain
- U.S. Highway 412
- SOD, BERMUDA
- Tree Protectin Fencing
- Approx. Tree Line Location
- Tree to be Removed Symbol

NOTE: ALL LIGHTS TO BE FULL CUT-OFF

DUE TO THE SCALE OF THE DRAWINGS, CERTAIN SYMBOLS AND HORIZONTAL COORDINATES OF CERTAIN FEATURES WILL NOT BE TO SCALE DUE TO PRODUCTION PURPOSES. CONTRACTOR TO VERIFY WITH LOCAL UTILITY FOR EXACT LOCATION AND ORIENTATION OF ALL METERS, VALVES, FIRE HYDRANTS, AIR RELEASE VALVES, BENDS, LIGHT POLES ETC. PRIOR TO COMMENCING WITH CONSTRUCTION.

REVISION NO. 1

DATE 8/22/2018

DRAWN BY: SDG

CHECKED BY: JRG

DRAWING CREATION DATE: 8/7/2018

JOB NUMBER: 2122

P.L. PROJECTS: 2122/CWL/2122 LANDSCAPE PLANNING

LAST SAVE: 8/22/2018 3:18 PM

FLAT DATE: 8/22/2018 3:18 PM

SCALE: VARIES

CERTIFICATE OF AUTHORIZATION

EARTHPLAN DESIGN ALTERNATIVES, P.A.

REGISTERED PROFESSIONAL ENGINEER

NO. 15,162

R. GURTY

LANDSCAPE PLAN

M.H. BACKHOE COMMERCIAL BUILDING

TONTITOWN, AR

Earthplan Design Alternatives, PA

134 West Emma Avenue

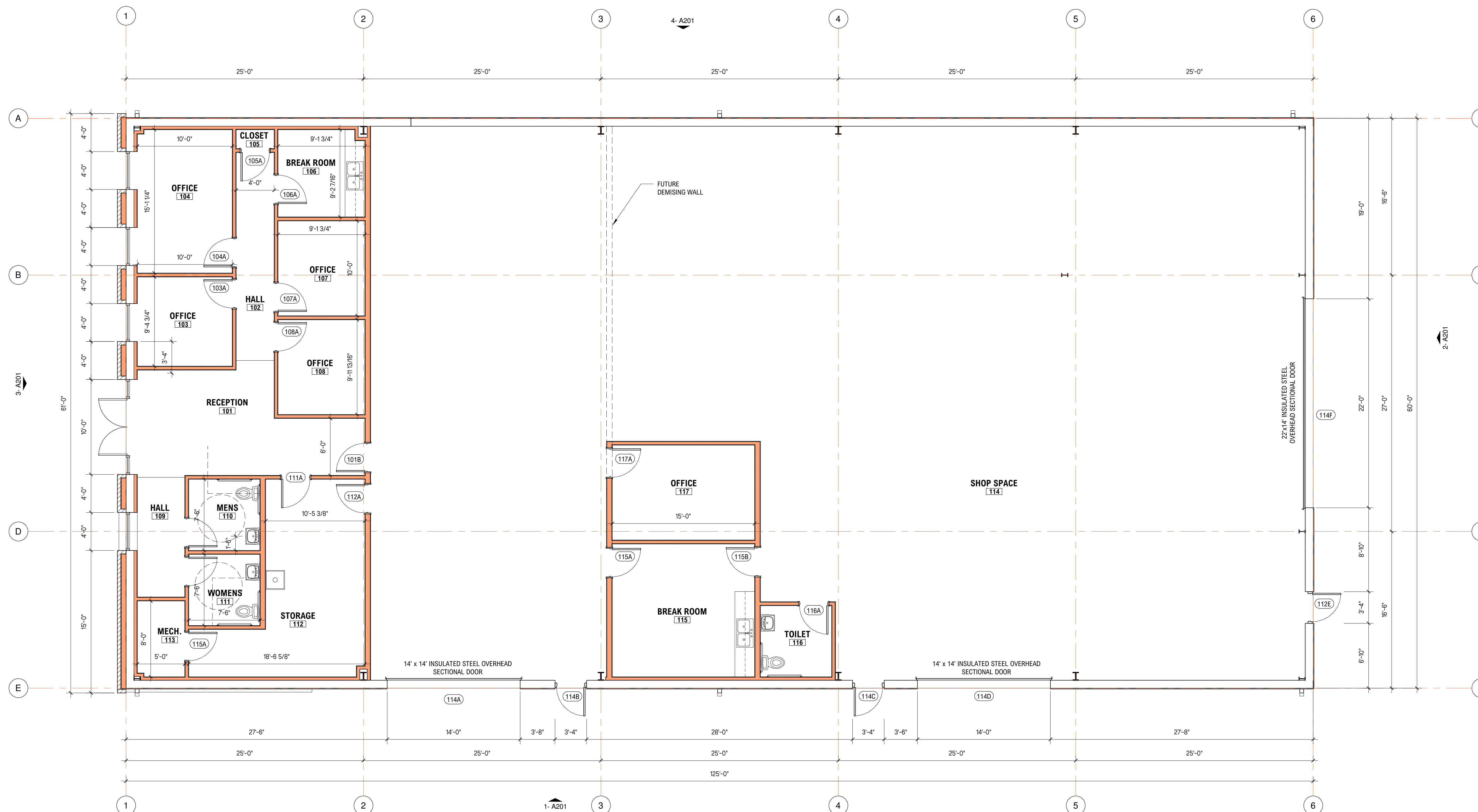
Springdale, Arkansas 72764

479-756-1266

www.eda-pa.com

L101

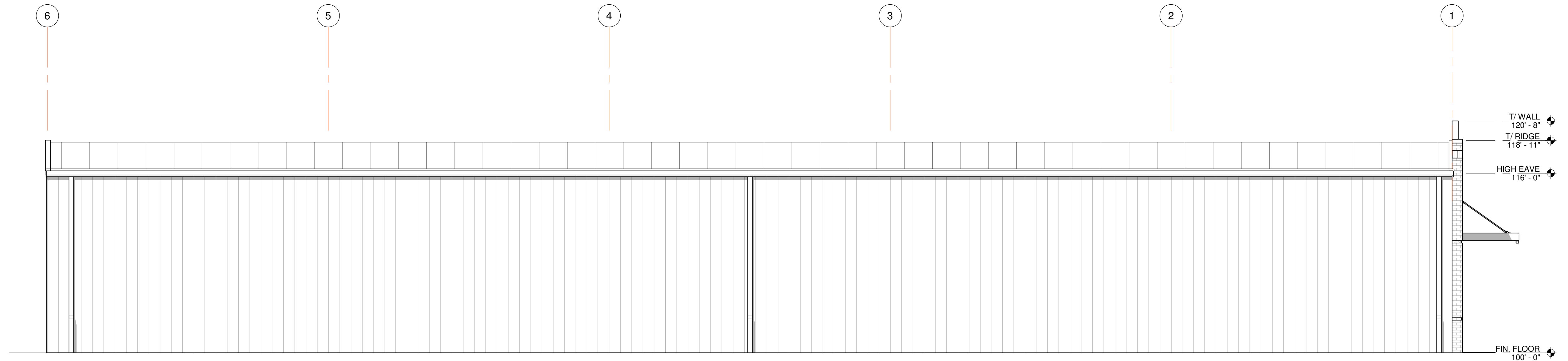




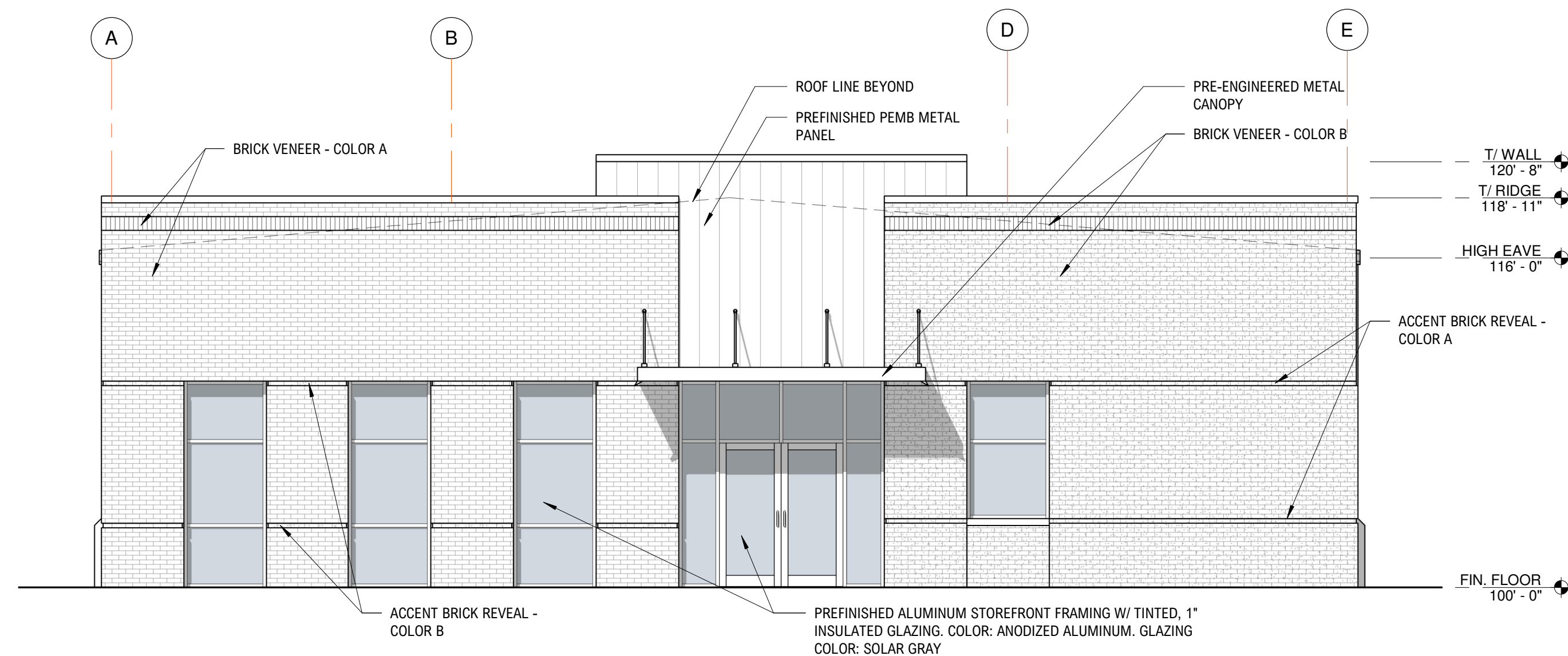
# 1 FLOOR PLAN



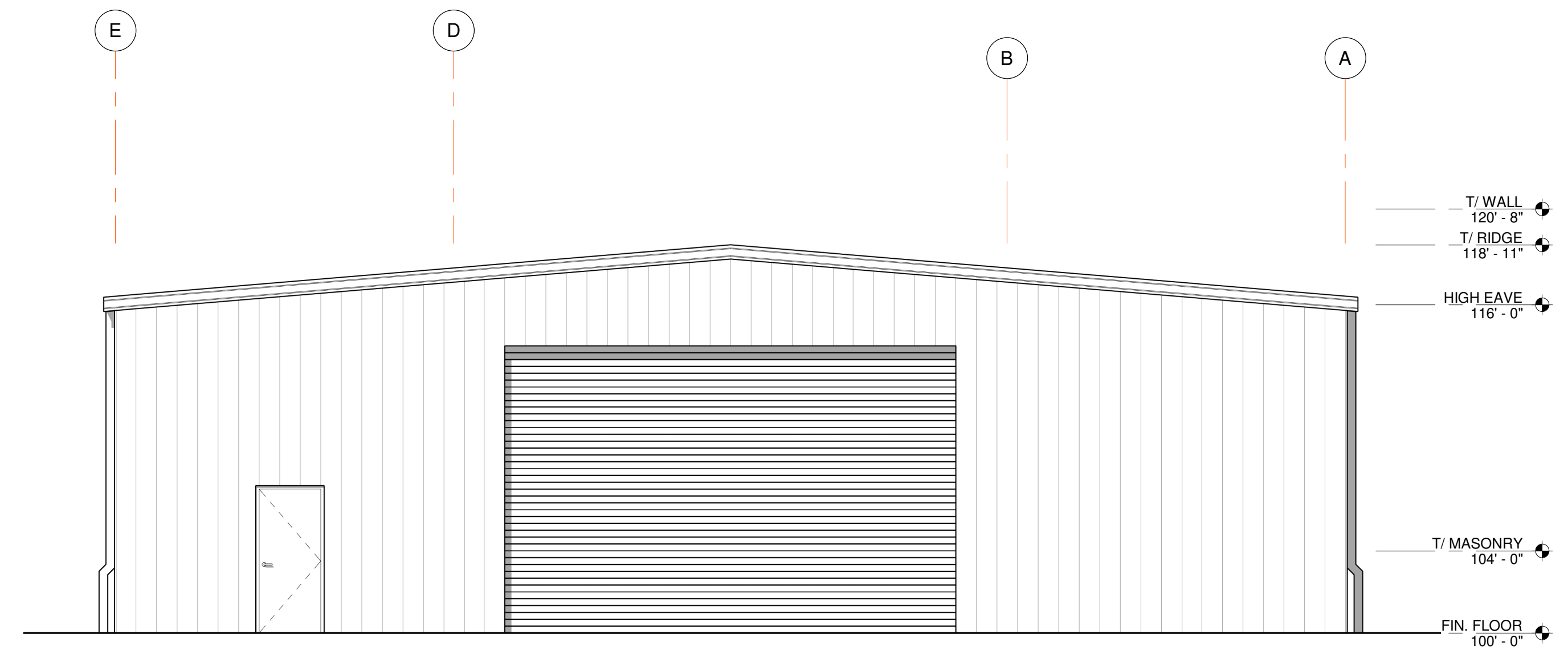
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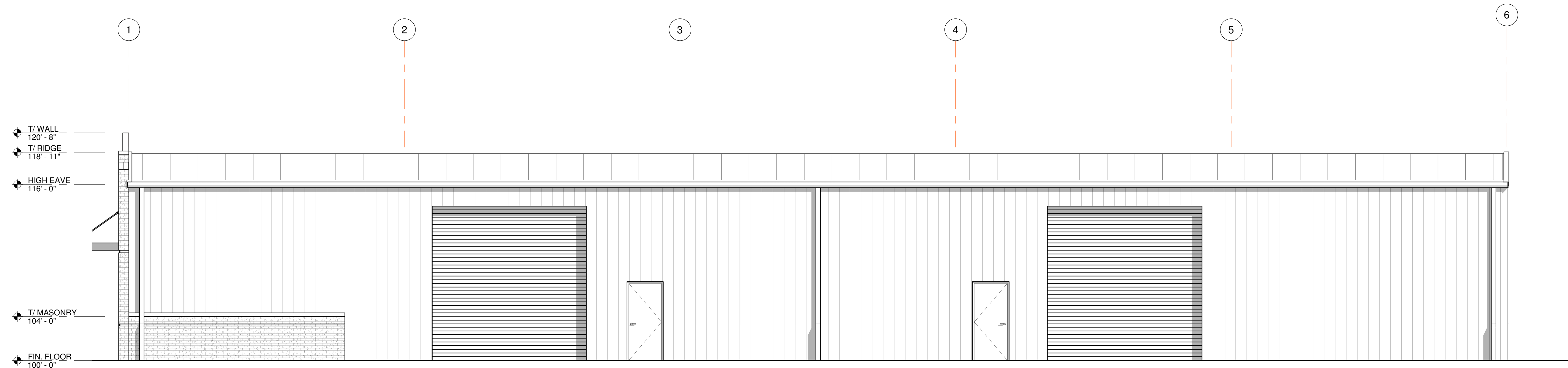
**4 WEST ELEVATION**  
3/16" = 1'-0"



**3 SOUTH ELEVATION**  
3/16" = 1'-0"



**2 NORTH ELEVATION**  
3/16" = 1'-0"



**1 EAST ELEVATION**  
3/16" = 1'-0"

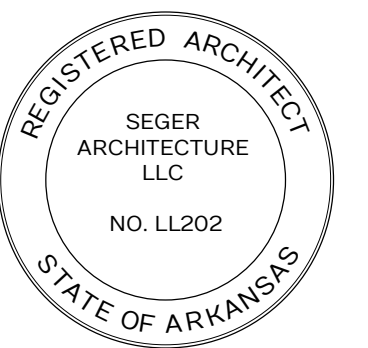
REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 18-223

DRAWN BY: \_\_\_\_\_

CHECKED BY: SS



EXTERIOR  
ELEVATIONS

DATE: 08.21.18

SHEET:

**PRELIMINARY - NOT FOR CONSTRUCTION**

**A201**





## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **August 28, 2018**  
Project: **South Pointe Phase 1**  
Planner: Courtney McNair

### AGENDA ITEM

## B

### FINAL SUBDIVISION PLAT APPROVAL REQUEST

1148 Bausinger Road  
Parcel #s: 830-37947-000

**SUMMARY:** South Pointe Subdivision Phase 1 is requesting Final Plat approval for 60 residential lots and one detention lot on 21 acres. This request will also need to include the lift station that is under construction to service this development.

**CURRENT ZONING:** **R-3** - Single-Family Residential - 9,600 square foot minimum lot size; provided density shall not exceed three units/net acres (i.e. after dedications are made).

**CITY WARD:** 3- Don Doudna & Tommy Granata

**FLOODPLAIN:** No

**INFRASTRUCTURE SERVICE AREAS** (not a guarantee of service availability):

**Water:** Tontitown Water  
**Sewer:** Tontitown Sewer  
**Road Access:** Bausinger Road  
**Electric:** Ozarks Electric  
**Cable:** Cox Communications  
**Phone:** ATT  
**Natural Gas:** Black Hills Energy  
**School District:** Springdale

#### PROJECT SYNOPSIS:

South Pointe Subdivision Phase 1 is requesting Final Plat approval for 60 residential lots and one detention lot on 21 acres. This request will also need to include the lift station that is under construction to service this development.

Final Inspections have NOT been completed as this project is currently under construction.

This project is not ready for Final Plat, and Staff is recommending that it be Tabled to next month's meeting. Several items that are required for Final Plat are not complete:

#### § 152.067 CRITERIA FOR SUBSTANTIAL COMPLETION (NON-BONDABLE ITEMS).

The following items shall be completed prior to Planning Commission approval of the final plat.

(A) *Streets.*

- (1) All curb and gutter and street drainage slopes completed and backfilled. -**All curbs are not poured**
- (2) Final layer of asphalt in-place.-**There is no asphalt**
- (3) Street signs paid for.-**This is not complete**
- (4) Pedestrian accommodations constructed.
- (5) Road right-of-way restoration substantially complete.-**Not complete**

(B) *Sewer.* -**Planning Staff does not have information on whether the sewer lines have had a Final Inspection yet. The City has not been contacted for an overall Final Inspection.**

- (1) All sewer lines constructed to grade.



- (2) Mandrel and pressure tests complete.
- (3) All manholes complete to required elevations and vacuum tested.
- (4) Sewer services marked.
- (5) Lift station site functionally complete.-**The lift station is not functionally complete.**
- (6) Tracer wires installed on force mains and gravity sewer lines and tested.
- (7) Lift station alarm completed and monitorable.-**The lift station alarm is not complete or monitorable.**
- (8) Draft final record drawings.

(C) *Water.* -**Planning Staff does not have information on whether the water lines have had a Final Inspection yet. The City has not been contacted for an overall Final Inspection.**

- (1) All water lines in-place, pressure tested, and bacterially tested safe.
- (2) All hydrants and valves in-place, accessible, and operational (facing street).-**The Fire Marshal is requiring an additional hydrant be added.**

- (3) Meter tiles and setters in place.
- (4) Tracer wires installed and tested.
- (5) Draft of record drawings.
- (6) Passing test results for all backflow devices provided.
- (7) All backflow prevention devices installed properly and functional.

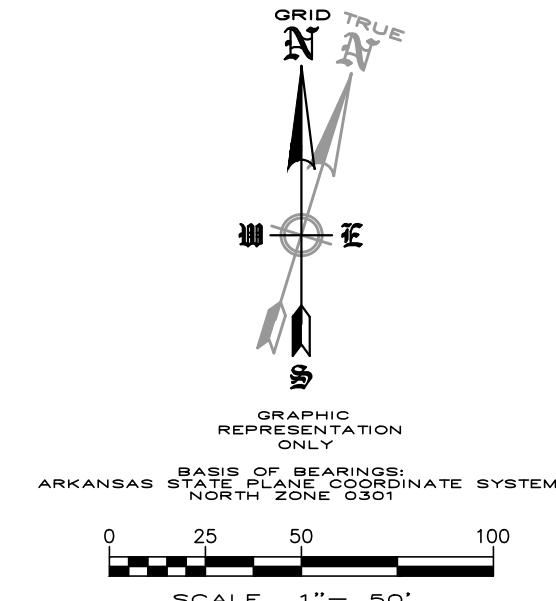
(D) *Drainage.*-**The detention is inadequate. The engineer for the project is requesting that the increase be resolved with Phase 2. There must be a solution (temporary may be ok) prior to Final Plat for Phase 1. No revised Drainage Report has been received yet.**

**There are known flooding problems downstream of this project, and the City cannot risk this problem being increased.**

- (1) Drainage swales in place, sodded or concrete-lined, properly dedicated with erosion control measures in place.
  - (2) Detention/retention facilities to grade and draining properly.
  - (3) Outlet structures, pilot channels, headwalls, flumes, and other appurtenances in place and constructed to approved plans and specifications.-**all stormwater structures are not constructed.**
  - (4) Any needed off-site improvements or easements in place.
  - (5) Sodding of detention/retention ponds completed and established.
  - (6) Fencing of detention/retention ponds in place.
  - (7) Aeration facilities for retention ponds in place.
  - (8) All drainage inlets, outlets, and conduits in proper location and constructed to approved plans and specifications.
  - (9) Final layer of drainage paving in-place as required by approved plan, including parking lots.
- (Ord. 2013-04-417, passed 4-2-13; Am. Ord. 2013-09-440, § 152.500.08, passed 9-3-13; Am. Ord. 2014-12-488, passed 12-2-14)

**STAFF RECOMMENDATION:** Staff recommends to TABLE the Final Plat of South Pointe Subdivision Phase 1 as there are many outstanding items not complete, and concerns with the drainage system.





Curve Table				
Curve #	Length	Radius	Chord Length	Chord Bearing
C1	31.42'	20.00'	28.28'	N42°13'50"W
C2	16.71'	19.00'	16.17'	S67°34'44"W
C3	33.57'	50.00'	32.94'	S61°37'23"W
C4	72.11'	50.00'	66.47'	N57°29'00"W
C5	60.99'	50.00'	56.62'	N18°39'46"E
C6	16.71'	19.00'	16.17'	N27°57'38"E
C7	31.42'	20.00'	28.28'	N42°13'50"W
C8	31.41'	20.00'	28.28'	N47°45'19"E
C9	16.71'	19.00'	16.17'	S22°25'16"E
C10	63.24'	50.00'	73.95'	S00°04'44"W
C11	83.76'	50.00'	74.30'	N84°14'28"W
C12	16.91'	19.00'	16.36'	N61°45'19"W
C13	31.41'	20.00'	28.28'	S45°45'19"W
C14	19.62'	195.00'	19.61'	S05°39'07"E
C15	31.43'	20.00'	28.29'	S42°14'41"E
C16	31.42'	20.00'	28.28'	S47°46'10"W
C17	69.12'	44.00'	62.23'	S42°13'50"E
C18	69.09'	44.00'	62.21'	S47°45'19"W
C19	19.69'	135.00'	19.67'	N06°56'50"E
C20	51.02'	38.00'	47.28'	N35°41'51"W

LEGEND		
	PROPERTY LINE	<b>P.O.B.</b> POINT OF BEGINNING
	40 ACRE LINE	● IPF - IRON PIN FOUND (AS NOTED)
	EASEMENT (AS NOTED)	○ IPS - IRON PIN SET w/ CAP "PLS 1156"
	SETBACK	○ FOUND COTTON PICKER SPINDLE
	CENTERLINE OF ROAD	⊕ COMPUTED POINT
	CURB & GUTTER	⊕ TBM - BENCHMARK
	WATER LINE	⊗ MANHOLE (TYPE AS NOTED)
	SANITARY SEWER LINE	⚙ LIGHT POLE
	STORM PIPE (SIZE AS NOTED)	

REVISION	DATE	DESCRIPTION

<b>FINAL PLAT</b>		
SOUTH POINTE SUBDIVISION PHASE I		
MOUNTAINVIEW, WASHINGTON COUNTY, ARKANSAS		
DATE: 1"=50'	DATE: August 24, 2018	DRAWN BY: RKW
ENGINEERING SERVICES, INCORPORATED		
SPRINGDALE, ARKANSAS		
W.O.# 17956		SHEET 1

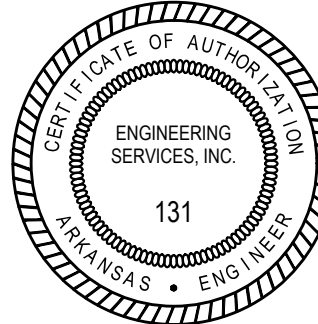
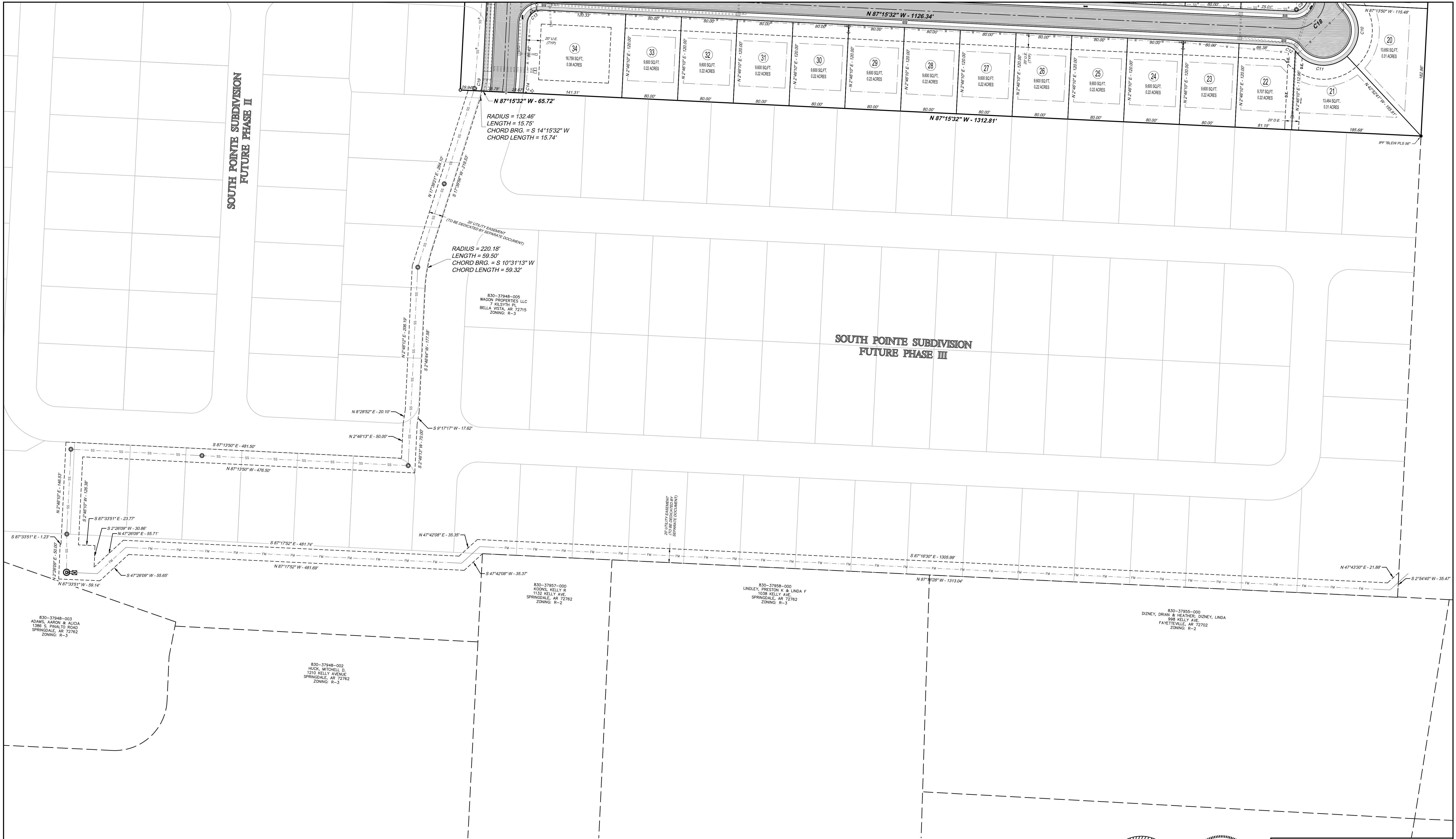
**SURVEY DESCRIPTION:**

START OF THE NORTH HALF OF THE SOUTHWEST QUARTER, SECTION 11, TOWNSHIP 17 NORTH, RANGE 31 WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF TONTOWAIN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 11; THENCE ALONG THE NORTH LINE OF SAID NE 1/4 OF THE SW 1/4, S87°13'50"E A DISTANCE OF 1,312.60 FEET TO THE NORTHEAST CORNER OF SAID NE 1/4 OF THE SW 1/4; SAID POINT IS A FOUND IRON PIN WITH CAP "BLEW PL'S 56"; THENCE ALONG THE EAST LINE OF SAID NE 1/4 OF THE SW 1/4, S20°50'07"W A DISTANCE OF 662.28 FEET TO A FOUND IRON PIN WITH CAP "BLEW PL'S 55"; THENCE LEAVING SAID EAST LINE, N87°13'54"E A DISTANCE OF 111.81 FEET TO A POINT ON THE WEST LINE OF SAID NE 1/4 OF THE SW 1/4; THENCE CONTINUING N87°15'32"W A DISTANCE OF 68.72 FEET TO A SET IRON PIN WITH CAP "PL'S 1156"; THENCE POINT N20°55'S E A DISTANCE OF 629.24 FEET TO THE NORTH LINE OF THE NW 1/4 OF THE SW 1/4 OF SAID SECTION 11, SAID POINT BEING A FOUND COTTON PICKER SPINDLE; THENCE ALONG SAID NORTH LINE, S87°13'50"E A DISTANCE OF 65.78 FEET TO THE POINT OF BEGINNING. CONTAINING 20.97 ACRES - 913.360 SQ. FT., MORE OR LESS.







REVISION	DATE	DESCRIPTION

**FINAL PLAT**  
**SOUTH POINTE SUBDIVISION PHASE I**  
**TONTITOWN, WASHINGTON COUNTY, ARKANSAS**  
SCALE: 1"=60' DATE: August 24, 2018 DRAWN BY: RKW  
**ENGINEERING SERVICES, INCORPORATED**  
**SPRINGDALE, ARKANSAS**  
© COPYRIGHT 2018, ENGINEERING SERVICES, INC. 8/24/2018 3:04 PM W.O.# 17956 SHEET 2







## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **August 28, 2018**  
Project: **WM Hauling Company**  
Planner: Courtney McNair

### AGENDA ITEM

## C

### REZONING REQUEST

1041 Arbor Acres Road

**Parcel #s:** a portion of 830-38365-000

**SUMMARY:** Request to rezone a portion of their property (8.6 acres) from RMH (Residential-Mobile Home Park) to C2 (General Commercial)

**CURRENT ZONING:** **R-MH** - Residential Mobile Home Park

**PROPOSED ZONING:** **C2** – General Commercial

**CITY WARD:** 3- Don Doudna & Tommy Granata

**INFRASTRUCTURE SERVICE AREAS** (not a guarantee of service availability):

**Water:** Washington Water Authority, existing 4-inch

**Electric:** Ozarks Electric

**Sewer/Septic:** Tontitown Sewer

**Phone:** AT&T

**Natural Gas:** Black Hills Energy

### PROJECT SYNOPSIS:

This property is owned by Eco Vista, and located within the City Limits of Tontitown. It takes access from Arbor Acres Road. There is one (1) existing commercial building and several accessory uses on site.

The applicant cannot expand a non-conforming use, so must ask to rezone in order to add the proposed Compressed Natural Gas (CNG) facility. City Staff felt that C2 was the most appropriate zone for the proposed use.

The requested rezoning only involves the portion of the parcel that is used for Hauling Company operations. None of the Landfill portion is part of this request. At this time, the CNG facility will only be for Waste Management trucks, and not sold to the general public. This could change in the future. Any additions would need to have additional review and approval.



**APPROVAL CRITERIA:**

*Not all of the criteria must be given equal consideration by the Planning Commission or City Council in reaching a decision. The criteria to be considered shall include but not be limited to the following:*

**(1) Consistency of the proposal with the comprehensive plan.**

*STAFF ANALYSIS:* The current Future Land Use Plan shows this area as Low Density Residential. The City is in the process of updating the Future Land Use map and one of the issues that will be addressed is the appropriateness of the category for the existing land fill area. The draft Future Land Use map does show this area to be Landfill.

**(2) Consistency of the proposal with the purpose of these regulations.**

“The regulations are intended to provide for orderly growth and development; for protection of the character and stability of residential, commercial, industrial, recreational, and environmentally sensitive areas of the city; for protection of property from blight and undue depreciation; for efficiency and economy in the process of development for the appropriate and best use of land; for the use and occupancy of buildings; for healthful and convenient distribution of population; for good civic design and arrangement; and for adequate public utilities and facilities.”

*STAFF ANALYSIS:* Allowing a use related to the existing business that will not expand the boundary, or cause any additional traffic impact will not impact the orderly growth and development of the surrounding area.

**(3) Compatibility of the proposal with the zoning, uses and character of the surrounding area.**

*STAFF ANALYSIS:* The requested use is a residential use; all surrounding properties are also zoned for residential.

North-zoned R2

East-zoned R-MH

South-zoned R-MH

West-zoned R-MH

All areas surrounding that are zoned R-MH are existing landfill uses. The use is grandfathered. The property zoned R2 will not be impacted more than they currently are impacted by the existing use on this site. They may even see a slight reduction in impact as CNG trucks can be less intrusive than traditional diesel trucks.



**(4) Suitability of the subject property for the uses to which it has been restricted without the proposed zoning map amendment.**

*STAFF ANALYSIS:* The likelihood that the current grandfathered use discontinues is fairly minimal. This is a well-established use. The site cannot actually be used for the current zoning as no housing is allowed on closed (or open) landfill sites.

**(5) Extent to which approval of the proposed rezoning will detrimentally affect nearby property including, but not limited to, any impact on property value, traffic, drainage, visual impairment, odor, noise, light, vibration, hours of use/operation, and any restriction to the normal and customary use of the affected property.**

*STAFF ANALYSIS:* This proposed rezoning should not detrimentally affect nearby property. The use is existing, and the addition of the CNG facility will not change the nature of the existing use.

**(6) Length of time the subject property has remained vacant as zoned, as well as its zoning at the time of purchase by the applicant; and**

*STAFF ANALYSIS:* This property has operated as a Landfill use and Hauling company for many years. It has never been used as R-MH.

**(7) Impact of the proposed development on community facilities and services, including those related to utilities, streets drainage, parks, open space, fire, police, and emergency medical services.**

*STAFF ANALYSIS:* This impact will be the same as the current use of the property. There is no expected increase on services related to utilities, streets, drainage, fire or police protection.

**TECHNICAL INFORMATION:**

**Utilities:**

**Water:** Washington Water Authority, existing 4" line-This line cannot serve as a fire protection line. The applicant is proposing to install a tank and dry hydrant to meet fire fighting capacity.

**Electric:** Ozarks Electric-submitted general comments. Any relocation, extension, or easements needed will be the owner's expense. Utility Easements must be dedicated for existing lines.

**Sewer/Septic:** Sewer-there is an existing Private Force Main that pumps to the lift station across from S. Pianalto Road. This is shown to be under the proposed CNG pumps. The applicant is aware of the location. As it is a private line, the Public Works Director has no comments.



**Phone:** AT&T-No concerns were submitted for the requested rezoning.

**Natural Gas:** Black Hills Energy-No concerns were submitted for the requested rezoning.

**Streets:**

This property access Arbor Acres Road at the existing entrance. No additional entrances are proposed.

**Fire:**

An additional hydrant is required. The applicant is providing a water tank and dry hydrant to meet this requirement. A knox box will be required for locking gates and the existing building.

The Fire Marshal also requested an emergency shut off be located at the existing building. This has been added.

**Police:**

No concerns were submitted for the requested rezoning.

**NEIGHBOR COMMENTS:** All neighboring properties within 200 feet of the property boundary were notified by certified mail of this project. Staff has received no written comments. Several calls inquiring about the Public Hearing sign that was placed were received. Once the project was explained, there were no remaining concerns.

**STAFF RECOMMENDATION:**

Staff recommends approval of the Waste Management Hauling Company Rezoning Request to change the zoning of a portion of 830-38365-000 from R-MH zoning to C2 zoning.

**CONDITIONS RECOMMENDED FOR APPROVAL:**

1. This rezoning request must be ratified by the City Council.
2. The Large-Scale Development request must be approved. All technical plan and engineering comments must be addressed with the Large-Scale Development plan.





August 7, 2018

Ms. Courtney McNair  
Planning Official  
City of Tontitown  
201 East Henri De Tonti  
Tontitown, Arkansas 72770

**Subject: Submittal of Rezoning Application  
Waste Management Hauling Company**

Dear Ms. McNair,

Waste Management of Arkansas, Inc. (WM) is pleased to submit the Rezoning Application for the compressed natural gas (CNG) fueling facility for the hauling company in Tontitown, Arkansas. The Waste Management Hauling Company (WMHC) is seeking to rezone 8.6-acres from Residential-Mobile Home to General Commercial (C-2), in order to construct a Compressed Natural Gas (CNG) Fueling Facility to support the hauling company operations.

In accordance with Title XV of the City of Tontitown Code of Ordinances, Chapter 153.283, this submittal letter addresses the City of Tontitown's criteria for approval.

***Consistency of the proposal with the comprehensive plan.***

The 8.6-acre area to be rezoned is currently zoned Residential-Mobile Home and is located within the landfill property boundary, which has operated as a landfill since approximately 1979. WMHC is requesting to construct a CNG fueling facility, as such, the City of Tontitown asked that the property be rezoned to General Commercial.

***Consistency of the proposal with the purpose of the regulations.***

The 8.6-acre area to be rezoned is currently zoned Residential-Mobile Home. This area is located within the landfill property boundary, which has operated as a landfill since approximately 1979.

***Compatibility of the proposal with the zoning, uses and character of the surrounding area.***

Properties to the west, south and east of the subject area are zoned Residential-Mobile Home and contain the Eco-Vista Landfill, which has operated since approximately 1979. Property to the north, across Arbor Acres Avenue, is zoned Residential (R-2) and the adjacent lot is currently vacant or used for agricultural uses.



***Suitability of the subject property for the uses to which it has been restricted without the proposed zoning map amendment.***

The Eco-Vista Landfill has operated at this location since approximately 1979. WMHC is requesting to construct a CNG fueling facility, as such, the City of Tontitown asked that the property be rezoned to General Commercial.

***Extent to which approval of the proposed rezoning will detrimentally affect nearby property including, but not limited to, any impact on property value, traffic, drainage, visual impairment, odor, noise, light, vibration, hours of use/operation, and any restriction to the normal and customary use of the affected property.***

WMHC is requesting to construct a CNG fueling facility. The CNG will phase out the diesel fuel currently used by the hauling company trucks. CNG is a cleaner burning fuel than diesel fuel, produces the fewest emissions of other fuels and contains less pollutants. CNG storage is in sealed containers, which eliminates any evaporative sources, and reduces the odors associated with diesel fuel. Once the diesel fuel is phased out, the facility will no longer receive fuel deliveries, reducing the large tanker trucks on the roads in the vicinity of the hauling company. Additionally, trucks fueled by CNG are quieter, which will reduce the noise from the hauling company and throughout the City of Tontitown from waste collection vehicles.

The CNG fueling facility will be constructed for the existing hauling company on the property. There is no anticipated impact on property value. There are no traffic pattern changes proposed. General traffic access to the hauling company will continue to be restricted from Highway 412, to South Klenc Road, to Kelly Road, to Dowell Road and to Arbor Acres Road. There are no proposed changes in traffic volumes, other than those arising out of business fluctuations. There are no changes proposed to the hours of use or operation of the hauling company. There are no planned changes to signage at the property. No new signs will be placed/built/constructed without approvals from the City. Technical information will be addressed in the Large Scale Development application.

WM has always focused on its road frontage appearance. The facility maintains (and will continue to maintain) a white farm-style PVC fence along its northern boundary (outside the right-of-way). Between the Arbor Acres paved road and the fence, a mowed grass area will be maintained. The fence and grass area will be in all areas except those with steep terrain. The facility has maintained and will continue to maintain visual screening along Arbor Acres with trees and shrubbery. A landscape plan will be included in the Large Scale Development application for the project.

***Length of time the subject property has remained vacant as zoned, as well as its zoning at the time of purchase by the applicant; and***

The Eco-Vista Landfill has operated at this location since approximately 1979. The property has always been zoned Residential-Mobile Home since it was annexed by the City.



***Impact of the proposed development on community facilities and services, including those related to utilities, streets drainage, parks, open space, fire, police, and emergency medical services.***

Water and sewer is available and both are connected to the existing property. The existing waterline serving the property is a 2" waterline, off of a 4" watermain along Arbor Acres Road (Washington Water Authority).

The existing sewer line serving the property is a 12" PVC gravity sewer line leading to the South Pianalto Road sewer pump station. The CNG pipeline serving the property is located along Arbor Acres Avenue. The project will have minimal impact on community facilities.

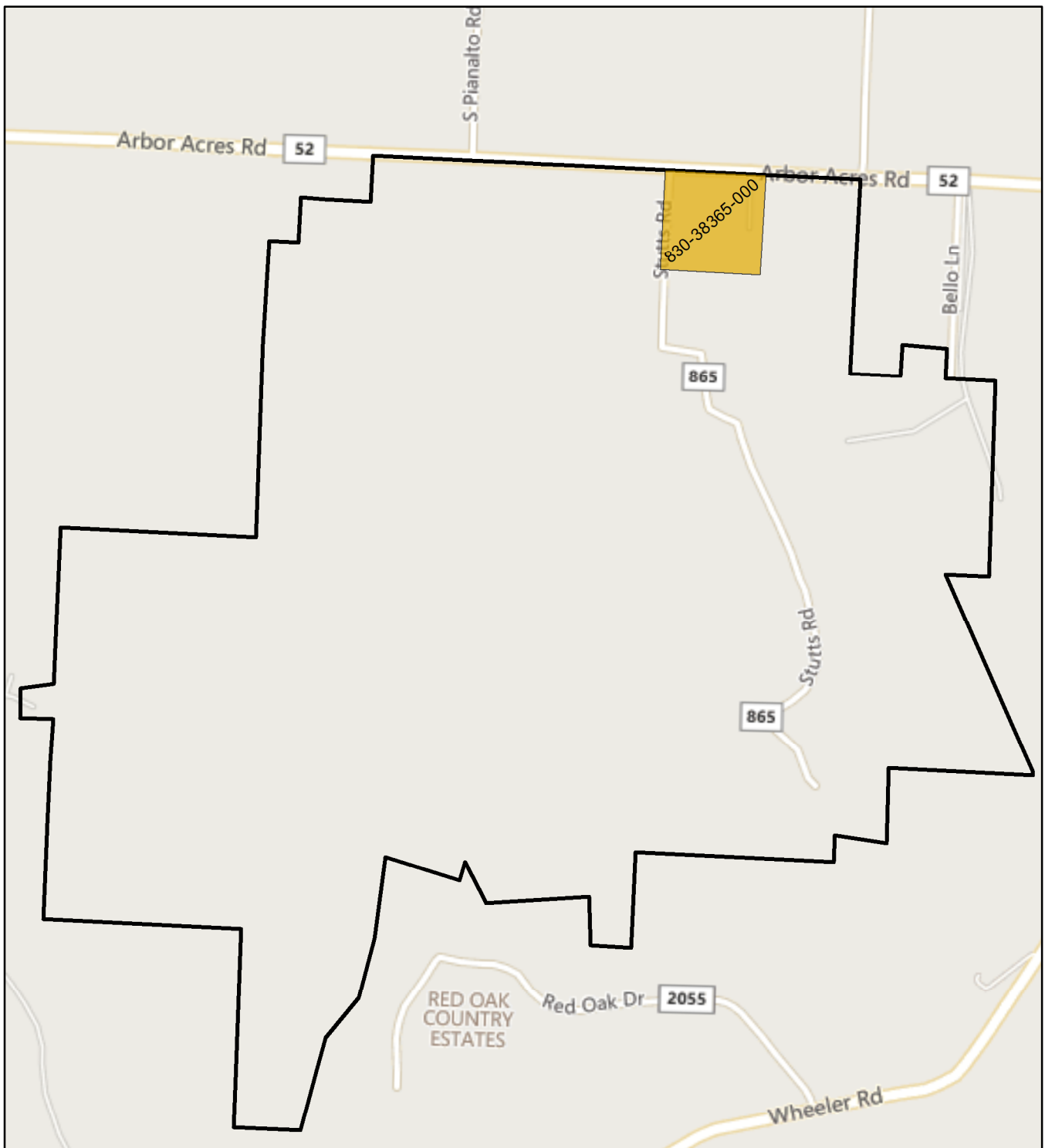
Should you have any questions, please call or email me at 501-487-6158 or via email at dconrad@wm.com.

Sincerely,  
**Waste Management of Arkansas, Inc.**

A handwritten signature in black ink that reads "David K. Conrad". The signature is written in a cursive style with a large, stylized 'D'.

David K. Conrad  
**Engineering Manager**





## Current Zoning Map Waste Management Hauling Company

0 500 1,000  
Feet  
Scale: 1" = 1,000'


By: NVS

Date: July 2018

Project No. 06820-1899-001

S:\projects\06820-1899-001\gis\doc\map\Current parcel zoning map.mxd

### Legend

 Waste Management Property Boundary

Current Zoning

 Mobile Home









**Rezoning Application – Narrative  
Waste Management Hauling Company**

Per the Tontitown Rezoning Application & Checklist the following narrative is being submitted for review.

***A. State the current zoning designation and proposed zoning designation. An explanation of the proposed zoning change including current owner information and any proposed sales.***

- Current Zoning = Residential-Mobile Home (R-MH)
- Proposed Zoning = General Commercial (C-2)
- Current Owner = Waste Management of Arkansas, Inc.
- The Waste Management Hauling Company (WMHC) property is currently zoned Residential-Mobile Home. WMHC is requesting to construct a compressed natural gas (CNG) fueling facility, as such, the City asked that the property to be rezoned to General Commercial.

***B. Reason (need) for requesting the zoning change.***

- WMHC property is currently zoned Residential-Mobile Home. WMHC is requesting to construct a CNG fueling facility, as such, the City asked that the property to be rezoned to General Commercial.

***C. Statement of how the property will relate to surrounding properties:***

***1. Use.***

- The property will be used as a CNG fueling facility for the hauling company.

***2. Traffic.***

- There are no traffic pattern changes proposed. There are no proposed changes in traffic volumes, other than those arising out of business fluctuations.
- Prior to February 5, 2014 the Arbor Acres Road Right-of-Way (R/W) adjoining WM property was a total of 60-feet (30-feet on each side of the centerline). On February 5, 2014, WM granted an additional 6-feet of R/W on the southside of Arbor Acres Road to facilitate the City's plans for a 72-foot Arbor Acres R/W.
- General traffic access to the hauling company will continue to be restricted from Highway 412, to South Klenc Road, to Kelly Road, to Dowell Road and to Arbor Acres Road.

***3. Signage.***

- There are no planned changes to signage at the hauling company. No new signs will be placed/built/constructed without approvals from the City.

***4. Appearance.***

- WM has always focused on its road frontage appearance. The facility maintains (and will continue to maintain) a white farm-style PVC fence along its northern boundary (outside the right-of-way). Between the Arbor Acres paved road and



the fence, a mowed grass area will be maintained. The fence and grass area will be in all areas except those with steep terrain. The facility has maintained and will continue to maintain visual screening along Arbor Acres with trees and shrubbery.

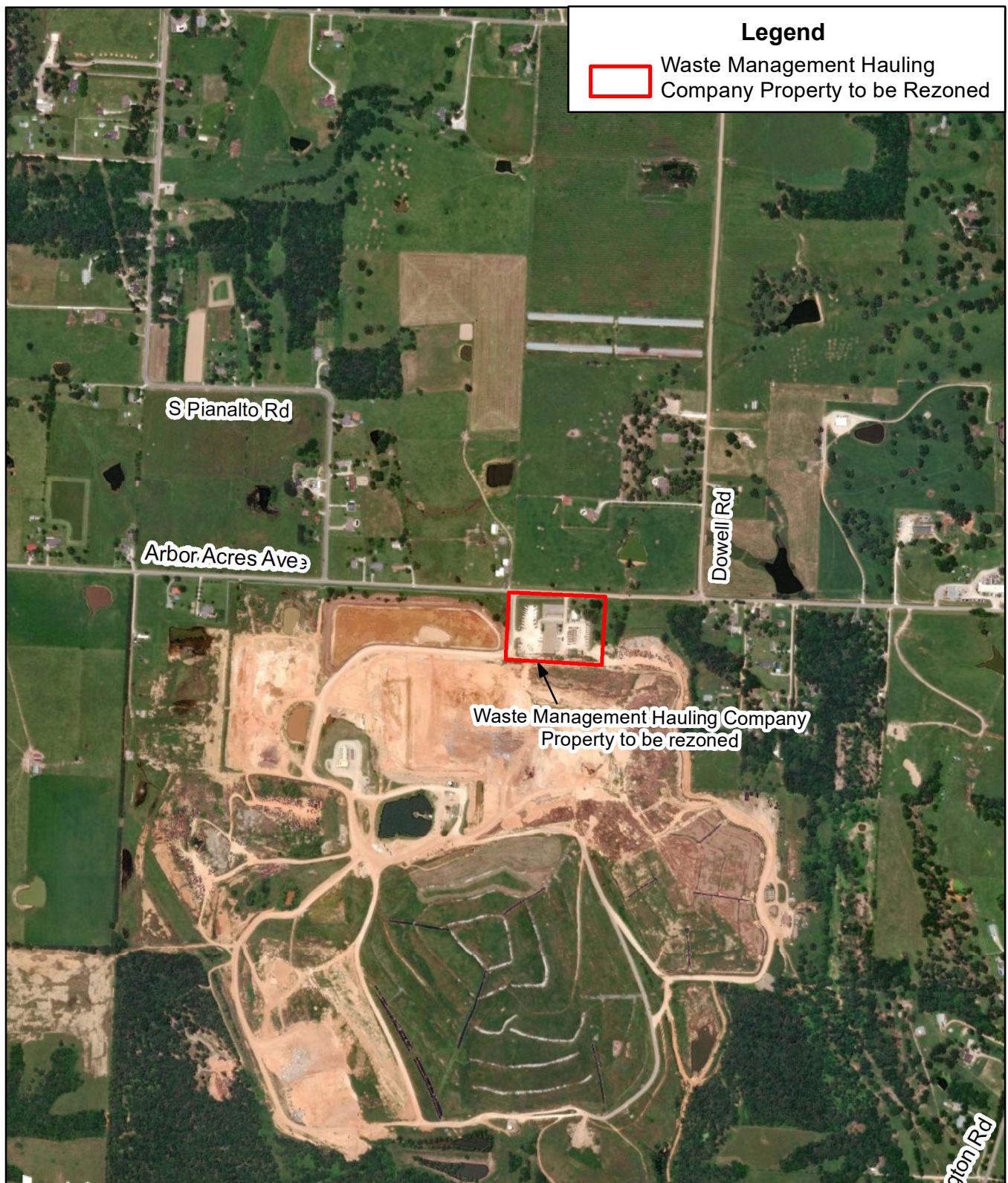
***D. Availability of water and sewer (state size of lines). If direct water and/or sewer is not available, state how lines will be accessed and connected. This information is available from the Water Department at (479) 361-2996 or download from the City of Tontitown's G.I.S. site.***

- Water and sewer is available and both are connected to the existing property.
- The waterline serving the property is a 2" waterline, off of a 4" watermain along Arbor Acres Road (Washington Water Authority).
- The sewer line serving the property is a 12" PVC gravity sewer line leading to the South Pianalto Road sewer pump station.
- The CNG pipeline serving the property is located along Arbor Acres Avenue.

***E. Waiver of Rights and Remedies, also known as the Private Property Protection Act MUST be completed with legal description and signed by the property owner.***

- See Attached – Waiver of Rights and Remedies.





**Waste Management Hauling Company Rezoning Vicinity Map - 2018**



0 500 1,000  
Feet





10/18/2023 G-200 10/18/2023	DRAWN: [blank] CHECKED: [blank] DATE: 6/14/18 SCALE: AS SHOWN JOB NO. 1801	<b>GENERAL – SITE PLAN</b>	REVISIONS NO. DATE BY REMARK [blank table with 4 columns]	3553 CAMINO MIRRA CORTA, SUITE E SAN JOSE, CA 95135 AN RE LICENSE # 12889 		<b>WASTE MANAGEMENT</b> 1041 ARBOR ACRES AVE. SPRINGDALE, AR 72762 CNG FUELING FACILITY	TruStar Energy  TRUSTAR ENERGY GENERAL CONTRACTORS (479) 361-4219 SPRINGDALE, AR 72762 1041 ARBOR ACRES AVE. ANTHONY SCUDLOS WASTE MANAGEMENT OWNER	(909) 793-3700 RANCHO CUCAMONCA, CA 91730 10225 PHILADELPHIA CT. JEFF LUCERO (PA Lic # 57557)
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## CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.  
479-361-2700  
planning@tontitownar.gov

Meeting: **August 28, 2018**  
Project: **WM CNG Facility LSD**  
Planner: Courtney McNair

### AGENDA ITEM

## D

### PRELIMINARY LARGE SCALE DEVELOPMENT PLAN APPROVAL REQUEST

1041 Arbor Acres Road

**Parcel #s:** a portion of 830-38365-000

**SUMMARY:** Waste Management Compressed Natural Gas (CNG) Fueling Facility is requesting to add a CNG facility at the existing Hauling Company property.

**CURRENT ZONING:** Requested C2-must be approved before LSD can be heard.

**CITY WARD:** 3- Don Doudna & Tommy Granata

**FLOODPLAIN:** No

**INFRASTRUCTURE SERVICE AREAS** (not a guarantee of service availability):

**Water:** Washington Water Authority, existing 4-inch

**Electric:** Ozarks Electric

**Sewer/Septic:** Tontitown Sewer

**Phone:** AT&T

**Natural Gas:** Black Hills Energy

**Cable:** Cox Communications

**School District:** Springdale

#### PROJECT SYNOPSIS:

Waste Management Compressed Natural Gas (CNG) Fueling Facility is requesting to add a CNG facility at the existing Hauling Company property.

They are requesting 43 Time Fill pumps. Time Fill pumps take several hours to slowly fill the truck's tank. They trucks would be parked overnight at the Time Fill pumps.

There is also a Fast Fill pump on the Equipment Compound that takes approximately 30 minutes to fuel a truck. It is staff's understanding that this will not be used frequently.

#### TECHNICAL INFORMATION:

##### Utilities:

**Water:** Washington Water Authority, existing 4" line-This line cannot serve as a fire protection line. The applicant is proposing to install a tank and dry hydrant to meet firefighting capacity.

**Electric:** Ozarks Electric-submitted general comments. Any relocation, extension, or easements needed will be the owner's expense. Utility Easements must be dedicated for existing lines.



**Sewer/Septic:** Sewer-there is an existing Private Force Main that pumps to the lift station across from S. Pianalto Road. This is shown to be under the proposed CNG pumps. The applicant is aware of the location. As it is a private line, the Public Works Director has no comments.

**Phone:** AT&T-No concerns were submitted for the requested facility.

**Natural Gas:** Black Hills Energy-No concerns were submitted for the requested facility.

**Cable:** Cox Communications -No concerns were submitted for the requested facility.

It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.

**Streets:**

This property access Arbor Acres Road at the existing entrance. No additional entrances are proposed. Staff will need confirmation that the proposed meets all required setbacks. The road ROW and easement are not dimensioned and the scale is slightly off.

**Fire:**

An additional hydrant is required. The applicant is providing a water tank and dry hydrant to meet this requirement. A knox box will be required for locking gates and the existing building.

The Fire Marshal also requested an emergency shut off be located at the existing building. This has been added.

All interior drives must meet the required compaction rating to support emergency vehicles.

**Police:**

No concerns were submitted for the proposed CNG Facility.

**Stormwater Drainage, Detention, and Pollution Prevention Plan (SWPPP):**

The applicant has not provided a grading plan. A SWPPP must be completed and posted on site prior to construction.

The applicant has requested to submit a full drainage study at the time the expansion of the actual landfill portion of this property is reviewed. This has been discussed with the City Engineer, and he agrees that this is fine to allow for this project based on information submitted by the applicant's engineer. The previous drainage report for the basin this will drain to was submitted, and this proposed will not add a significant amount of hard surface.

**Police:**

No concerns were found for the proposed facility.

**Roads:**

This project has access to Arbor Acres Road. No changes are proposed to the entrance. Site visibility appears to be adequate from the proposed entrance location.



Most of the surface is already paved or graveled.

As stated above, all interior drives must meet the required compaction rating to support emergency vehicles.

**Planning:**

There are several checklist items that will need to be corrected prior to Construction Plan submittal. All requirements must be met.

**STAFF RECOMMENDATION:** There are some plan corrections that must be addressed, and some minor details that remain to be addressed at the Construction Plan phase of plan review, but nothing that should significantly impact the overall design.

Therefore, staff recommends approval of the Waste Management Compressed Natural Gas (CNG) Fueling Facility Preliminary Large-Scale Development Request with conditions.

**CONDITIONS RECOMMENDED FOR APPROVAL:**

1. It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.
2. The SWPPP must be completed and posted on site prior to construction.
3. The gate shall have a Knox box system for emergency access.
4. Correct all remaining items on the "Plat Requirement Worksheet" prior to Construction Plan approval. Planning Staff will provide a copy of the remaining requirements to the engineer for the project.
5. Confirm that setbacks for the facility are correct.
6. "No Parking" signs may be required for fire lane access.
7. A full drainage study must be completed when the landfill expansion is presented.
8. All interior drives must meet the required compaction rating to support emergency vehicles.
9. The requested rezoning must be ratified by the City Council prior to the LSD project becoming valid.
10. The applicant shall apply for all required permits prior to construction.



1. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, OMISSIONS AND/OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF CONTRACT DOCUMENTS, AND ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE.
2. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL PERMITS REQUIRED FOR THIS PROJECT.
3. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE PROJECT DESIGN IS COMPLIANT WITH THE SCOPE OF WORK (THIS SHEET). ANY SPECIFIC EQUIPMENT SHOWN IN THESE DRAWINGS IS CONCEPTUAL ONLY UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY DISCREPANCY, INCONSISTENCY OR OMISSION BEFORE PROCEEDING WITH THE WORK.
5. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF ALL REGULATING AGENCIES HAVING JURISDICTION OVER ANY OR ALL PORTIONS OF THE WORK INCLUDING THE STATE AND OSHA.
6. ALL WORK TO CONFORM TO THE BEST PRACTICES PREVAILING IN THE VARIOUS TRADES AT THE TIME OF THE WORK.
7. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. DO NOT SCALE DIMENSIONS FROM DRAWINGS.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN ON THESE DRAWINGS OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL COSTS OF REPAIR OR REPLACEMENT DUE TO SUCH DAMAGE IN THE EXECUTION OF THIS WORK.
9. NO STRUCTURAL MEMBER IS TO BE CUT FOR PIPES, CONDUITS, ETC. UNLESS SHOWN ON THE STRUCTURAL DRAWINGS. ALL OTHER DRAWINGS AND SKETCHES BY OTHERS SHOWING SUCH MUST BE APPROVED A STRUCTURAL ENGINEER.
10. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND NOT LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT EXCEPTING FOR LIABILITY RISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
11. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO BRACING AND SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES AND PARTIAL STRUCTURES, AND PARTIALLY COMPLETED WORK, ETC.
12. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION.
13. CONTRACTOR'S SCOPE OF WORK INCLUDES COORDINATING THE WORK OF ALL SUBCONTRACTORS AND CONSULTANTS.
14. ANY DAMAGE TO THE EXISTING BUILDING AND ITS CONTENTS DURING THE EXECUTION OF THIS WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
15. CONTRACTOR SHALL MAINTAIN A SET OF AS-BUILT DRAWINGS AS WORK PROGRESSES ON THE JOB SITE.
16. CONTRACTOR SHALL PROVIDE THE OWNER COPIES OF INSTALLATION, MAINTENANCE, AND OPERATION MANUALS OF ALL EQUIPMENT INSTALLED.
17. ACCESS TO FIRE SAFETY EQUIPMENT MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
18. CONTRACTOR TO REMOVE ALL EXCAVATED MATERIAL AND DEBRIS.
19. NEW CONCRETE SHALL CONFORM TO IBC AND ACI CODE.
20. THE OWNER OF THE FACILITY SHALL INSURE THE SAFE OPERATION OF THE CNG FUELING EQUIPMENT AND TRAINING OF USERS.

1. SPECIAL INSPECTION IS REQUIRED FOR THE INSTALLATION OF ANCHOR BOLTS.
2. SPECIAL TESTING IS REQUIRED FOR HIGH PRESSURE GAS TESTING. SEE SHEET P-200 FOR PRESSURE TESTING PROCEDURES.

I, \_\_\_\_\_, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.

DATE OF EXECUTION: \_\_\_\_\_

CHAIRMAN, CITY OF TONTITOWN PLANNING COMMISSION

DOWELL RD.

PROJECT LOCATION

ARBOR ACRES AVE

WASTE MANAGEMENT DRIVE

US 84

ARBOR ACRES AVE

WASTE MANAGEMENT DRIVE

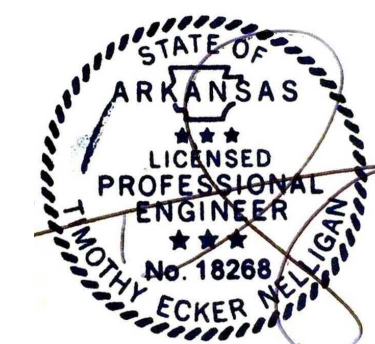
PROJECT LOCATION

DOWELL RD.

G-100	SITE - TITLE SHEET
G-200	SITE - SITE PLAN
G-201	SITE - EQUIPMENT COMPOUND
G-202	SITE - TIME FILL
G-203	SITE - LANDSCAPE PLAN
E-500	ELECTRICAL - PHOTOMETRICS LAYOUT

SIGNED: \_\_\_\_\_  
RECORDER/TREASURER, CITY OF TONTITOWN

1041 ARBOR ACRES AVE.  
SPRINGDALE, AR 72762  
CNG FUELING FACILITY

[illegible]

G-100

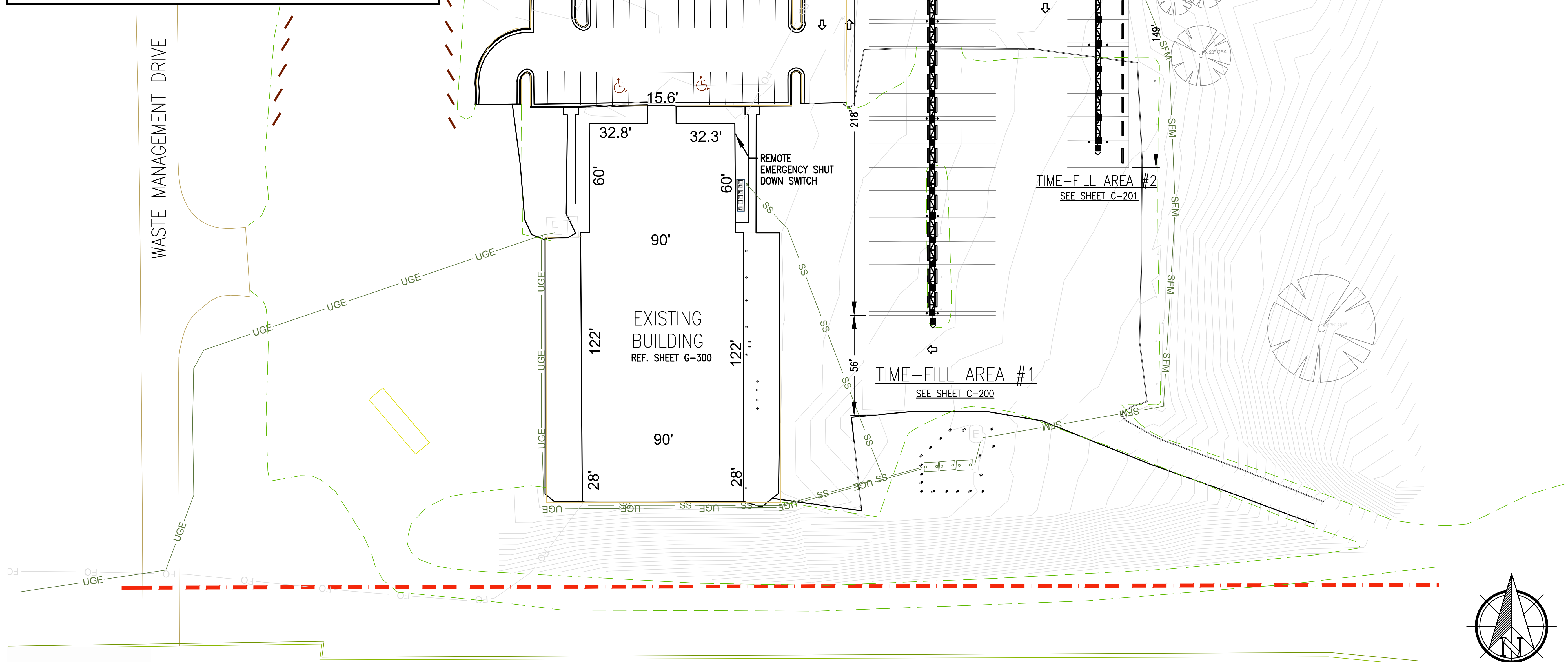






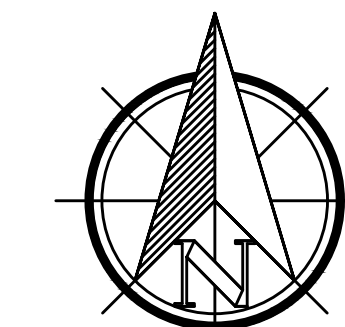
LEGEND:

- ASPHALT FOLIAGE  
CONCRETE EXISTING BUILDING
- IRON MONUMENT FOUND AS LABELED  
SANITARY SEWER MANHOLE  
HYDRANT  
LIGHT POLE  
SIGN
- PROPERTY LINE  
UNDERGROUND ELECTRIC LINE  
EXISTING SANITARY SEWER  
EXISTING SPOT ELEVATION  
EXISTING CONTOURS  
CHAIN LINK FENCE



PROPERTY LINE

S 87°18'43" E



0 15' 30' 60'  
SCALE: 1" = 30'

OWNER

WASTE MANAGEMENT  
ANTHONY SEDLOS  
1041 ARBOR ACRES AVE,  
SPRINGDALE, AR 72762  
(479) 361-4219

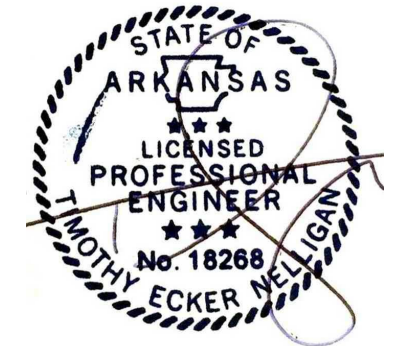
GENERAL CONTRACTOR:

TRUSTAR ENERGY  
JEFF LUCERO (AR LIC # 37357)  
10225 PHILADELPHIA CT, 91730  
RANCHO CUCAMONGA, CA. 91730  
(909) 793-3700



WASTE MANAGEMENT

1041 ARBOR ACRES AVE.  
SPRINGDALE, AR 72762  
CNG FUELING FACILITY



3553 CAMINO MIRA COSTA, SUITE E  
SAN CLEMENTE, CA 92672  
AR PE LICENSE # 12868

REVISIONS	BY		REMARK
	No.	DATE	

GENERAL - SITE PLAN

DRAWN: RG  
CHECKED: SRR  
DATE: 6/14/18  
SCALE: AS SHOWN  
JOB NO: 18023

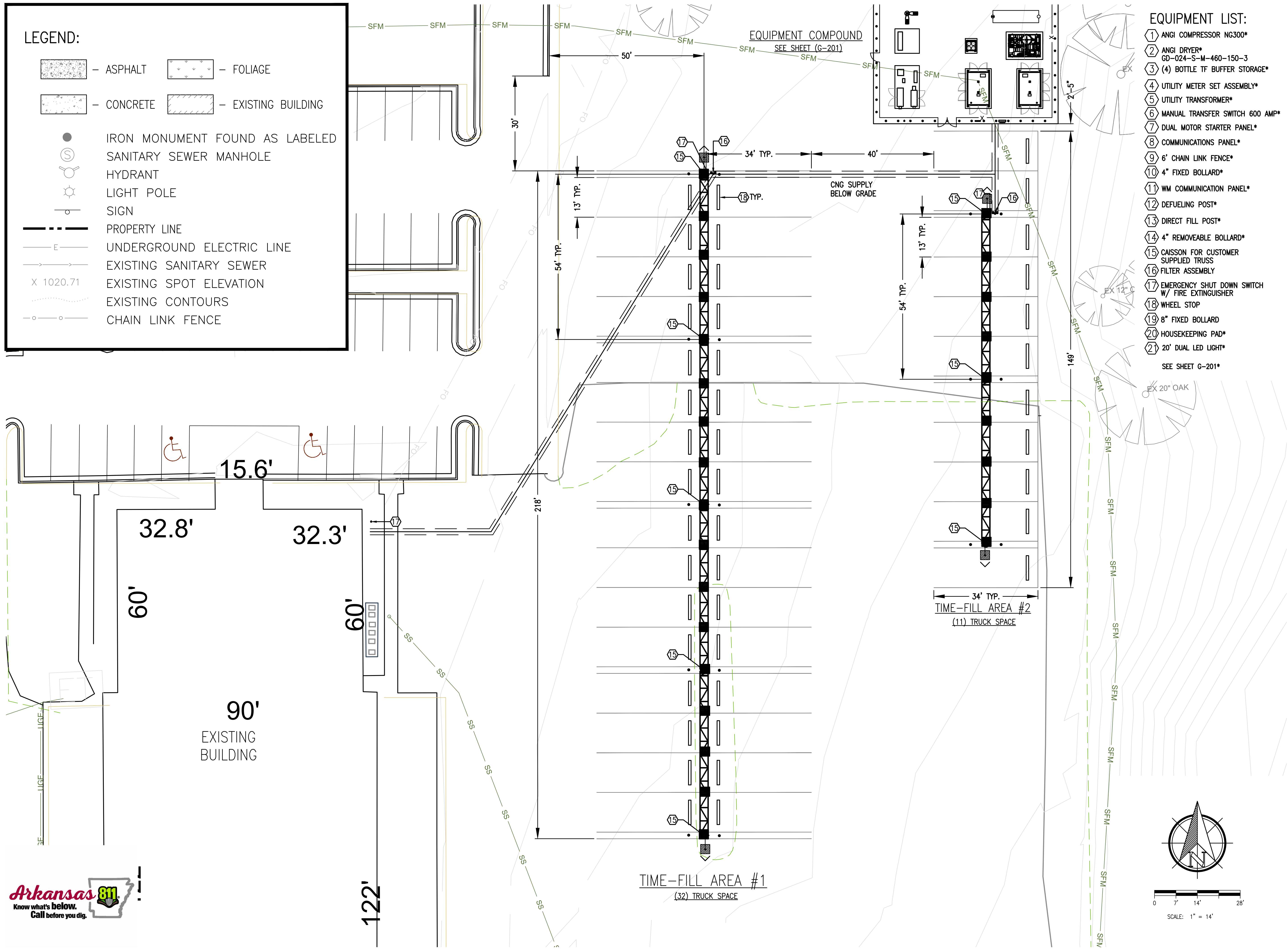
G-200





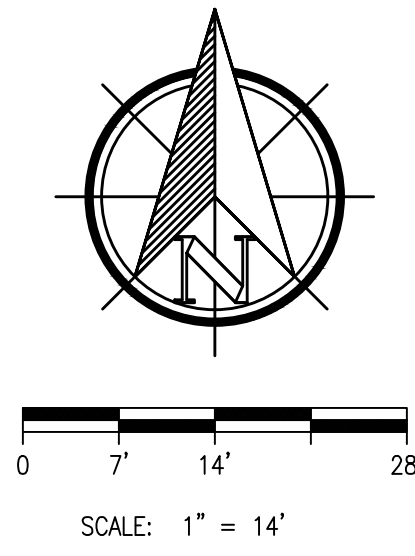
LEGEND:

- ASPHALT — FOLIAGE  
— CONCRETE — EXISTING BUILDING
- IRON MONUMENT FOUND AS LABELED  
○ SANITARY SEWER MANHOLE  
○ HYDRANT  
○ LIGHT POLE  
○ SIGN
- — — — — PROPERTY LINE  
— E — UNDERGROUND ELECTRIC LINE  
— — — — — EXISTING SANITARY SEWER  
X 1020.71 EXISTING SPOT ELEVATION  
— — — — — EXISTING CONTOURS  
— ○ — ○ — CHAIN LINK FENCE



EQUIPMENT LIST:

- 1 ANGI COMPRESSOR NG300\*
  - 2 ANGI DRYER\*  
GD-024-S-M-460-150-3
  - 3 (4) BOTTLE TF BUFFER STORAGE\*
  - 4 UTILITY METER SET ASSEMBLY\*
  - 5 UTILITY TRANSFORMER\*
  - 6 MANUAL TRANSFER SWITCH 600 AMP\*
  - 7 DUAL MOTOR STARTER PANEL\*
  - 8 COMMUNICATIONS PANEL\*
  - 9 6" CHAIN LINK FENCE\*
  - 10 4" FIXED BOLLARD\*
  - 11 WM COMMUNICATION PANEL\*
  - 12 DEFUELING POST\*
  - 13 DIRECT FILL POST\*
  - 14 4" REMOVEABLE BOLLARD\*
  - 15 CAISSON FOR CUSTOMER  
SUPPLIED TRUSS
  - 16 FILTER ASSEMBLY
  - 17 EMERGENCY SHUT DOWN SWITCH  
W/ FIRE EXTINGUISHER
  - 18 WHEEL STOP
  - 19 8" FIXED BOLLARD
  - 20 HOUSEKEEPING PAD\*
  - 21 20" DUAL LED LIGHT\*
- SEE SHEET G-201\*



OWNER:

WASTE MANAGEMENT  
ANTHONY SEDLOS  
1041 ARBOR ACRES AVE.  
SPRINGDALE, AR 72762  
(479) 361-4219

GENERAL CONTRACTOR:

TRUSTAR ENERGY  
JEFF LUCERO (AR LIC # 37357)  
10225 PHILADELPHIA CT.  
RANCHO CUCAMONGA, CA. 91730  
(909) 793-3700



WASTE MANAGEMENT

1041 ARBOR ACRES AVE.  
SPRINGDALE, AR 72762  
CNG FUELING FACILITY



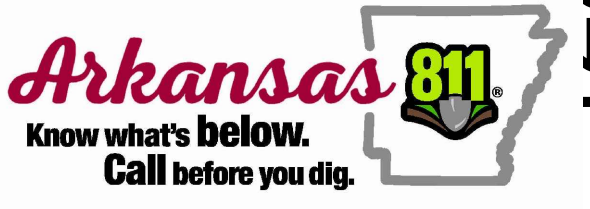
3553 CAMINO MIRA COSTA, SUITE E  
SAN CLEMENTE, CA 92672  
AR PE LICENSE # 12868

REVISIONS		BY	REMARK
No.	DATE		

GENERAL - TIME FILL

DRAWN: RG  
CHECKED: SRR  
DATE: 6/14/18  
SCALE: AS SHOWN  
JOB NO: 18023

G-202





LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.

CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.

CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.

ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.

ALL PLANTING BEDS & TURFGRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.

PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.

SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.

ALL TREES SHALL BE STAKED PER DETAIL.

ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT. SHRUBS & TREES SHALL MAINTAIN A MINIMUM OF 4' CLEARANCE UNLESS OTHERWISE SHOWN.

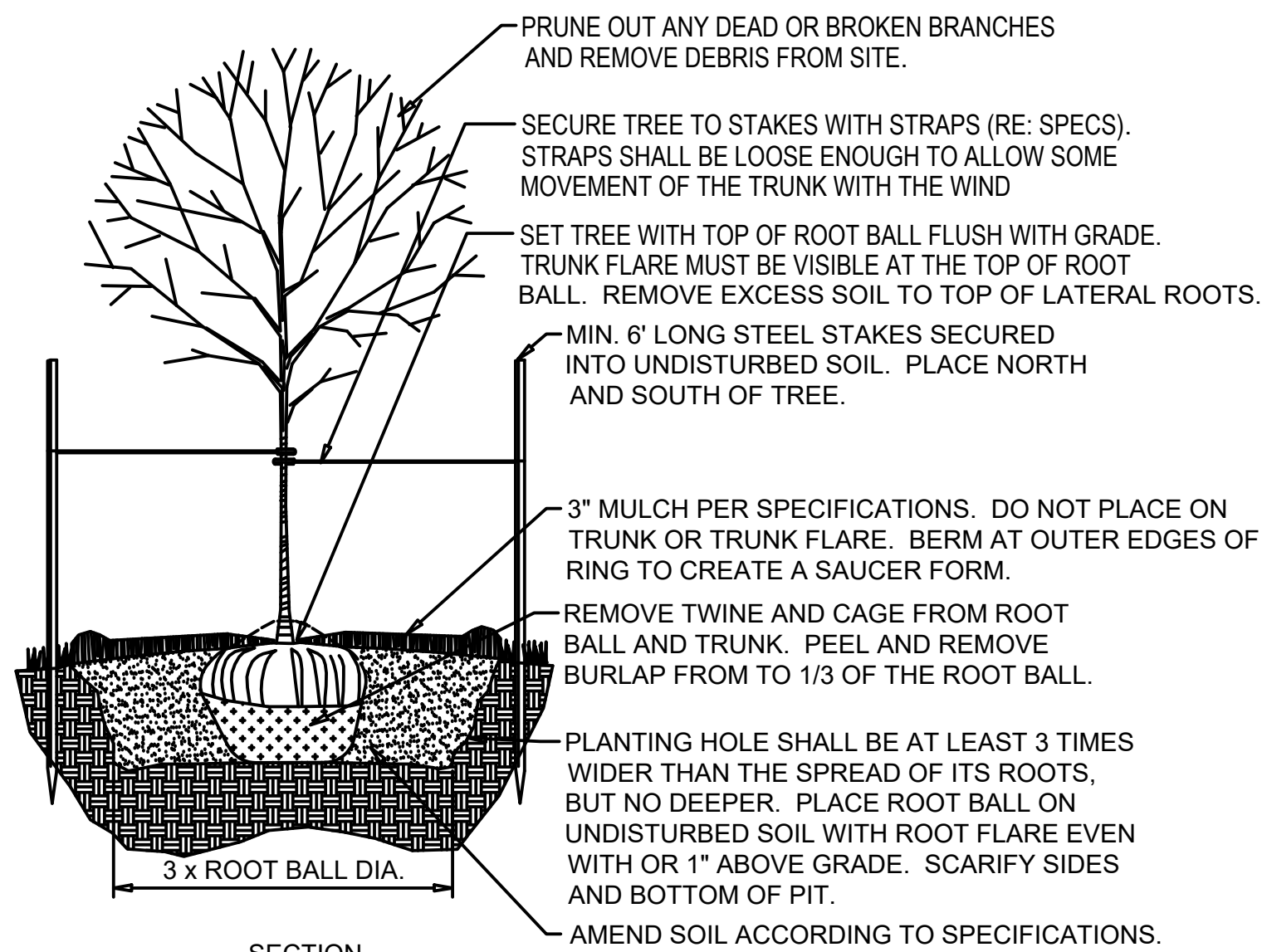
THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.

THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.

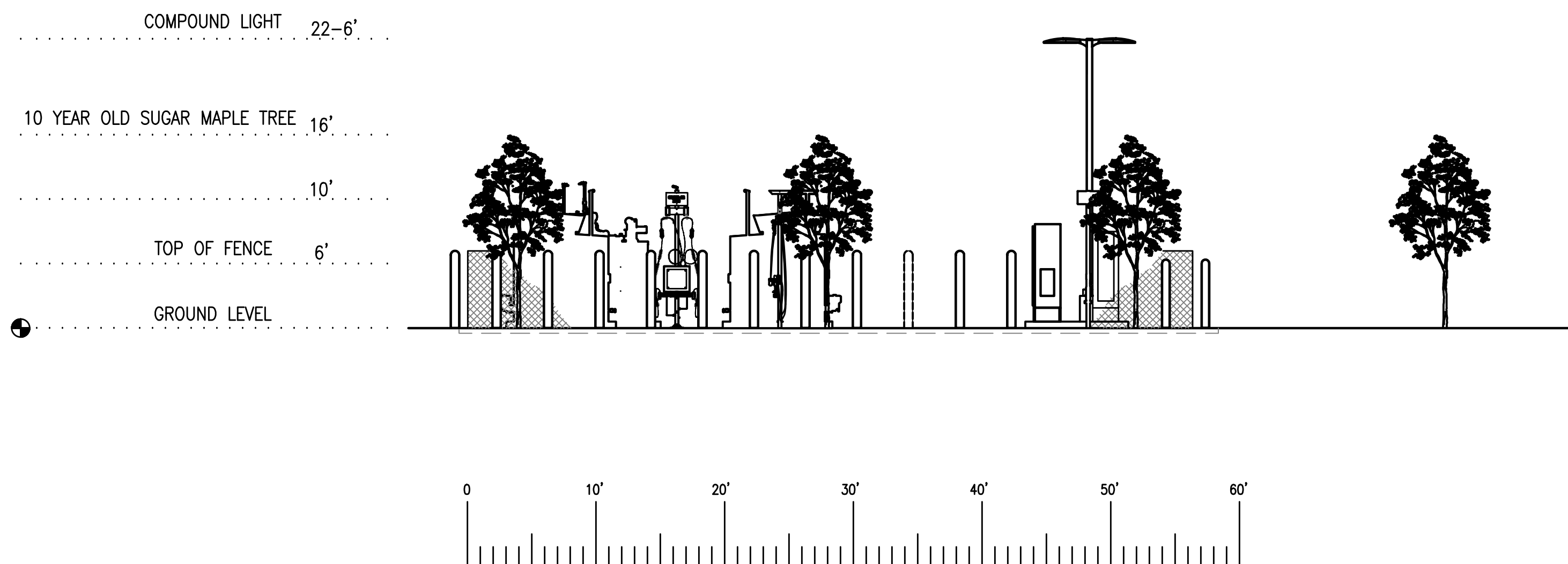
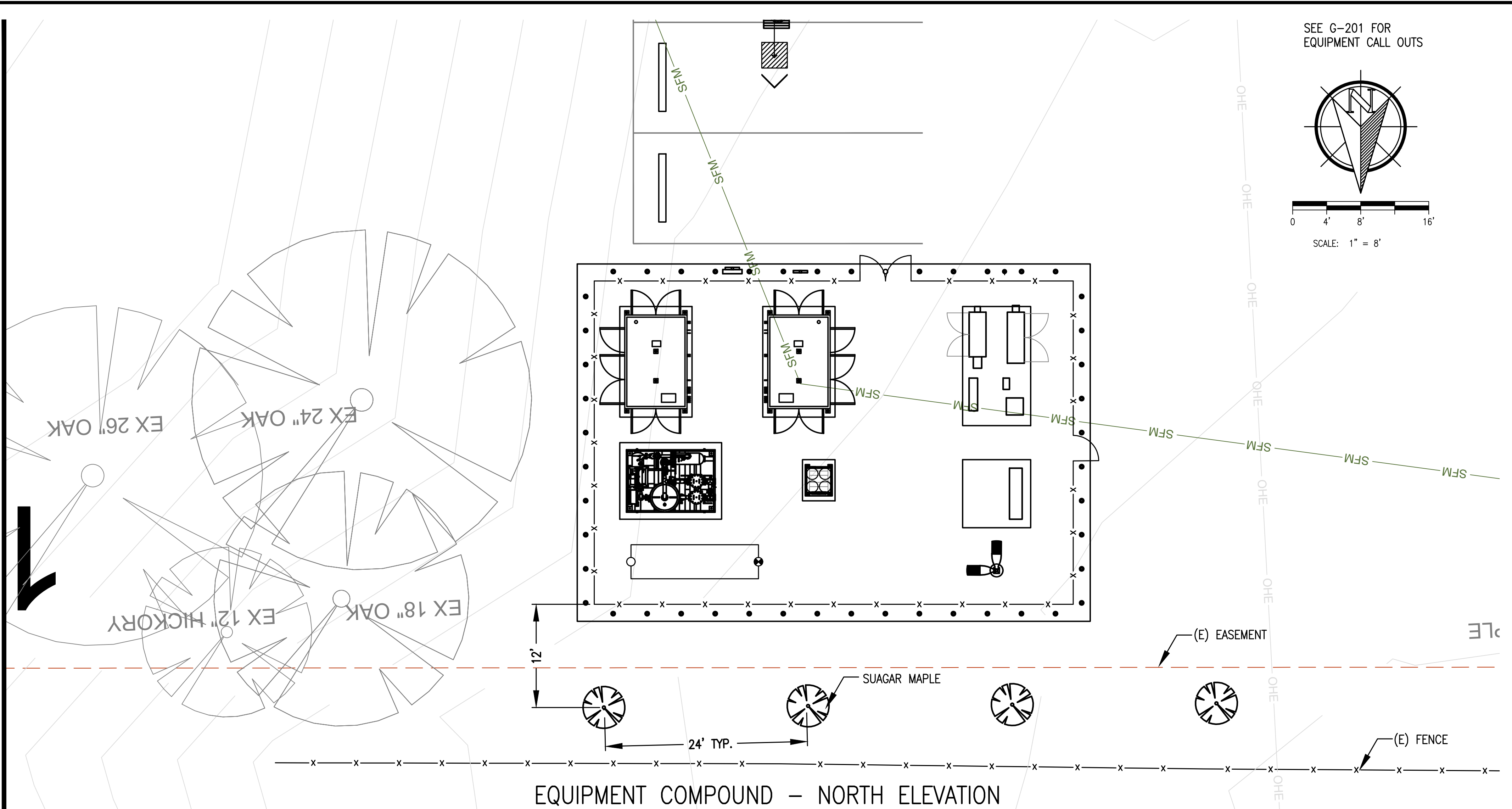
ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SEEDDED WITH TURF TYPE FESCUE.

Plant Schedule						
Quantity	Common Name		Botanical Name		Condition	Spacing
4	Sugar Maple		Acer Saccharum		BB	As Shown

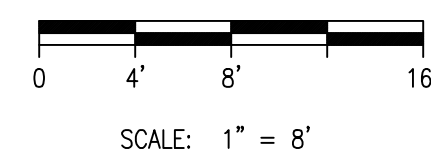
1. TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
2. TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



### PLANTING DETAIL



EQUIPMENT COMPOUND – NORTH ELEVATION



**TOWNER**  
WASTE MANAGEMENT  
ANTHONY SEDLOS  
1041 ARBOR ACRES AVE.  
SPRINGDALE, AR 72762  
(479) 361-4219

**GENERAL CONTRACTOR:**  
TRUSTAR ENERGY  
JEFF LUCERO (AR LIC # 37357)  
10225 PHILADELPHIA CT.  
RANCHO CUCAMONGA, CA 91730  
(909) 793-3700



# WASTE MANAGEMENT

1041 ARBOR ACRES AVE.  
SPRINGDALE, AR 72762  
CNG FUELING FACILITY



3553 CAMINO MIRA COSTA, SUITE E  
SAN CLEMENTE, CA 92672  
AR PE LICENSE # 12868

[illegible]

## GENERAL-LANDSCAPE PLAN

DRAWN: RG  
CHECKED: SRR  
DATE: 6/14/18  
SCALE: AS SHOWN  
JOB NO: 18023

G-203



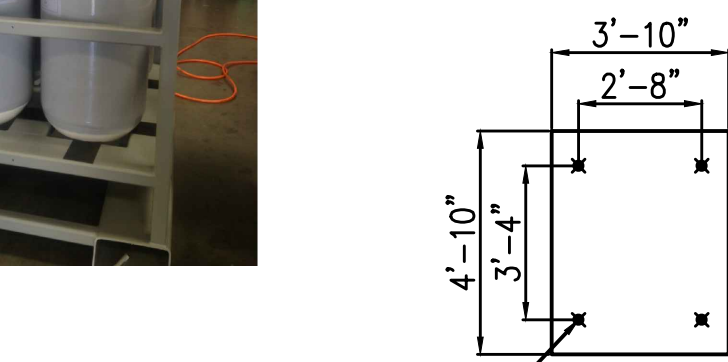


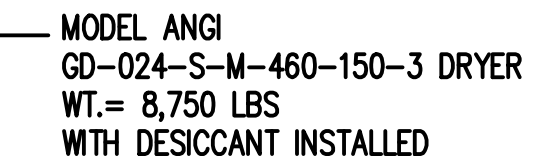
Diagram illustrating a buffer storage system. A vertical shaft with a pulley at the top is connected to a buffer storage unit. The unit has a central shaft with a pulley at the bottom. The buffer storage unit is labeled "BUFFER STORAGE" and the bottom pulley is labeled "TOP OF GRADE".

3000 PSI CONCRETE

4 DOT TYPE I BUFFER STORAGE (4 PACK)

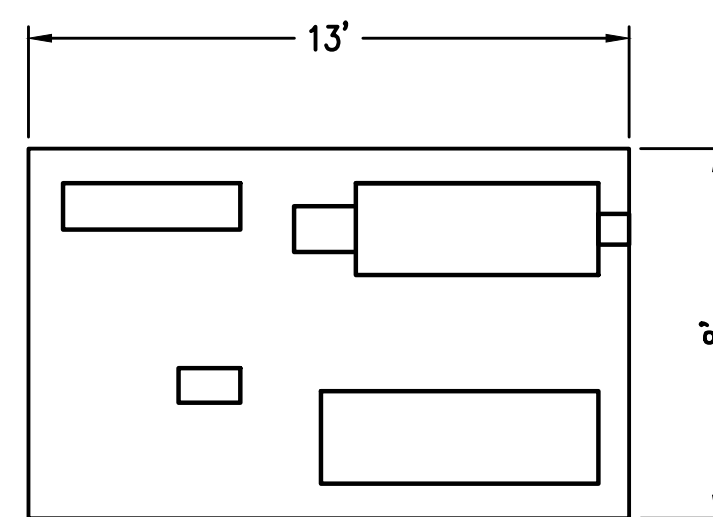


**NOTE:**  
FIELD VERIFY ALL EQUIPMENT DIMENSIONS,  
BOLT PATTERNS / LOCATIONS PRIOR TO  
FORMING AND POURING CONCRETE.



2 DRYER PAD DETAIL (GD-024-S-M-460-150-3)  
C-400 SCALE: NTS

**Arkansas 811**  
Know what's below.  
Call before you dig.



NOTE:

- FIELD VERIFY ALL EQUIPMENT DIMENSIONS, BOLT PATTERNS / LOCATIONS PRIOR TO FORMING AND POURING CONCRETE.



3 ELECTRICAL PAD DETAIL  
C-400 SCALE: NTS



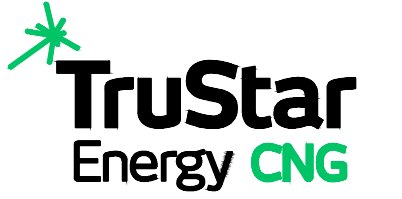
NOTE:

- FIELD VERIFY ALL EQUIPMENT DIMENSIONS, BOLT PATTERNS / LOCATIONS PRIOR TO FORMING AND POURING CONCRETE.

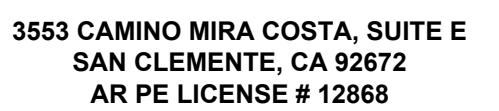
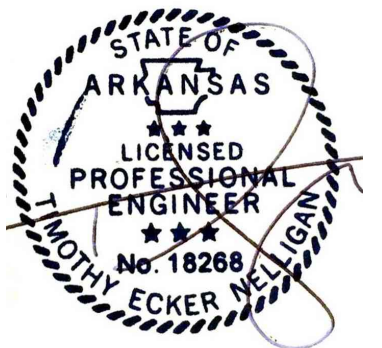


1 COMPRESSOR PAD (ANGI 300)  
C-400 SCALE: NTS

**GENERAL CONTRACTOR:**  
TRUSTAR ENERGY  
JEFF LUCERO (AR LIC # 37357)  
10225 PHILADELPHIA CT.  
RANCHO CUCAMONGA, CA. 91730  
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1041 ARBOR ACRES AVE.  
SPRINGDALE, AR 72762  
CNG FUELING FACILITY

[illegible]

## C-400

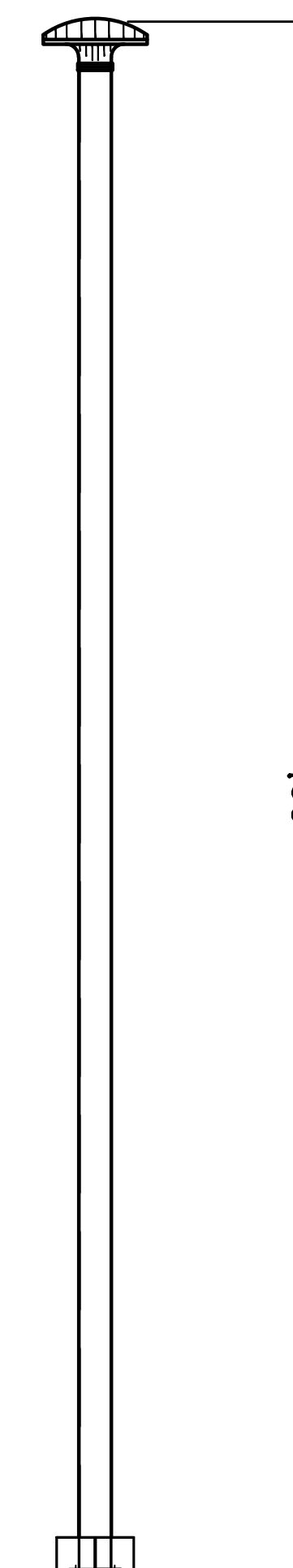


SECTION "A-A"

SECTION "B-B"

DETAIL "C"

NOTES:



10/11/18

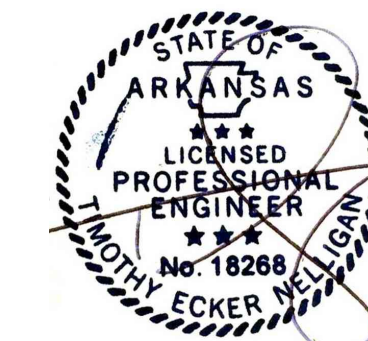
**OWNER**  
WASTE MANAGEMENT  
ANTHONY SEDILOS  
1041 ARBOR ACRES AVE,  
SPRINGDALE, AR 72762  
(479) 361-4219

**GENERAL CONTRACTOR:**  
TRUSTAR ENERGY  
JEFF LUCERO (AR LIC # 37357)  
10225 PHILADELPHIA CT.  
RANCHO CUCAMONGA, CA. 91730  
(909) 793-3700



# WASTE MANAGEMENT

1041 ARBOR ACRES AVE.  
SPRINGDALE, AR 72762  
CNG FUELING FACILITY



3553 CAMINO MIRA COSTA, SUITE E  
SAN CLEMENTE, CA 92672  
AR PE LICENSE # 12868

[illegible]

CIVIL - DETAILS

DRAWN: RG  
CHECKED: SRR  
DATE: 6/14/18  
SCALE: AS SHOWN  
JOB NO: 18023

C-403



### Approved\_Projects\_Expirations

Project Name	Approval Date	Start/Expiration Date 152.101	Comments
South Point Subdivision-Phase I	December 27, 2016	-	In Construction
South Point Subdivision-Phase II	February 28, 2017	-	In Construction
Venezia Piazza-LSD	April 25, 2017	-	In Construction (temp COO issued for Building 2, suites 8&9 only)
Tontitown Self Storage LSD	December 27, 2017	-	In Construction
Napa Subdivision	February 27, 2018	-	Have had Pre-Construction meeting, but have many outstanding conditions
Cross Pointe Church LSD	April 26, 2018	-	In Construction
5 J Farms Commercial/Industrial SD	May 22, 2018	November 22, 2018	Approved 5/22/18-have several technical corrections
Path Utilities LSD	June 26, 2018	December 26, 2018	In Construction-Site work only, Building must still submit Architect Plans.
Ozark Self Storage LSD	July 31, 2018	January 31, 2019	Have not scheduled Pre-Construction meeting yet. Architect Plans are complete but not submitted.
Plaza Tire LSD	July 31, 2018	January 31, 2019	Have not scheduled Pre-Construction meeting yet.
			8/28/2018 12:39



Building Activity Report:	YTD - 2018	# Permits
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YTD - 2017
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Variance
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% change
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<b>RESIDENTIAL VALUATION</b>	<b>\$ 33,372,462.07</b>	
Single Family Permits		126
<b>COMMERCIAL VALUATION</b>	<b>\$ 8,994,052.71</b>	
		19
<b>RESIDENTIAL PERMIT FEES</b>	<b>\$ 138,566.87</b>	
<b>COMMERCIAL PERMIT FEES</b>	<b>\$ 40,462.00</b>	
<b>Other Permits</b>	<b>\$ 18,557.00</b>	
<b>Total Fees Assessed</b>	<b>\$ 336,188.25</b>	
<i>For Information Only:</i>		
<b>Water Tap</b>	<b>\$ 91,250.00</b>	
<b>Sewer Tap</b>	<b>\$ 46,000.00</b>	

<b>\$ 26,004,967.70</b>
81
<b>\$ 6,215,552.30</b>
<b>\$ 107,571.10</b>
<b>\$ 26,630.02</b>
<b>\$ 16,118.30</b>
<b>\$ 229,646.85</b>

<b>\$ 7,367,494.37</b>
45
<b>\$ 2,778,500.41</b>
<b>\$ 30,995.77</b>
<b>\$ 13,831.98</b>
<b>\$ 2,438.70</b>
<b>\$ 106,541.40</b>

<b>22.08%</b>
<b>35.71%</b>
<b>30.89%</b>
<b>22.37%</b>
<b>34.19%</b>
<b>13.14%</b>
<b>31.69%</b>

As of 8/28/2018