

Proposed Features:

Feature	Description
---	Property Line
---	Onsite Property Line
---	Offsite Property Line
---	Right-Of-Way Line
---	Setback Line
---	Easement Line
---	Zoning Limits
---	Street / Drive Centerline
---	Curb And Gutter
---	(See Site Plan For Size)
---	Thickened Edge Of Pavement
---	Edge Of Gravel
---	Firelane Striping
---	Asphalt Pavement (See Detail Sheet For Pavement Sections)
---	Concrete Pavement (See Detail Sheet For Pavement Sections)
---	Concrete Sidewalk (See Site Plan For Dimensions)
---	General Fence Line (See Plan For Type)
---	Chain Link Fence Line
---	Board Fence Line
---	Parking Counter
---	Storm Catch Basin(s)
---	Retaining Wall
---	See UTILITY PLAN for More Information
---	Gate Valve
---	Fire Hydrant Assembly
---	Water Meter - Single
---	Water Meter - Double
---	Sanitary Sewer Manhole
---	Utility Pole
---	Light Pole

Note:
 • See Survey For Existing Features Legend.
 • See Cover Sheet For Abbreviation List.

Site General Notes:

- Dimensions are measured from the Face of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Stripe.
- All radii shall be 4' foot at Face of Curb unless otherwise specified.
- Layout of Site Plan is based on and limited to survey information.
- All Curb & Gutter shall be 24" wide per detail sheet.
- All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Utility Entrance Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- All handicap spaces shall be striped / marked in accordance with the handicap striping detail.
- All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- It is the Contractor's responsibility to calculate construction staking coordinates according to the dimensions shown on these plans. The Contractor shall verify the accuracy of the coordinates shown on the plans and notify the Engineer of any irregularities before construction starts.
- All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet.

Site Plan Notes:

SN-03	Taper Curb & Gutter to Match Existing
SN-04	4" Painted White Striping
SN-05	Taper Curb from 6" to 0" in 2'-0"
SN-06	4" Wide Painted Stripes, 2'-0" o.c. @ 45°

Additional Notes:

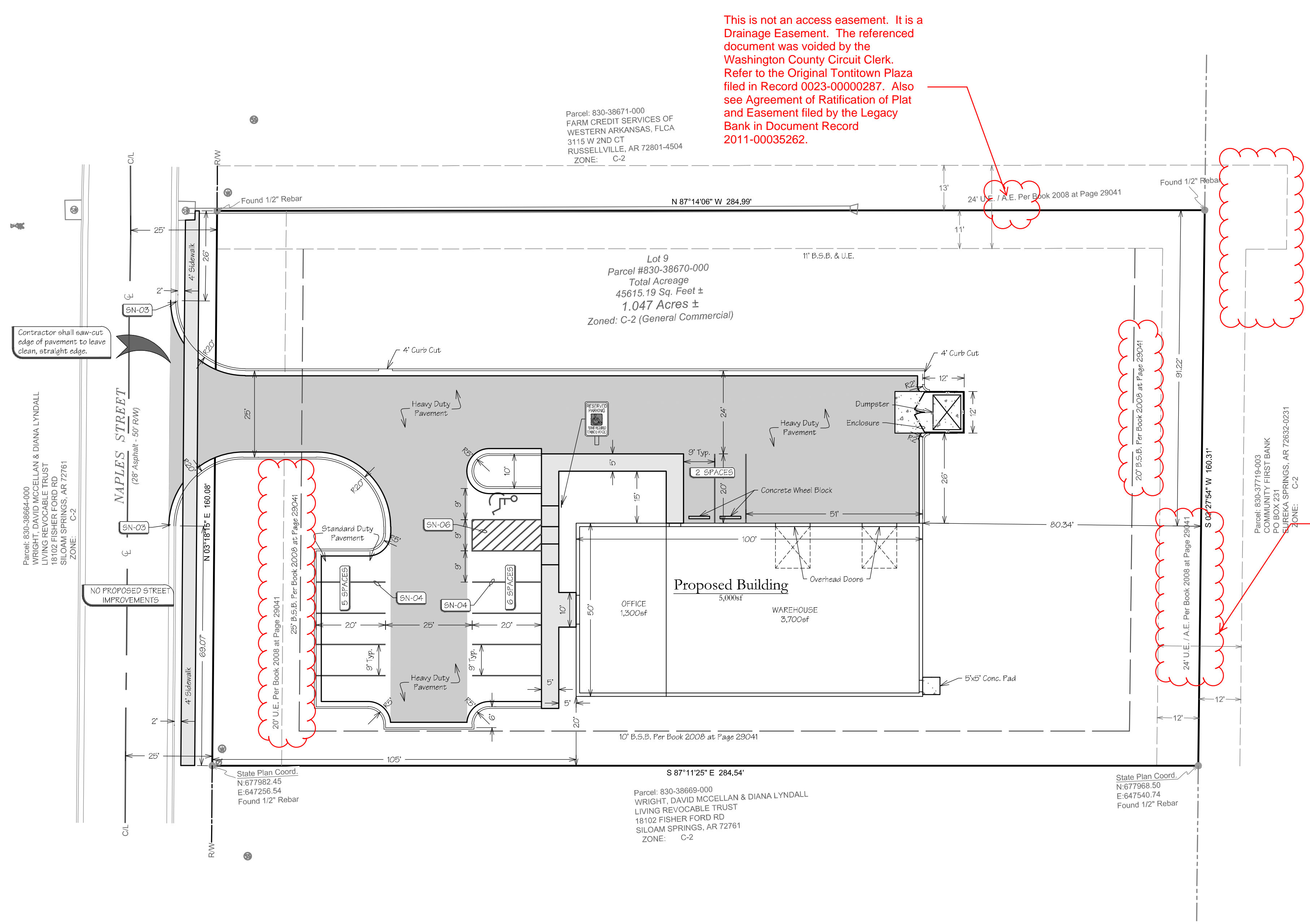
- This site does not contain my known wetlands. An Army Corps of Engineers determination is not currently in progress at this time.
- There are no known previous sanitary sewer overflow problems on-site or in the proximity of the site.
- There are no known existing erosion problems on-site or within 100' downstream of the property.
- There are no known existing abandoned water wells, sumps, cesspools, springs, water impoundments, or underground structures within the project.
- There are no known existing proposed ground leases or access agreements.
- There are no known potentially dangerous areas, such as areas subject to flooding, slope stability, settlement, excessive noise, or previously filled areas.
- This site will not contain any proposed public areas.
- This site will not contain any commonly held areas.

Flood Certification:

BY GRAPHIC PLOTTING ONLY, NO PORTION OF THIS PROPERTY IS IN ZONE "A" OR "AE" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 051430045E, WHICH BEARS AN EFFECTIVE DATE OF 05/16/2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

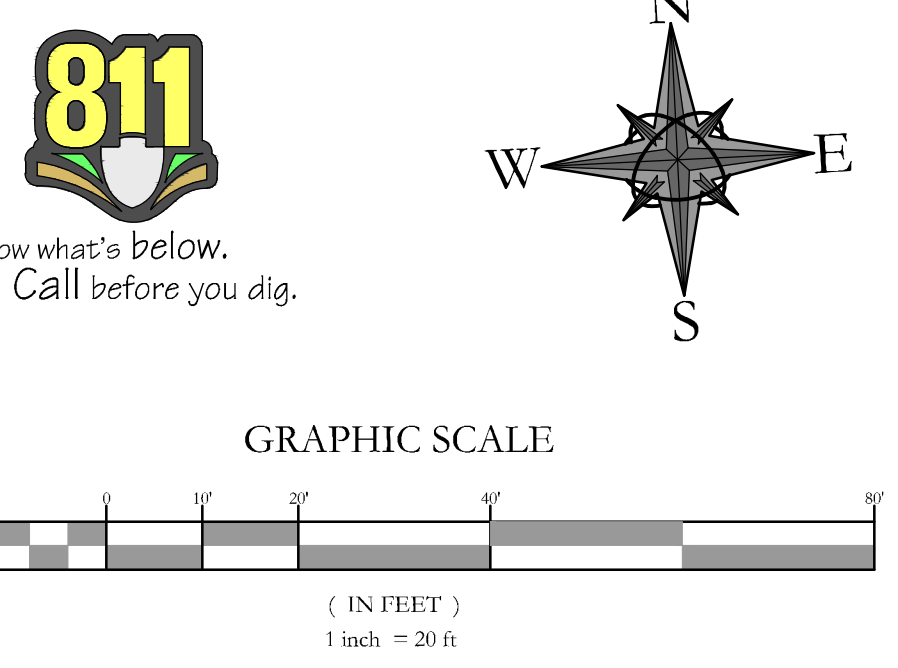
Site Information:

PROPERTY INFORMATION		
Gross Site Area:	45,615.19 sf	1.05 acres
Proposed Dedicated R.O.W.:	0.00 sf	0.00 acres
Net Site Area:	45,615.19 sf	1.05 acres
Zoning:	District C-2 - General Commercial	
ZONING REGULATIONS		
Front Setback:	25 ft	
Side Yards:	10 ft	
Rear Yards:	20 ft	
SITE INFORMATION		
Total Paved Area:	10,975.19 sf	0.25 acres
Total Sidewalk Area:	672.50 sf	0.02 acres
Total Building Area:	5,000.00 sf	0.11 acres
- Warehouse	3,700.00 sf	0.08 acres
- Office	1,300.00 sf	0.03 acres
Total Impervious Area:	16,647.69 sf	36%
Total Pervious Area:	28,967.50 sf	64%
PARKING REGULATIONS		
Required Spaces Ratio:	Office: 1 space / 300 sf Whse: 5 sp + 1 sp / 2000 sf	
Required Spaces (Total):	11	
Provided Spaces (Total):	13	
Required Accessible Spaces:	1	
Provided Accessible Spaces:	1	



This is not an access easement. It is a Drainage Easement. The referenced document was voided by the Washington County Circuit Clerk. Refer to the Original Tontitown Plaza filed in Record 0023-0000287. Also see Agreement of Ratification of Plat and Easement filed by the Legacy Bank in Document Record 2011-00035262.

See comment above.



REVISIONS:		
No.	DESCRIPTION	DATE

This Large Scale Development has been reviewed for general compliance with the City of Tontitown Zoning and Planning Ordinances. Oversight of any regulations does not relieve the Owner of their responsibility to comply with all regulations.
 Terry W. Carpenter, P.E.
 Tontitown City Engineer, October 26, 2015

NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!

Site Plan	Large Scale Development For:			BLEW & ASSOCIATES, PA CIVIL ENGINEERS & LAND SURVEYORS 524 W. SYCAMORE ST, SUITE 4 FAYETTEVILLE, ARKANSAS 72703 OFFICE: 479.443.4506 FAX: 479.582.1883 www.BLEWINC.com Certificate of Authorization # 1534
	Automatic Door Naples Street Crosey Properties, LLC 3013 Corporate Center Bryant, AR 72022			
DRAWN BY: C. Zardin SUBMITTAL DATE: 2015-10-20	JOB NUMBER: 15-937 DRAWING NAME: 15-937 Civil 002.dwg	SCALE: As Noted SHEET NUMBER: C2	SHEET NUMBER: C2	

Proposed Features:

Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-Of-Way Line

Note:
 See Survey For Existing Features Legend.
 See Cover Sheet For Abbreviation List.

Demolition Notes:

- Contractor shall be responsible for removal of the Existing Structures, Related Utilities, Paving, Underground Storage Tanks and any other existing improvements as noted. Contractor is to remove and dispose of all debris, rubbish, and other materials resulting from previous and current demolition operations. Disposal shall be in accordance with all Local, State and/or Federal Regulations Governing such operations.
- The General Contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phases of this project. The contractor will be held solely responsible for any damages to the adjacent properties occurring during the construction phases of this project.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities. It shall be the contractor's responsibility locate all existing utilities which conflict with the proposed improvements shown on the plans, whether shown or not shown at no additional cost to the owner.
- Contractor shall remove all buildings, pavement, curbs, trees, light poles, utility poles and lines from the site up to the limits of construction or the property line unless otherwise noted. Contractor shall cap/pile any water, gas, sanitary sewer or storm sewer line at the property line. Electric and Telephone lines whether overhead or underground shall be terminated at the closest utility pole or pedestal to the property line or per the Designated Utility Company's Requirements.
- It is the Contractor's responsibility to remove any and all asbestos or any other hazardous materials from the site per government guidelines and shall dispose of the hazardous materials in strict accordance to the guidelines.
- Contractor shall ensure that adequate measures are taken prior to the removal of any existing storm water / sanitary sewer systems so that the discharge of water remains uninterrupted both on and off the site.
- Contractor shall ensure that any utility service to the site that shall be removed will not interrupt service to the neighboring property owners. It is the contractor's responsibility to coordinate with the neighboring property owners if service will be interrupted.

Demolition Notes:

Key	Description
	Existing to be Removed / Demolished
	Existing to Remain. In the case of vegetation, Contractor shall ensure survival of plants
	Existing to be Relocated.

Erosion General Notes:

- The Storm Water Pollution Prevention Plan (SWPPP) is comprised of the Erosion Phase I & II construction drawings, the standard details and any related documents including City ordinances.
- Contractor shall implement best management practices as required by the SWPPP. Additional best management practices shall be implemented as dictated by conditions at no additional cost of owner throughout all phases of construction.
- Best Management Practices (BMP's) and controls shall conform to federal, state, or local requirements or manual of practice, as applicable. Contractor shall implement additional controls as directed by permitting agency or owner.
- Site map must clearly delineate all state waters. Permits for any construction activity impacting state waters or regulated wetlands must be maintained on site at all times. Contractor shall minimize clearing to the maximum extent practical or as required by the general permit.
- General Contractor shall denote on plan the temporary parking and storage area which shall also be used as the equipment maintenance and cleaning area, employee parking area, and area for locating portable facilities, office trailers, and toilet facilities.
- All wash water (concrete trucks, vehicle cleaning, equipment cleaning, etc.) shall be detained and properly treated or disposed.
- Sufficient oil and grease absorbing materials and flotation booms shall be maintained on site or readily available to contain and clean-up fuel or chemical spills and leaks.
- Dust on the site shall be controlled. The use of motor oils and other petroleum based or toxic liquids for dust suppression operations is prohibited.
- Rubbish, trash, garbage, litter, or other such materials shall be deposited into sealed containers. Materials shall be prevented from leaving the premises through the action of wind or stormwater discharge into drainage ditches or waters of the state or US.
- All storm water pollution prevention measures presented on this plan, and in the Storm Water Pollution Prevention Plan, shall be initiated as soon as practical.
- Disturbed portions of the site where construction activity has stopped shall be temporarily seeded no later than 14 days after the last construction activity occurring in these areas.
- Disturbed portions of the site where construction activity has permanently stopped shall be permanently seeded. These areas shall be seeded no later than 14 days after the last construction activity occurring in these areas. Refer to the grading plan and/or landscape plan.
- If the action of vehicles traveling over the gravel construction entrances is not sufficient to remove the majority of dirt or mud, then the tires must be washed before the vehicles enter a public road. If washing is used, provisions must be made to intercept the wash water and trap the sediment before it is carried off the site.
- All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.
- Contractors or Subcontractors will be responsible for removing sediment in the detention pond and any sediment that may have collected in the storm sewer drainage systems in conjunction with the stabilization of the site.
- On-site & offsite soil stockpile and borrow areas shall be protected from erosion and sedimentation through implementation of best management practices. Stockpile and borrow area locations shall be noted on the site map and permitted in accordance with general permit requirements.
- Slopes shall be left in a roughness condition during the grading phase to reduce runoff velocities and erosion.
- Due to the grade changes during the development of the project, the Contractor shall be responsible for adjusting the erosion control measures (silt fences, straw bales, etc.) to prevent erosion.
- All construction shall be stabilized at the end of each working day, this includes backfilling of trenches for utility construction and placement of gravel or bituminous paving for road construction.

Temp & Perm Controls:

Feature	Key	Description
	ENTRA	Temporary Gravel Construction Entrance
	STRAW	Straw Bale Barrier
	SILTF	Silt Fence
	GRASS	Existing Grass (See Plan For Width)
	INLET	Inlet Protection
	RIPRAP	Rip-rap (see Plan For Size)
	RCD	Rock Check Dams
	AVD	Anti-vortex Device

Note:
 Only symbols that appear on this sheet are shown in this legend.

Maintenance:

All measures stated on this erosion and sediment control plan, and in the storm water pollution prevention plan, shall be maintained in fully functional condition until no longer required for a completed phase of work or final stabilization of the site. All erosion and sedimentation control measures shall be checked by a qualified person in accordance with the contract documents or the applicable permit, whichever is more stringent, and repaired in accordance with the following:

- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining, or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as needed.
- Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrances shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing of the construction entrances as conditions demand.
- The temporary parking and storage area shall be kept in good condition (suitable for parking and storage). This may require periodic top dressing of the temporary parking as conditions demand.
- Outlet structures in the sedimentation basins shall be maintained in operational conditions at all times. Sediment shall be removed from sediment basins or traps when the design capacity has been reduced by 50%.

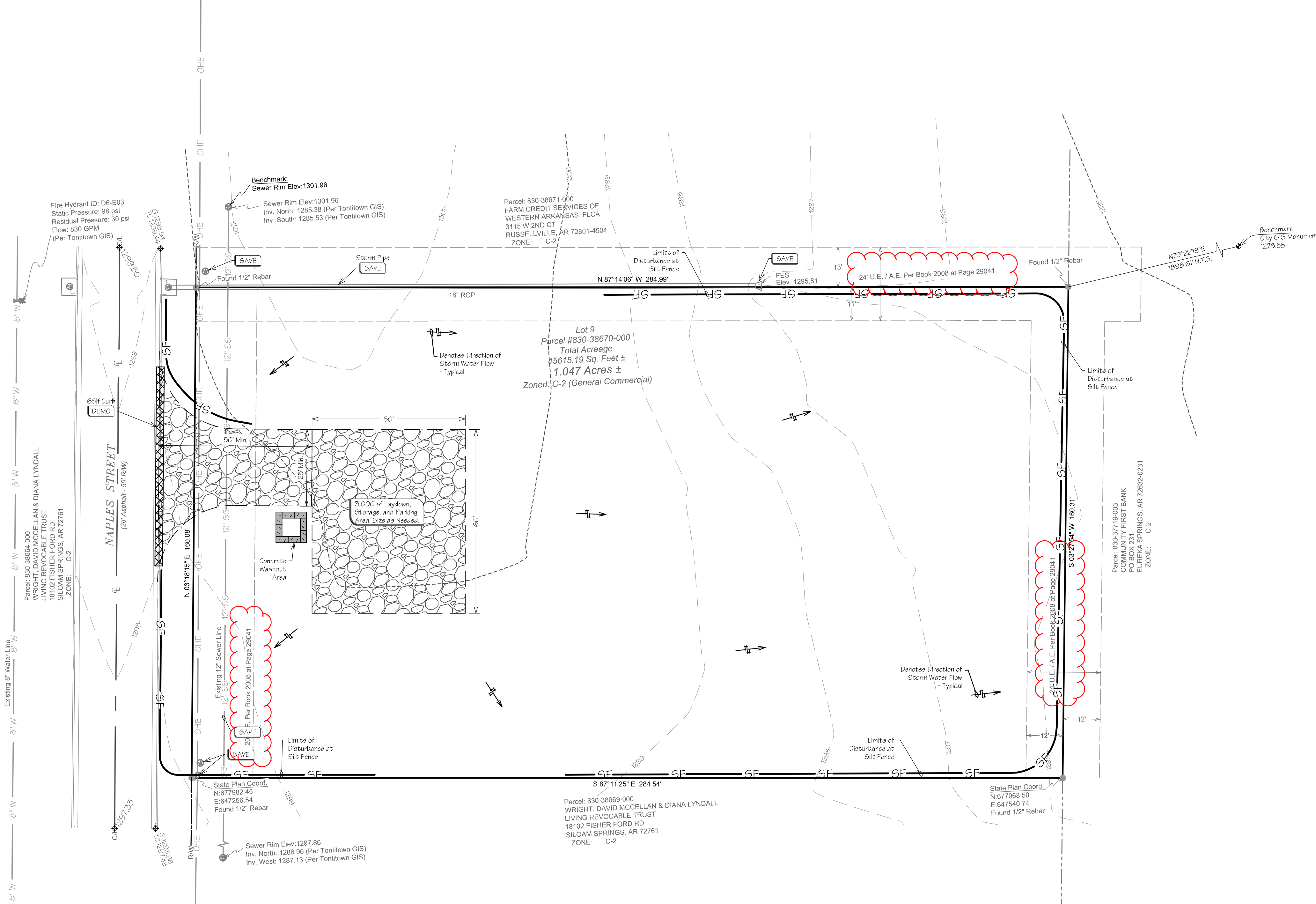
Sequence of Construction:

SWPPP Phase I:

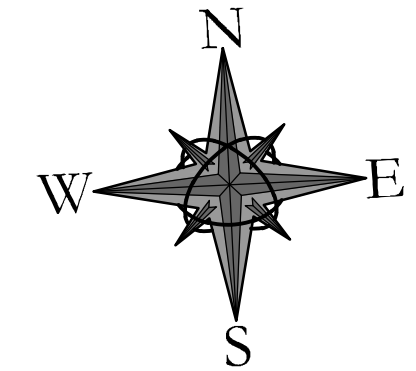
- Pre-construction meeting.
- Install stabilized construction exit(s) and concrete wash area(s).
- Prepare temporary parking and storage area. Upon implementation and installation of the following areas:
 - Trailer
 - Parking & storage areas
 - Lay down
 - Porta potty
 - Wheel wash &/or concrete washout
 - Masons area
 - Fuel and material storage containers
 - Solid waste containers, etc., denote them on the site maps immediately and note any changes in the locations as they occur throughout the construction process.
- The following shall be shown on the erosion control site map upon implementation and installation:
 - Construction trailer(s)
 - Parking & storage areas
 - Lay down
 - Porta-potty
 - Wheel wash &/or concrete washout
 - Fuel and material storage containers
 - Solid waste containers, etc.
- Construct the silt fences on the site.
- Contractor shall halt all ground disturbance activities and contact the civil engineer of record to perform inspection and certification of bmps. General contractor shall schedule and conduct storm water pre-construction meeting with engineer and all ground-disturbing contractors before proceeding with construction.
- Construct the sediment basin(s) with outfall structure as shown on plan.
- Clear and grub the site.
- Start construction of building pad and structures, if any.
- Begin grading the site.

SWPPP Phase II

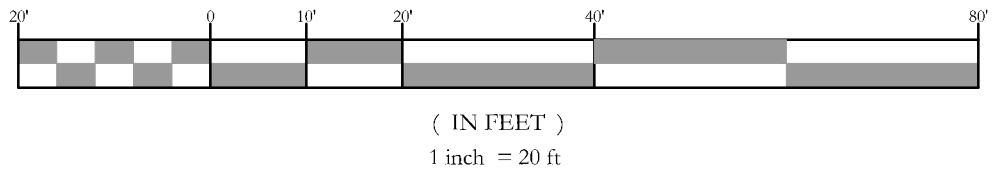
- Temporarily seed denuded areas.
- Install utilities, underdrains, storm sewers, curbs and gutters.
- Install rip rap around outlet structures where noted on plans.
- Install inlet protection around all storm sewer structures.
- Prepare site for paving.
- Pave site.
- Install inlet protection devices.
- Complete grading and install permanent seeding and planting.
- Remove all temporary erosion and sediment control devices (only if site is stabilized).



Know what's below.
 Call before you dig.



GRAPHIC SCALE



No.	REVISIONS:	
	DESCRIPTION	DATE:

Large Scale Development For:

Automatic Door

Naples Street

Crosey Properties, LLC

3013 Corporate Center
 Bryant, AR 72022

DRWNS BY: C. Zardin
 SUBMITTAL DATE: 2015-10-20

JOB NUMBER: 15-937
 DRAWING NAME: 15-937 Civil 002.dwg

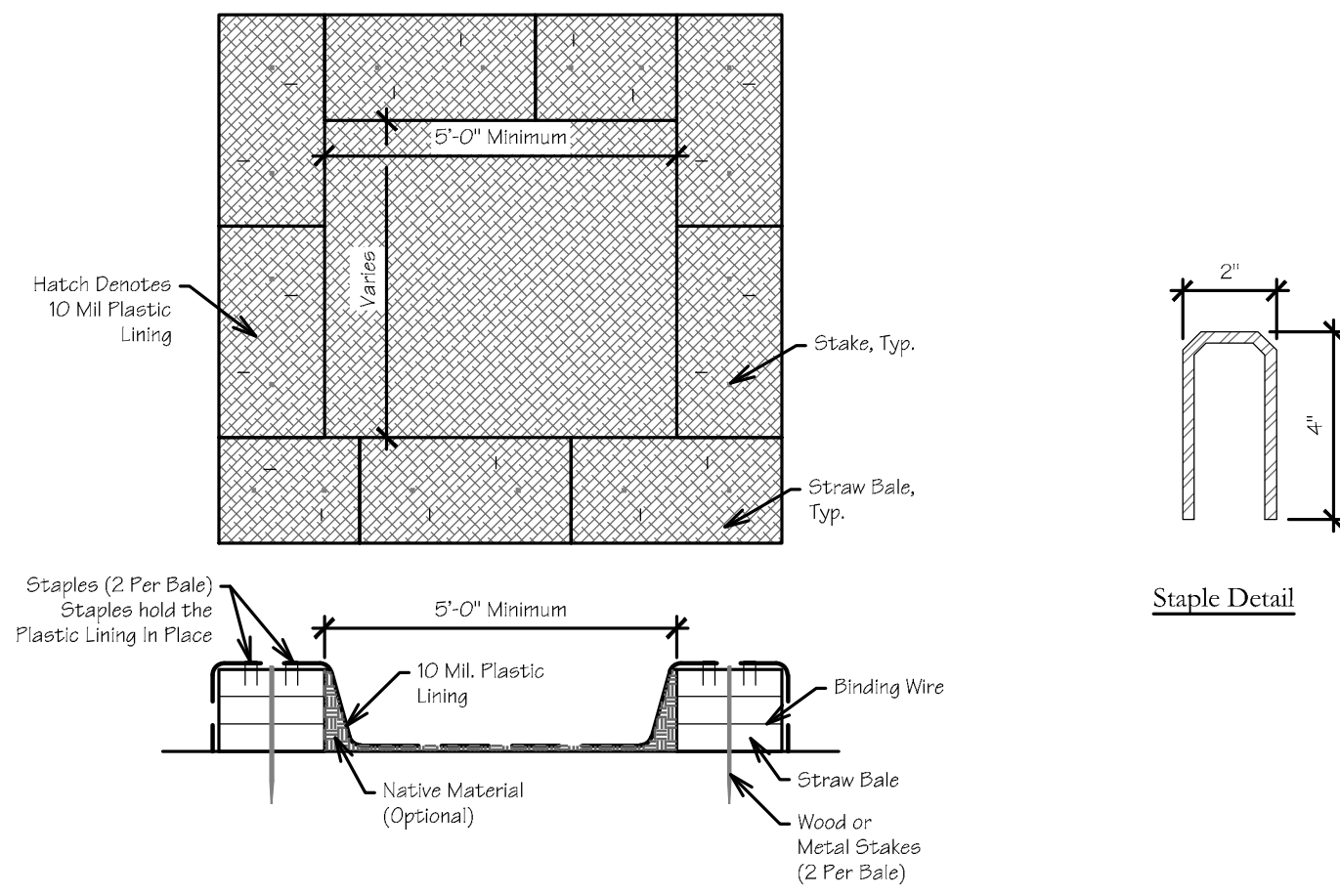
SCALE: As Noted

SHEET NUMBER: C3

Certificate of Authorization No 1534

BLEW & ASSOCIATES, PA
 CIVIL ENGINEERS & LAND SURVEYORS
 524 W. SYCAMORE ST, SUITE 4
 FAYETTEVILLE, ARKANSAS 72703
 OFFICE: 479.443.4506
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 www.BLEWINC.com

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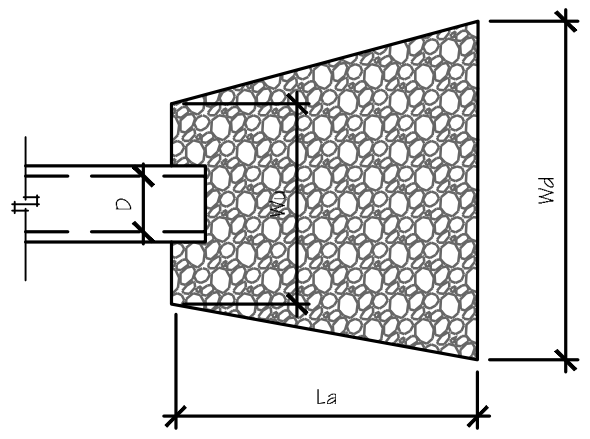
Concrete Washout
Scale: 3/8" = 1'-0"

TABLE 1 - Rock Outlet Protection Apron Dimensions

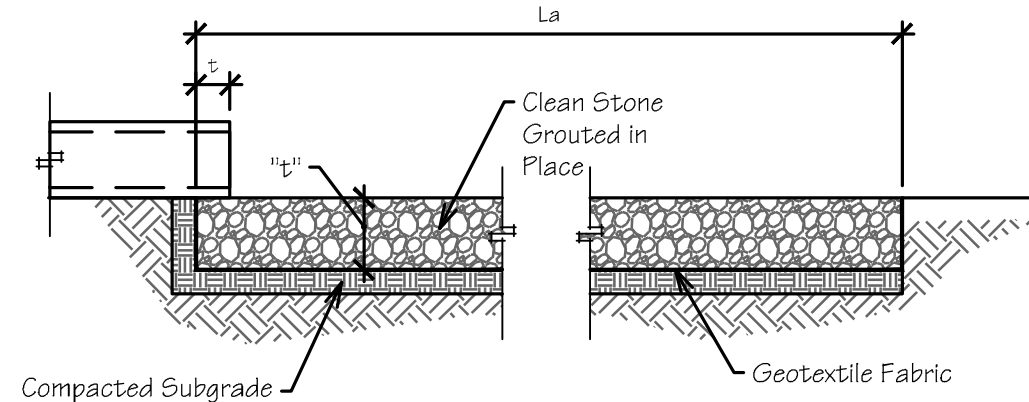
Culvert Size D. (inches)	Rock Size d ₅₀ (inches)	Apron Length La (feet)	Upstream Width Wu (feet)	Downstream Width Wd (feet)	Thickness t _s (inches)	Rock Qty. (tons)
12	6	12	3	13	15	15
18	9	16	4.5	18	24	20
21	9	18	5	20	24	35
24	9	20	6	22	24	60
30	9	22	7.5	24	24	75
36	12	24	9	27	30	120
42	18	26	10.5	30	36	190
48	18	28	12	32	36	215

NOTES:

- Apron length (La):** Apron length (La) shall be determined from Table 1.
- Apron width:** The apron width is based on the diameter of the discharge pipe (D). The apron width will be 3D as the upstream end (Wu), and the downstream width (Wd) will be equal to (D + La). The apron shall extend across the channel bottom and up side slopes for a minimum height equal to the diameter of the pipe (D).
 - Alignment:** The apron shall be located so that there are no bends in the horizontal alignment. The apron should be level over its length, and the elevation of the downstream end of the apron must be the same as the elevation of the receiving channel or adjacent ground.
 - Thickness:** The required apron thickness is shown in Table 1.
 - Gabions:** When a gabion mattress is used it shall be made of double twisted galvanized steel wire. Gabions shall be fabricated in such a manner that the sides, ends, and lid can be assembled at the construction site into mats a minimum of 12 inches thick.
- Materials:** Outlet protection may be done using rock riprap or gabion mattresses to construct the apron. The rock shall consist of field stone or rough unquarry stone. The stone shall be hard and angular and of a quality that will not disintegrate on exposure to water or weathering. Broken concrete may be used provided it does not have any exposed steel or reinforcing bars, and that it is broken into blocky pieces such that the largest dimension of each piece is no more than 3 times the smallest dimension. The required rock size is shown in Tables 1 and 2. In all cases a geotextile (filter fabric) shall be placed between the apron and the underlying soil to prevent soil movement into and through the riprap.



PLAN VIEW

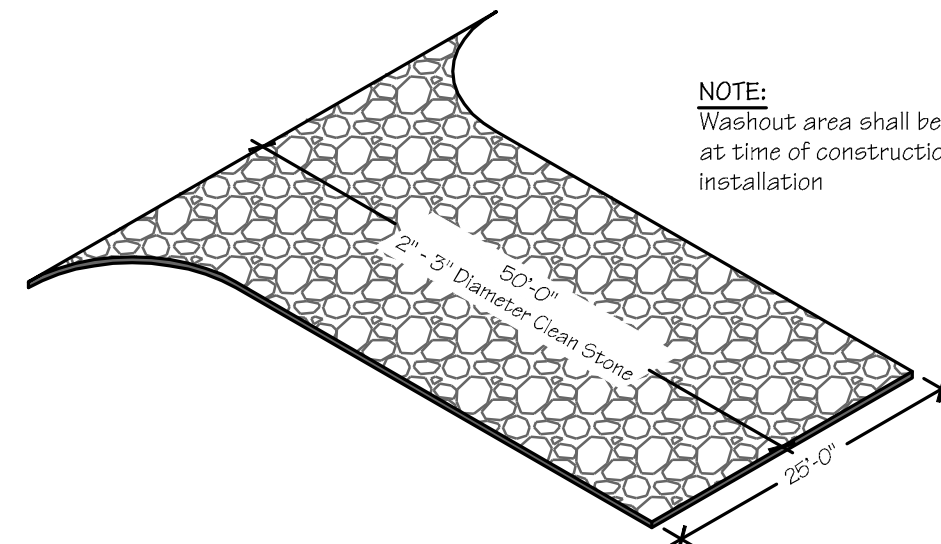
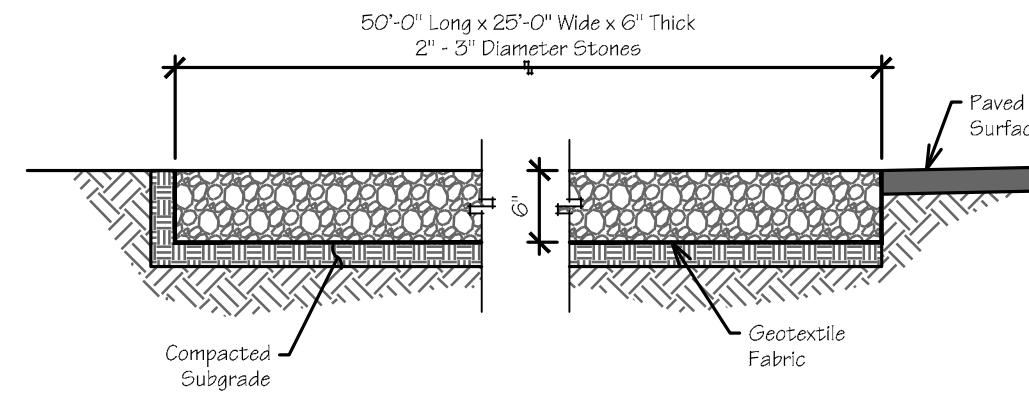


PROFILE

Rip Rap
Not to Scale

TABLE 2 - Required Rock Gradation

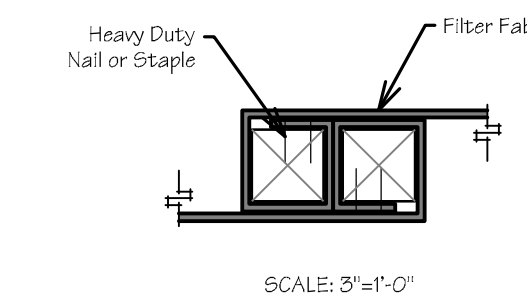
Gabion Rock	Smallest dimension in inches					percent of rocks smaller than size shown
	6" d ₅₀	9" d ₅₀	12" d ₅₀	15" d ₅₀		
18	9	16	4.5	18	24	
21	9	18	5	20	24	
24	9	20	6	22	24	
30	9	22	7.5	24	24	
36	12	24	9	27	30	
42	18	26	10.5	30	36	
48	18	28	12	32	36	



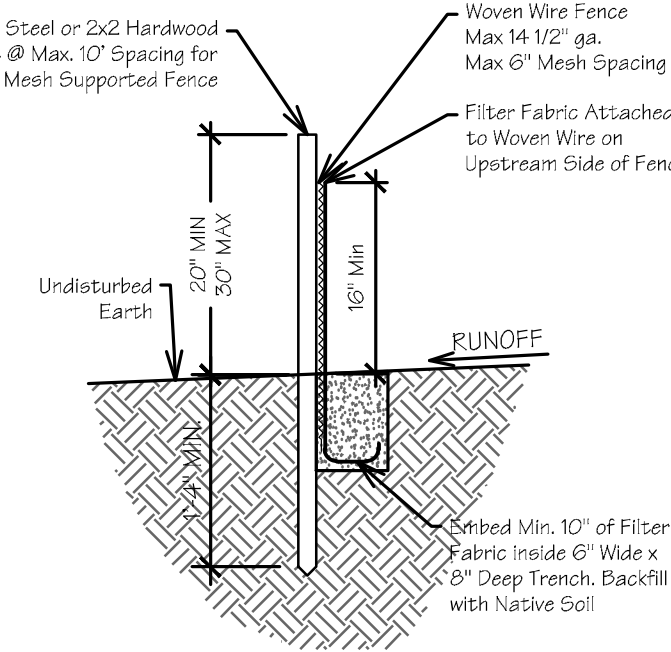
Construction Entrance
Scale: 1/16" = 1'-0"
Not to Scale

Notes and Specifications:

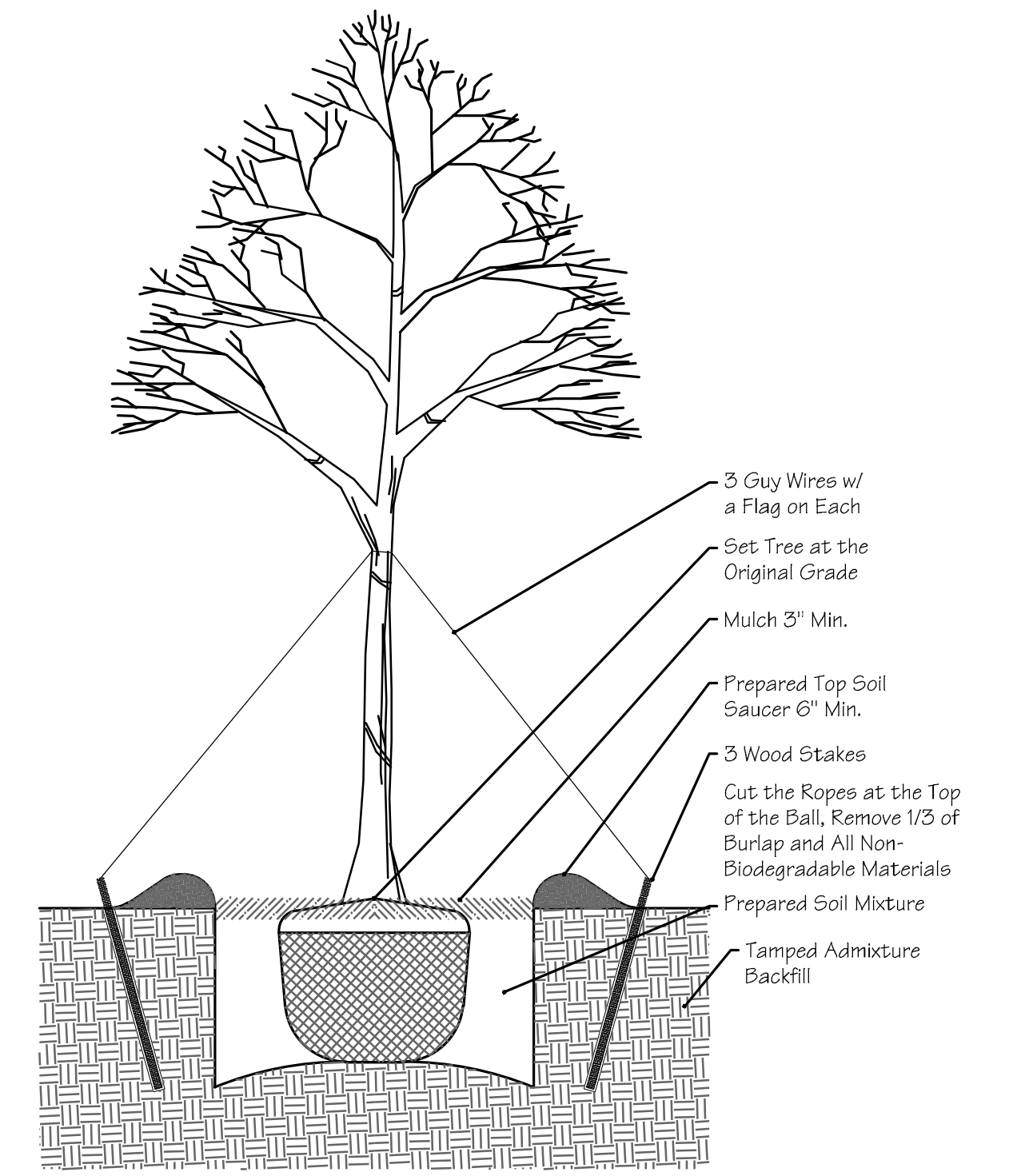
- Posts shall be a minimum length of thirty-six (36) inches constructed of either of the following materials: Steel "1" or "1 1/2" type, or 2" x 2" hardwood.
- Woven Wire used as additional fence support shall be Minimum 14.5 gauge with six (6) inch Maximum Mesh Spacing.
- Woven Wire shall be placed along the uphill side of the fence and fastened with Wire Ties or one (1) inch staples along the uphill side of the posts.
- Filter Fabric shall be fastened to Woven Wire according to Manufacturer's recommendation, or with ties every twenty four (24) inches at the top and mid-sections.
- Where two pieces of Filter Fabric adjoin each other they shall be overlapped by six (6) inches and folded together.
- Where two posts meet to join fence sections, the tops of the posts shall be secured together with wire.
- The fence shall be constructed along the contour as much as possible.
- Ends of fences shall be extended up the slope to prevent runoff from migrating around the end of the fence.
- Inspection of the fence shall be performed weekly, or immediately after a rain event, or when bulges appear in the fence. accumulated silt shall not be allowed to exceed half the height of the fabric, repair and or replacement of damaged fence shall be completed promptly.
- Accumulated silt shall be removed and disposed of in an approved site in such a manner that it will not contribute to off-site siltation.
- All fencing shall be removed when the construction site is fully stabilized so as to not impede storm flow or drainage.
- Pre-fabricated units do not require the use of woven wire fence.



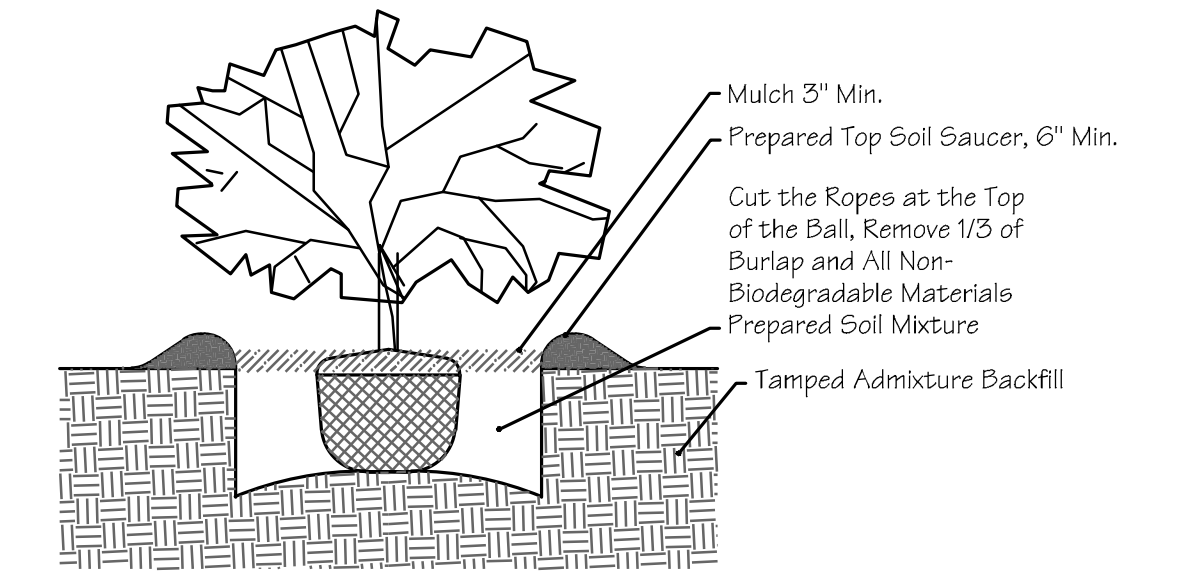
SCALE: 3/4" = 1'-0"



Silt Fence (ER-SF)
Scale: As Noted

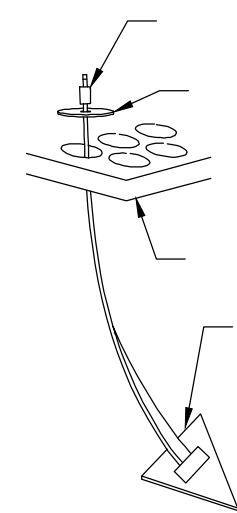


Tree Planting Detail
Scale: N.T.S.

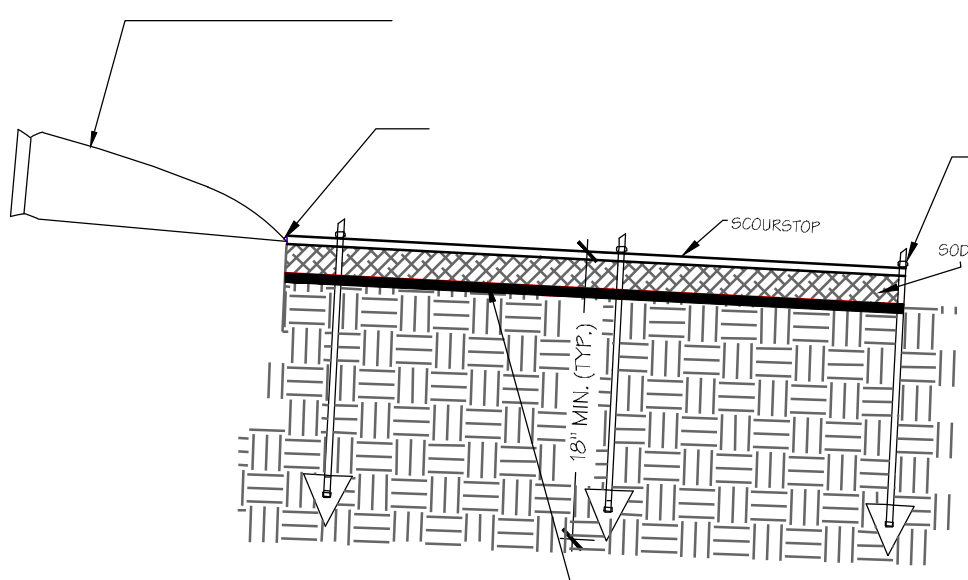
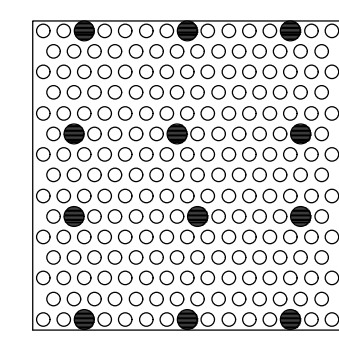


Shrub Planting Detail
Scale: N.T.S.

NON-COHESIVE SOILS SCOURSTOP TRANSITION MAT INSTALLATION DETAILS



PIPE DIAMETER	DISCHARGE (GPM)	SCOURSTOP WIDTH/LENGTH
12"	8	4' x 4'
24"	30	4' x 6'
36"	75	8' x 12'
48"	100	12' x 16'
60"	150	17' x 20'
72"+		SEE DETAILS



Scour Stop Pad Protection
Scale: NTS

This Large Scale Development has been reviewed for general compliance with the City of Tontitown Zoning and Planning Ordinances. Oversight of any regulations does not relieve the Owner of their responsibility to comply with all regulations.

Terry W. Carpenter, P.E.
Tontitown City Engineer, October 26, 2015

REVISIONS:		
No.	DESCRIPTION	DATE

Erosion Control Details	Large Scale Development For:			BLEW & ASSOCIATES, PA CIVIL ENGINEERS & LAND SURVEYORS 524 W. SYCAMORE ST, SUITE 4 FAYETTEVILLE, ARKANSAS 72703 OFFICE: 479.443.4506 FAX: 479.582.1883 www.BLEWINC.com Certificate of Authorization No 1534
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	DRAWN BY: C. Zardin SUBMITTAL DATE: 2015-10-20	JOB NUMBER: 15-937 DRAWING NAME: 15-937 Details 001.dwg	SCALE: As Noted SHEET NUMBER: C3-2	

Proposed Features:

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	Ditch Line
	Fault Line / Grade Change
	Storm Pipe (See Grading Plan For Type And Size)
	Retaining Wall
	See Utility Plan For Line Size
	Water Line
	Tee, Cross, Bends, Gate Valve & Reducer
	Fire Hydrant & Assembly
	Single Water Meter
	Double Water Meter
	Sanitary Sewer Force Main
	Sanitary Sewer Line
	Sanitary Sewer Manhole
	Utility Pole
	Light Pole

Note:
 • See Survey For Existing Features Legend.
 • See Cover Sheet For Abbreviation List.

Grading Notes:

PRE-CONSTRUCTION:
 X Prior to start of site grading, erosion control measures shall be installed in accordance to the erosion control plan. These erosion control measures, as a minimum, shall include all silt fencing, temporary sediment ponds, temporary construction entrance, and any other measures necessary to ensure that sediment does not leave the site.

X Contractor shall notify the appropriate Utility Companies and the State One-Call System a minimum of 48 hours prior to any excavation for the location of all underground utility lines that will be affected by this development. Please note that existing utilities noted on plan have been located with all available information and that exact location of utility lines may not be accurate.

X A pre-construction meeting shall be held on site once ALL Erosion Control Measures have been installed and prior to any site grading / construction / demolition.

GENERAL:

X Contractor shall install/use all required equipment so as to comply with all safety standards dictated by OSHA, Federal, State, and Local Regulations.

X Contractor shall coordinate with appropriate Utility Company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
 X Areas to be graded shall be cleared and grubbed so as to remove all organic material including but not limited to vegetation, trees, roots, debris or other materials that would affect the stability of the fill. If uncertainty exists as to the suitability of any material, the contractor shall have a Registered Geotechnical Engineer make the final determination.

X Contractor shall ensure that the fill material be free of organic materials, frozen materials, muck, highly compressible materials, rocks, rubbish, timber, brush, stumps, building debris, and other materials that would negatively affect the fill material.

X Contractor shall stock pile and maintain all good top soil removed from areas to be graded and filled for use in final grading all critical / unpaved areas.

X Contractor shall proof roll subgrade of all areas to be paved prior to installation of paving materials. Any soft areas shall be removed and replaced with select fill and compacted as noted in the pavement section shown on the detail sheet.

X Contractor shall employ a Geotechnical Engineering / Inspection Firm registered with the State of Arkansas for inspection and testing of subgrade for proper compaction (95% standard proctor).

STORM SYSTEM:

X All drainage structures under paved areas and / or areas expecting heavy duty traffic loading shall be designed to meet AASHTO Heavy Duty (HD) traffic loading.

X Storm pipe / box shall be bedded in accordance with the bedding detail and in accordance with the specifications of ASTM D2321 (latest edition available at <http://www.ASTM.org>).

X Storm system is measured from the center of the box and from the end of the flared end sections.

X Drainage structures shall be constructed so that the appropriate section of the box, such as the gutter for curb inlets, the grate for drop inlets, is at an elevation that will allow for the maximum drainage into the box in accordance with proposed grades and spot elevation shown on the plan. The contractor shall notify the engineer of record in the event of a discrepancy.

X All drainage structures located within the State or Local Right of Way shall be constructed in accordance with the specifications and details of the Appropriate Governing Agency.

POST-CONSTRUCTION:

X Contractor shall clearly any area to receive top soil to a min. depth of 3".

X All unpaved disturbed areas shall be graded smooth and receive a minimum of 4" of topsoil. The area shall be seeded and / or sodded in accordance with the landscape plan. The area shall be watered until a hardy cover of grass has been established and 70% of the site has been stabilized in accordance with ADEQ'S Construction General Permit (ARR150000).

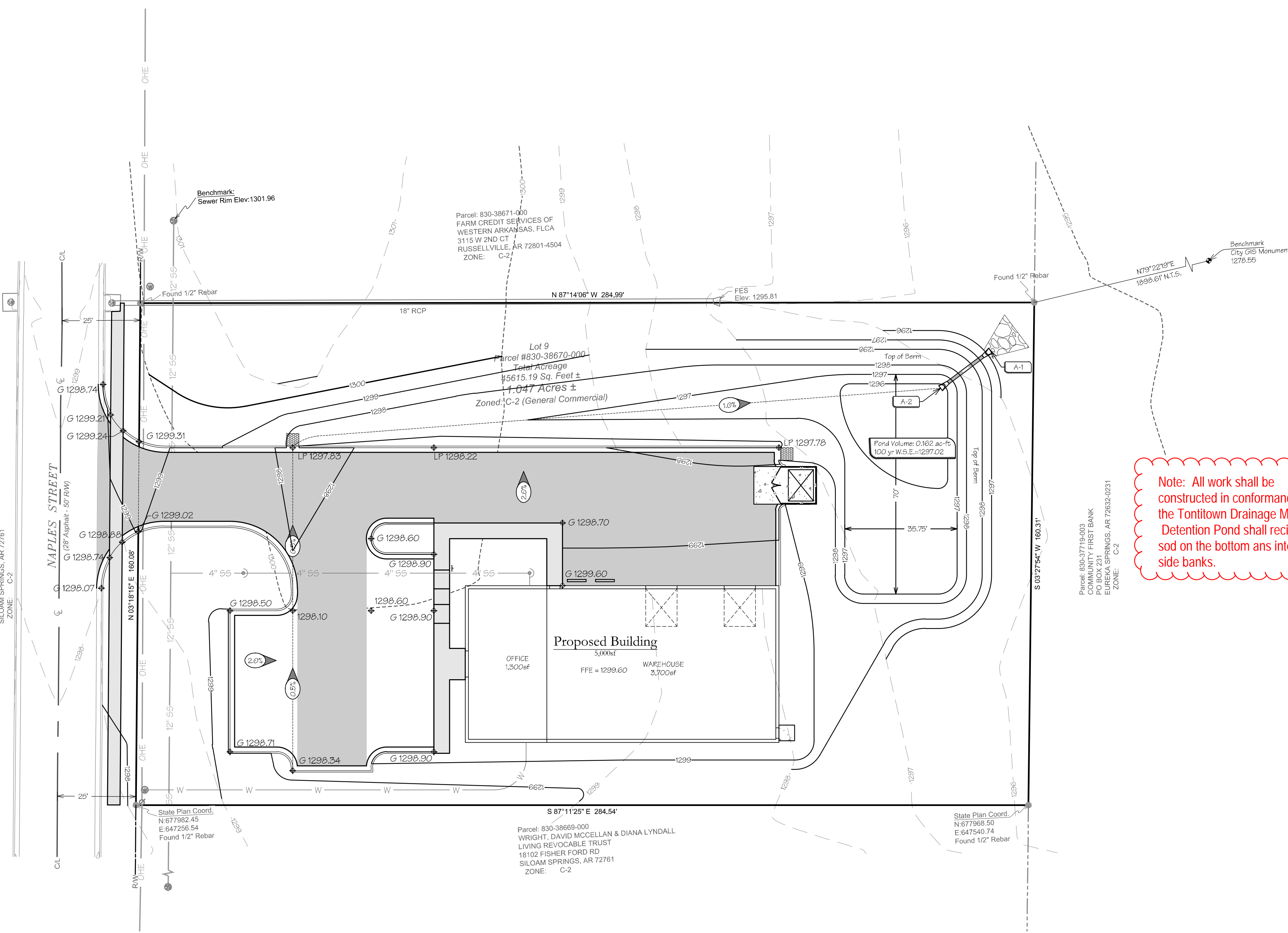
X Once the site has reached final stabilization in accordance to the requirements set forth in adeq's construction general permit, the contractor shall file a notice of termination.

Storm Sewer Schedule^{1,2}

Inlet Up	Top Elev.	Inv. Up	Length	Size	Type	Slope	Inv. Dn	Inlet Dn
STORM LINE, "A"								
A-2	FE5	1295.68	20 LF	12 in	RCP	@ 0.50%	1295.58	A-1

¹ - Storm Sewer Pipes shall be Reinforced Concrete Pipe, Class III per ASTM C-76, with flexible plastic bitumen gaskets at joints.

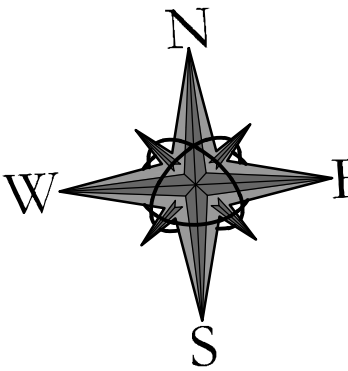
² - Pipes not located under pavement areas are permitted to be High Density Poly Ethylene Pipe (HDPE) or Smooth Lined Metal Pipe (SLMP). Both types of pipes shall have a minimum Manning's "n" value of 0.015 to be verified by the Engineer of Record.



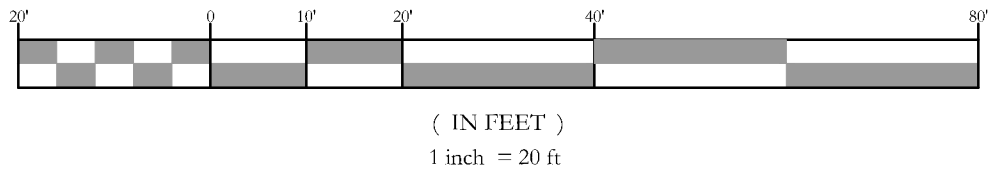
Note: All work shall be constructed in conformance to the Tontitown Drainage Manual. Detention Pond shall receive sod on the bottom and interior side banks.



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GRAPHIC SCALE



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NO.	DESCRIPTION	DATE

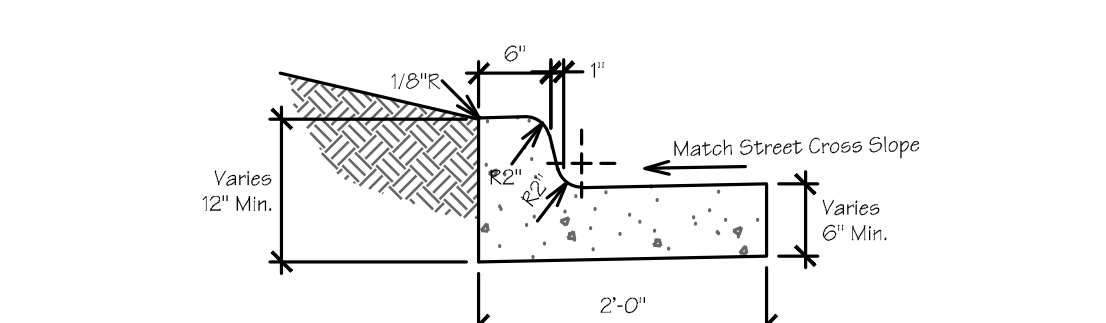
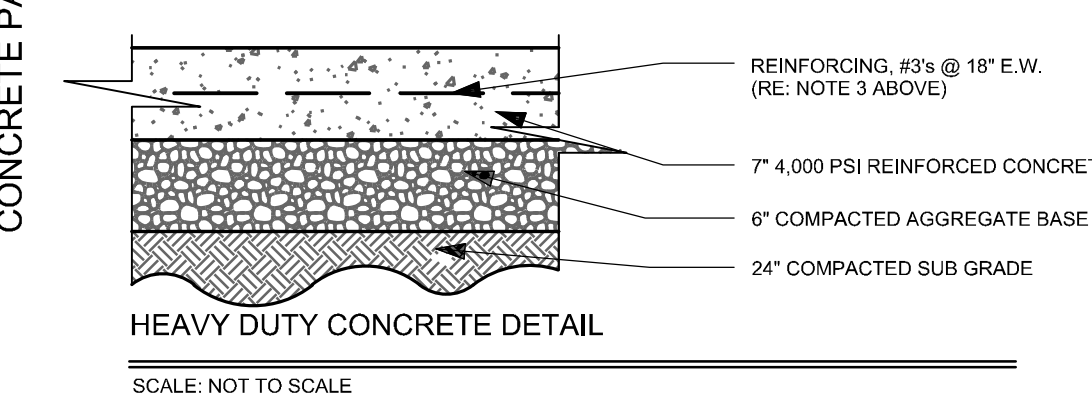
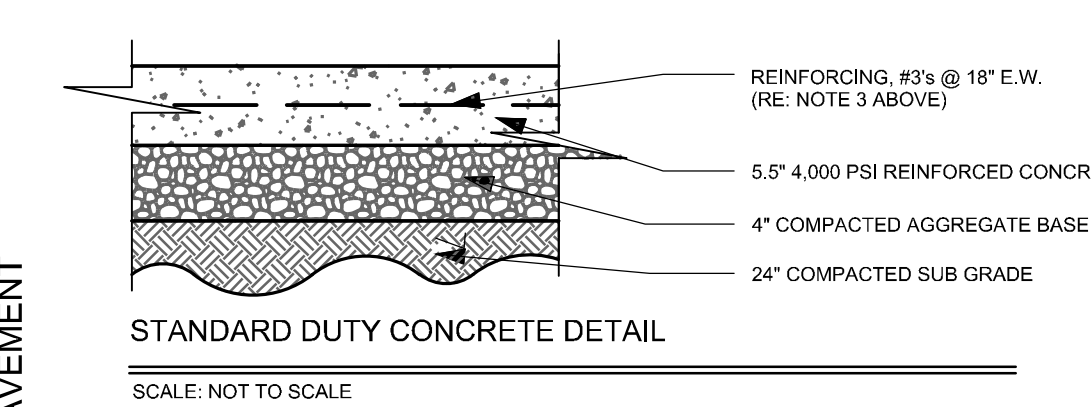
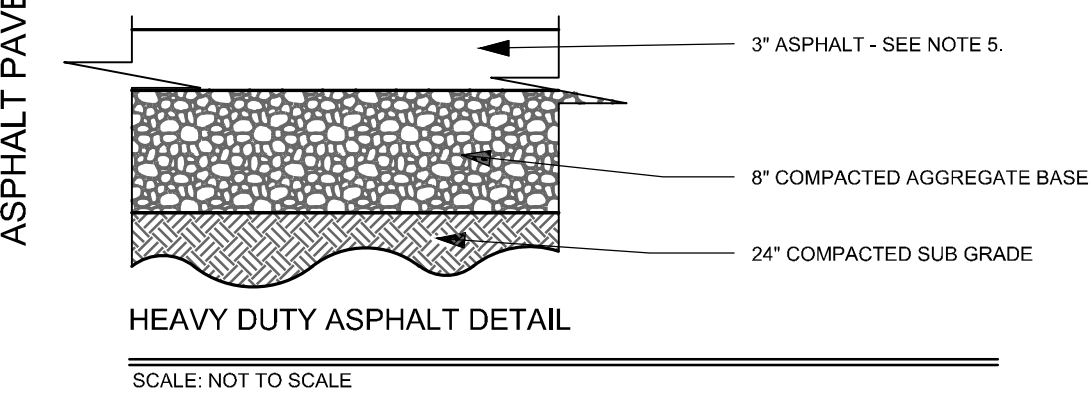
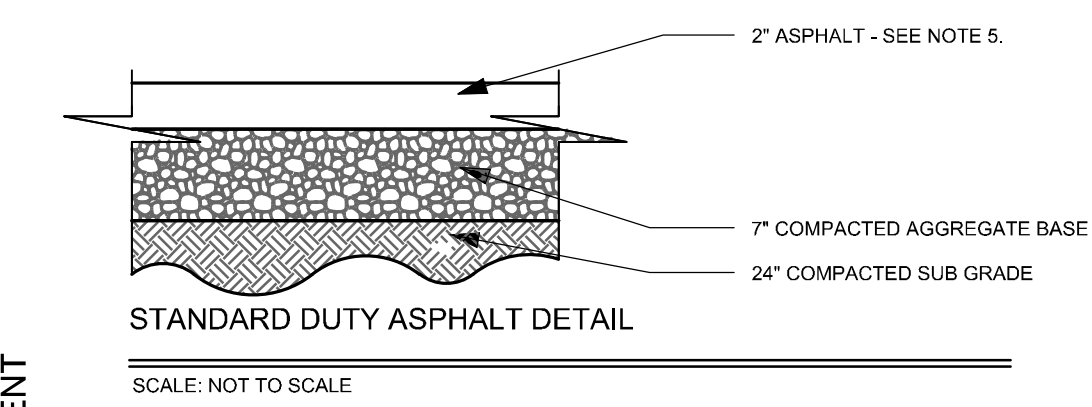
This Large Scale Development has been reviewed for general compliance with the City of Tontitown Zoning and Planning Ordinances. Oversight of any regulations does not relieve the Owner of their responsibility to comply with all regulations.

Terry W. Carpenter, P.E.
Tontitown City Engineer, October 26, 2015

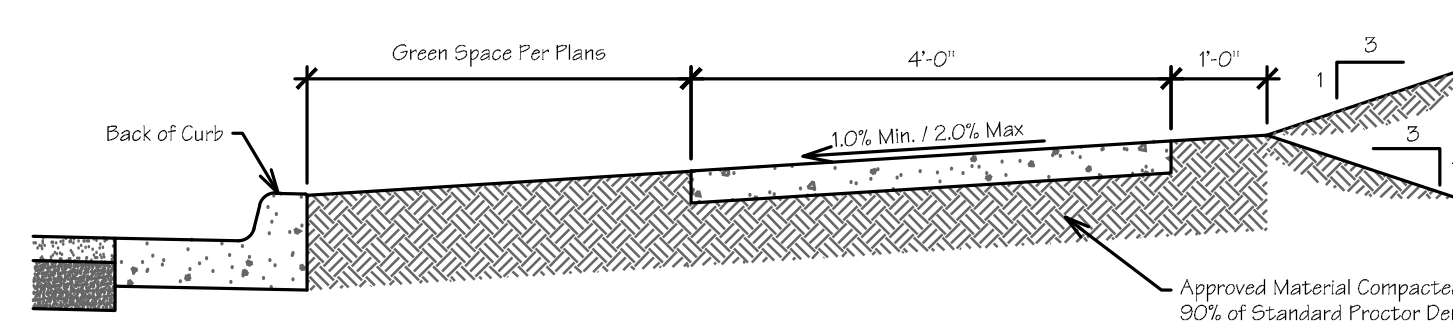
NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!

Grading and Drainage Plan	Large Scale Development For:						
	Automatic Door Naples Street Crosey Properties, LLC 3013 Corporate Center Bryant, AR 72022				BLEW & ASSOCIATES, PA CIVIL ENGINEERS & LAND SURVEYORS 524 W. SYCAMORE ST, SUITE 4 FAYETTEVILLE, ARKANSAS 72703 OFFICE: 479.443.4506 FAX: 479.582.1883 www.BLEWINC.com		
DRAWN BY:	C. Zardin	JOB NUMBER:	15-937	SCALE:	As Noted	Certificate of Authorization No 1534	
SUBMITTAL DATE:	2015-10-20	DRAWING NAME:	15-937 Civil 002.dwg		C4		

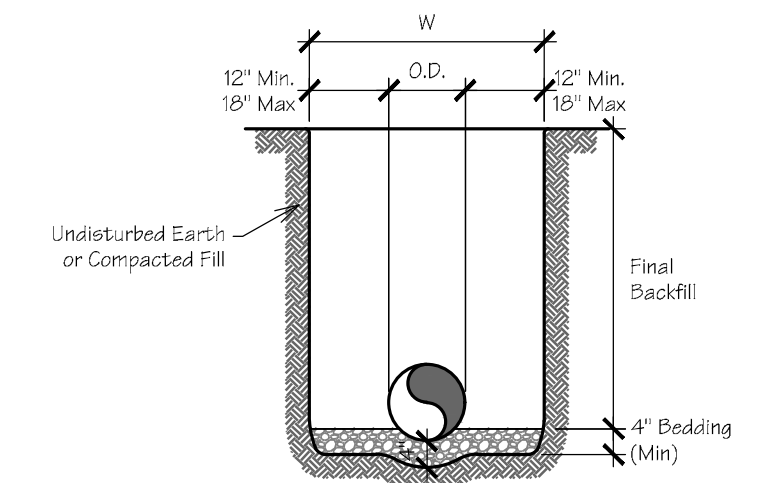
- PAVEMENT DETAILS**
1. THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. WHERE EXISTING SUBGRADE MATERIALS ARE UNSUITABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
 2. HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT (AS RECOMMENDED BY THE GEOTECHNICAL REPORT) SHALL BE STEEL REINFORCED. REINFORCEMENT TYPE SHALL BE #3S @ 18" E.W.
 3. ALL JOINTS MUST BE SEALED WITH AN APPROVED SEALANT. STEEL REINFORCING SHALL BE USED AT JOINTS. REFER TO ACI 308R (GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS) FOR JOINT DESIGN AND LAYOUT.
 4. THE DENSITY OF ALL ASPHALT PAVING SHALL BE BETWEEN 90% AND 96% (ASTM D2041). TESTING BY GC.



- Notes:**
1. Concrete for Curb and Gutter to be Class A, 3,000 psi, 5.5 Bag Mix with 4-7% Air Entrainment.
 2. All Curb and Gutter shall have a broomed finish unless otherwise specified.
 3. Modified Curb (Type I) shall be placed across all Driveway Entrances.
 4. Modified Curb (Type II) shall be placed across All Side Streets where the longitudinal grade is Less than 1%.
 5. Saw Cut Joints at 15'-0" o.c. Seal with one part cold applied Silicone Joint Sealer or Other Approved Sealant. All Joints to be Sealed Prior to Final Asphalt Placement.
 6. Provide 1/2" preformed Expansion Joint Material (Asphalt Impregnated Fiberboard or other Approved Material) at Stationary Structures (Drop Inlets, End of Curbs, Driveways - See Detail) or as Directed by Engineer.

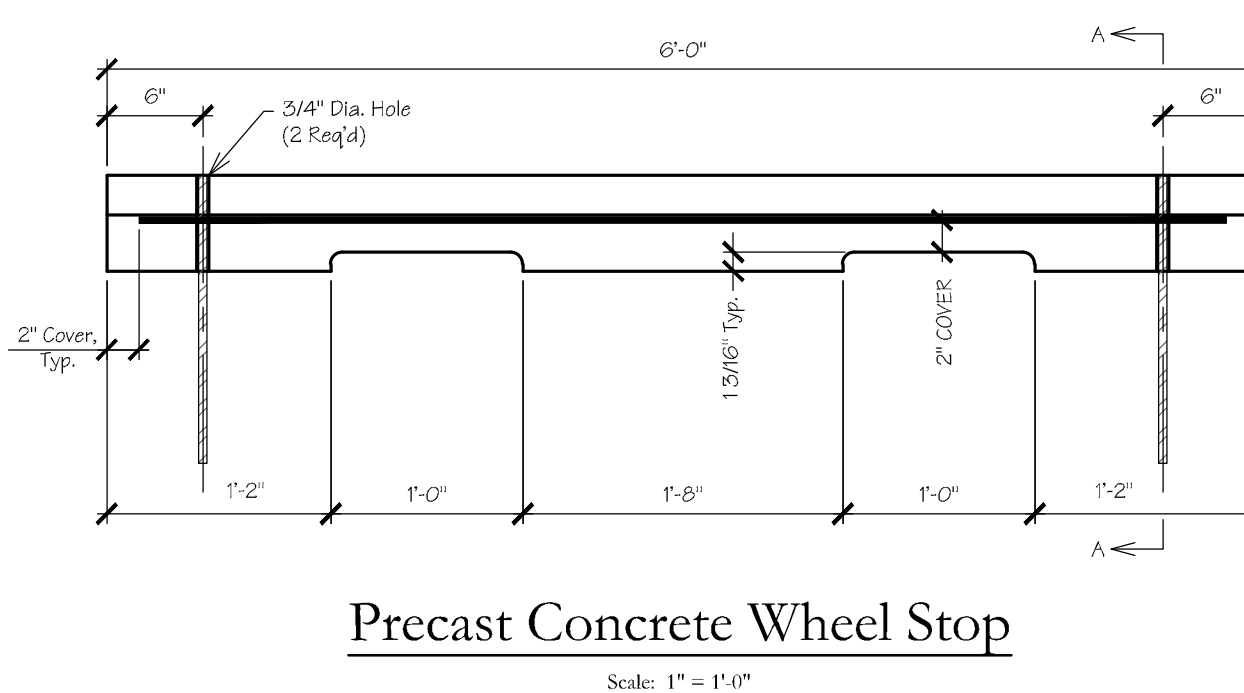
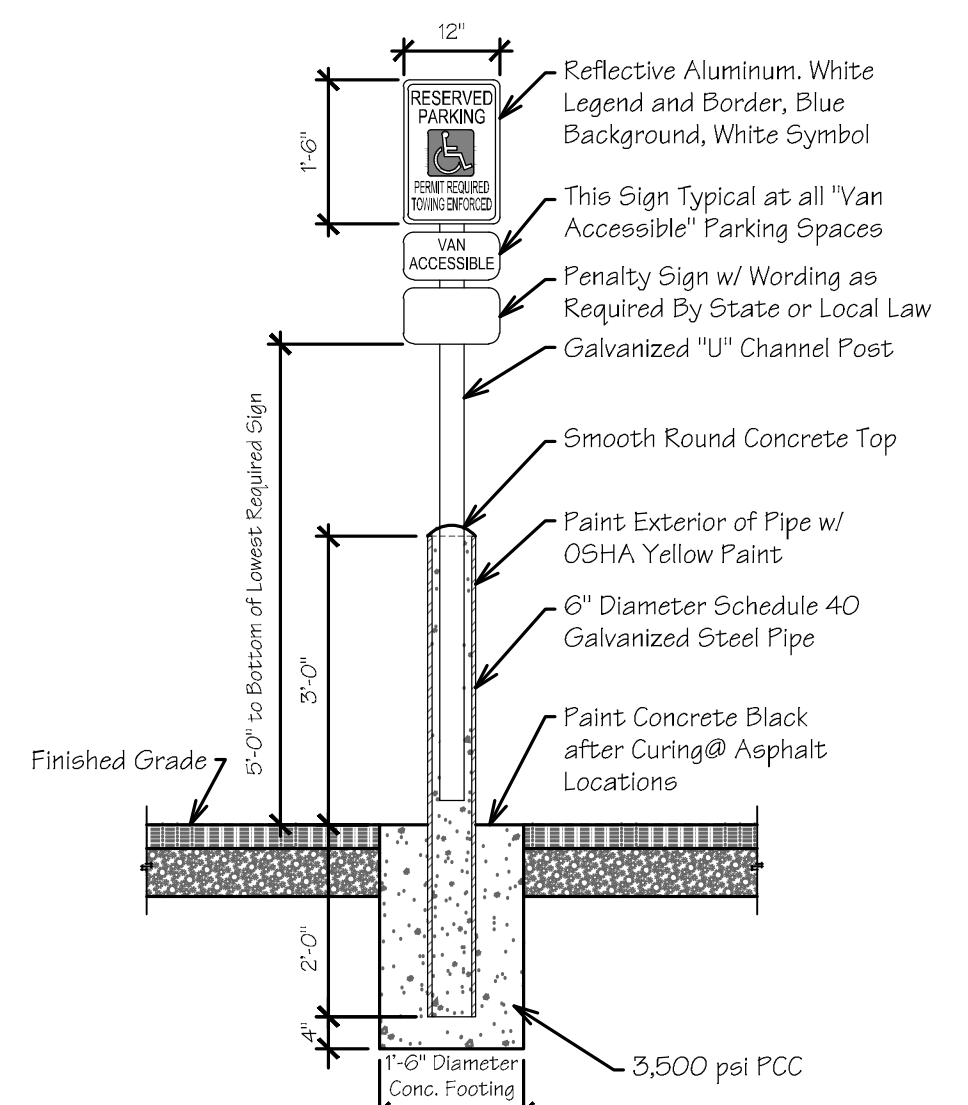
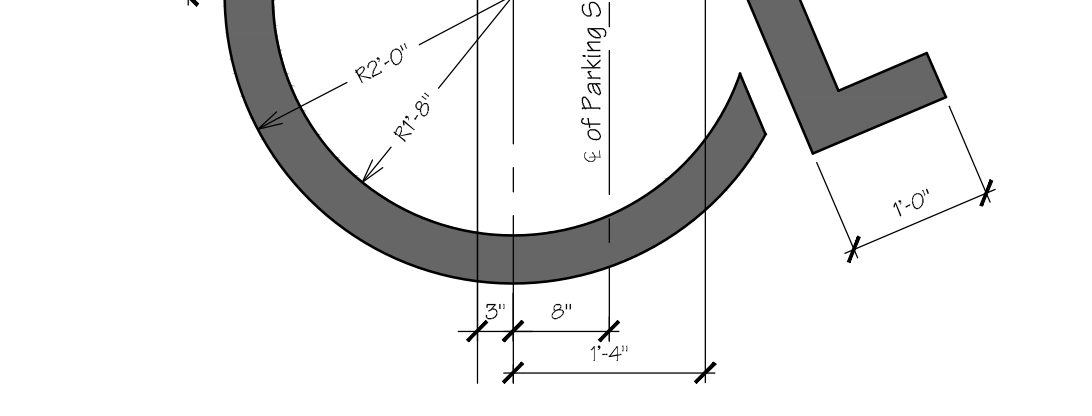
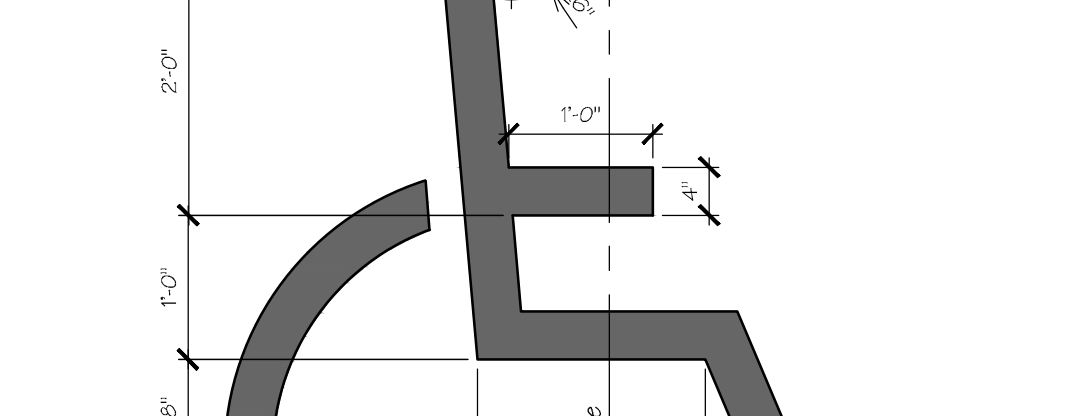
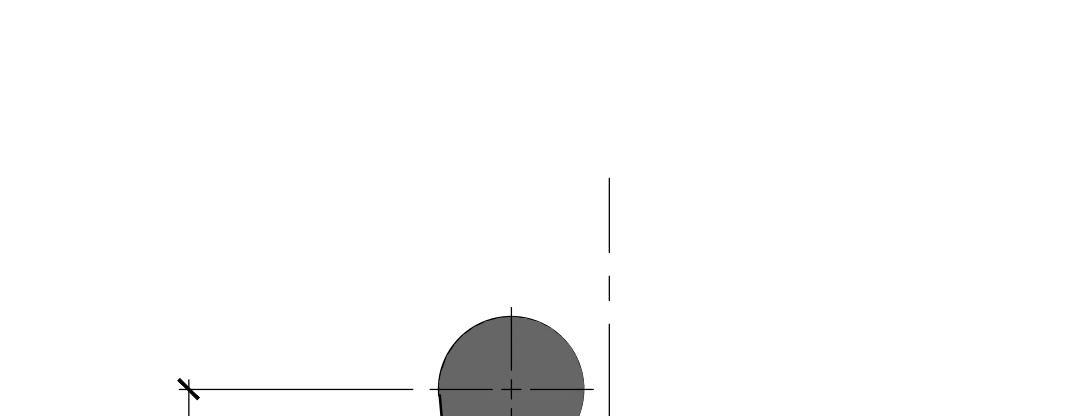
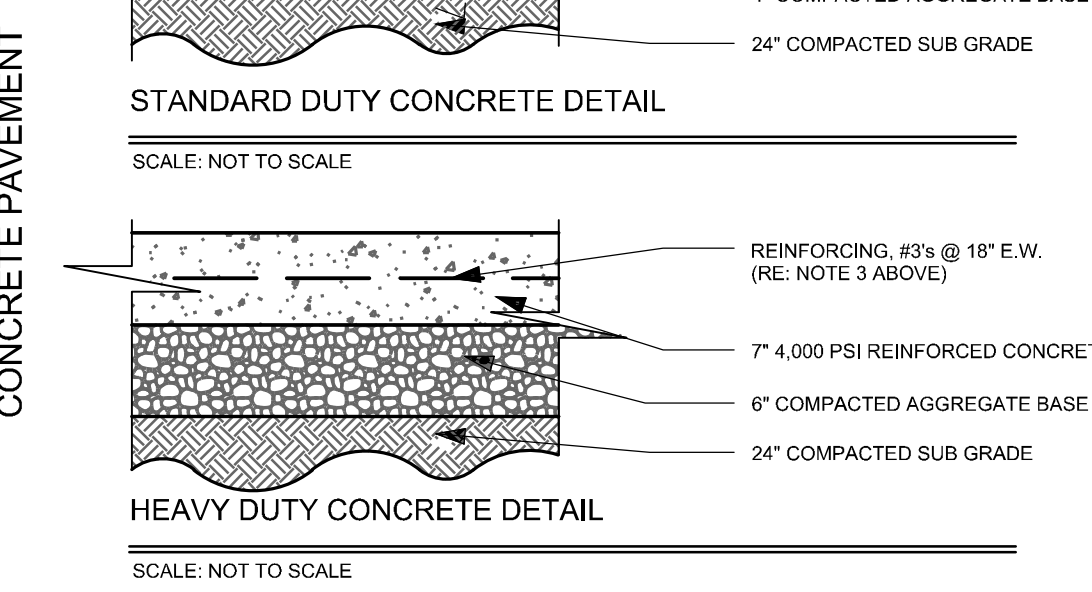


- Notes:**
1. 1/2" Asphalt Impregnated w/ Fiberboard Expansion Material Conforming to AASHTO M213 to be placed at all Driveways, at maximum 200' intervals, or as Directed by Engineer.
 2. Transverse Joints to be placed at 5' Intervals Perpendicular to Sidewalk.
 3. Sawed Joints may be used instead of Tooled Joints. All sawed joints shall be sealed using an approved sealant.
 4. Other Joints may be required if directed by the Engineer.
 5. Concrete for Sidewalk to be Class A, 3,000 psi, 5.5 Bag Mix w/ 4-7% Air Entrainment.



- GENERAL NOTES**
1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
 2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
 3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
 4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
 5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
 6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
 7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-00.
 8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
 9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

Storm Sewer Trench and Bedding
NOTE TO SCALE

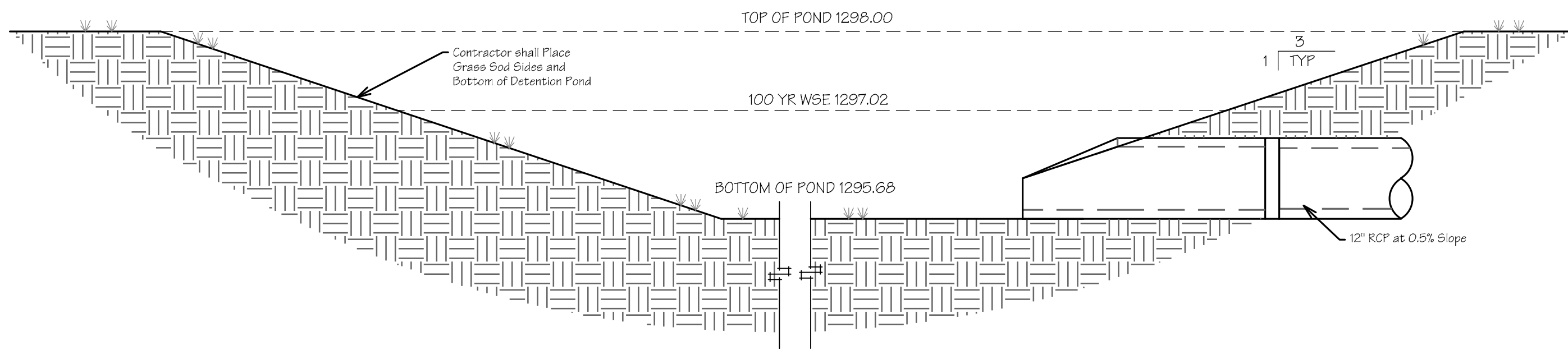


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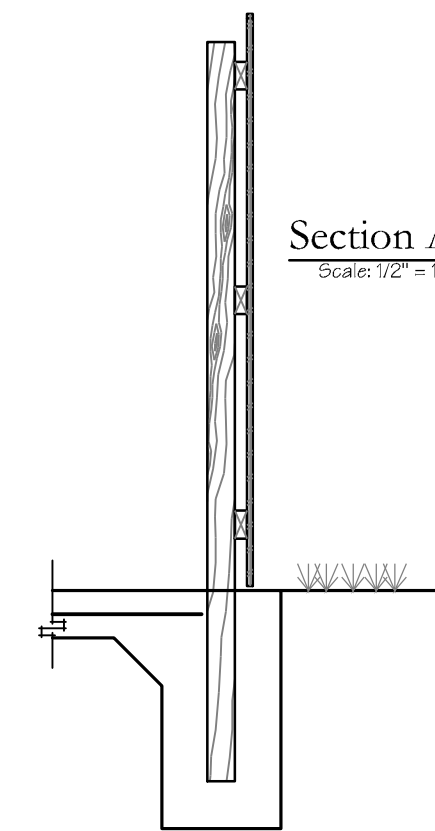
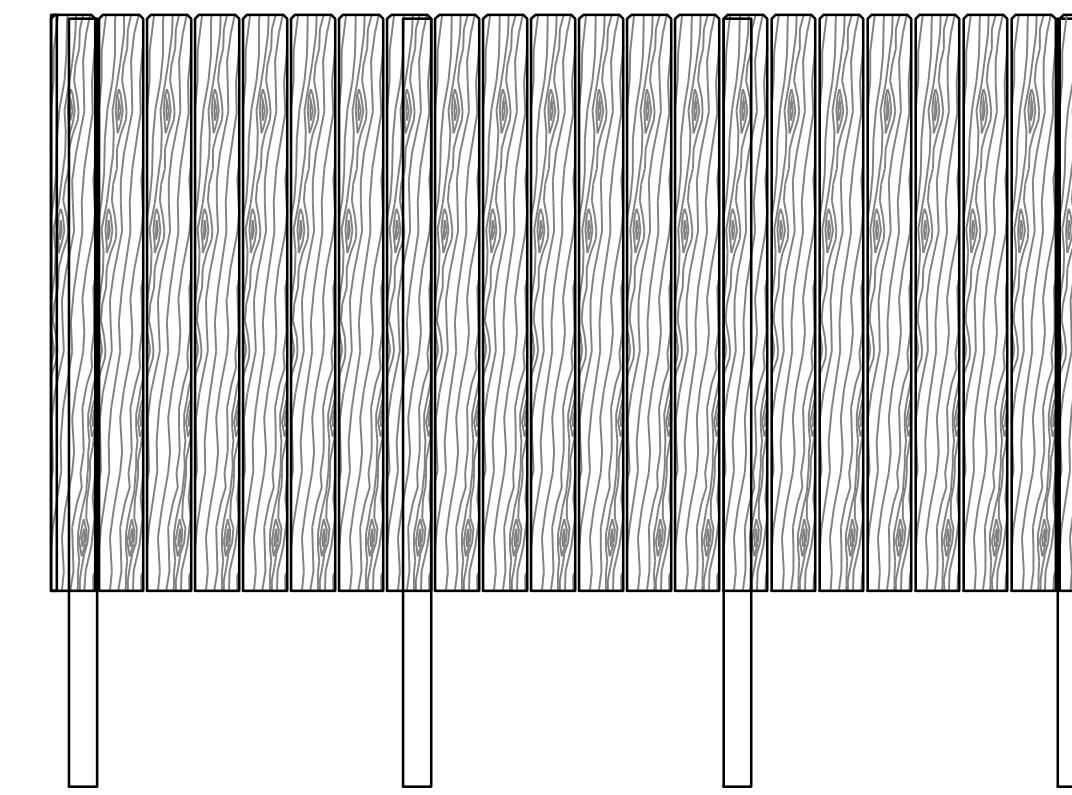
Terry W. Carpenter, P.E.
Tontitown City Engineer, October 26, 2015

REVISIONS:		
No:	DESCRIPTION	DATE:

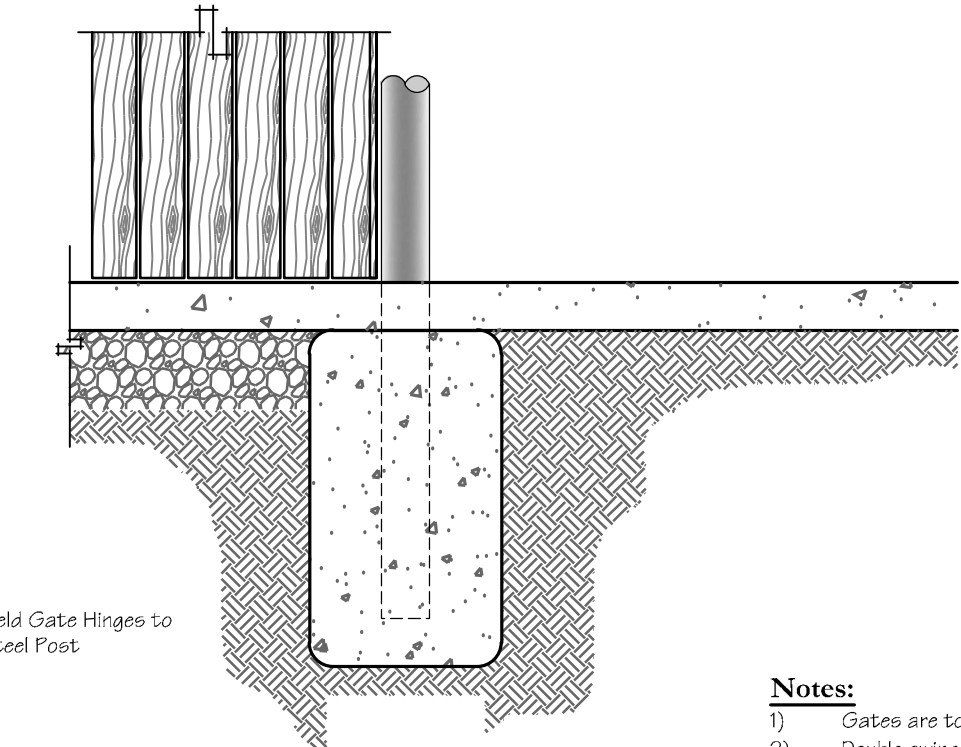
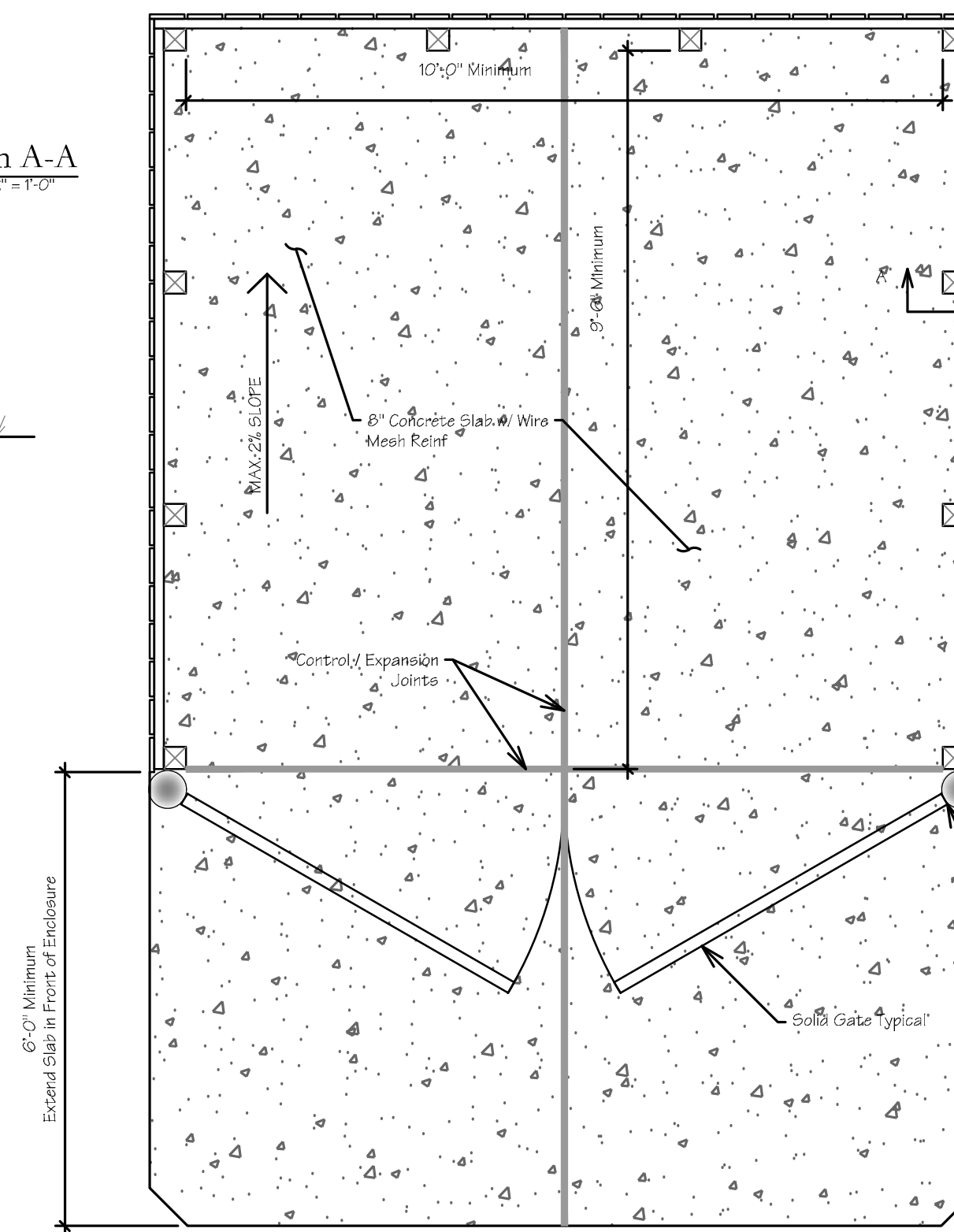
Details	Large Scale Development For:			FORM
	Automatic Door Naples Street Crosey Properties, LLC 3013 Corporate Center Bryant, AR 72022			
DRAWN BY: C. Zardin SUBMITTAL DATE: 2015-10-20	JOB NUMBER: 15-937 DRAWING NAME: 15-937 Details 001.dwg	SCALE: As Noted	SHEET NUMBER: C6-1	



Pond Cross Section
Scale: 3/4" = 1'-0"

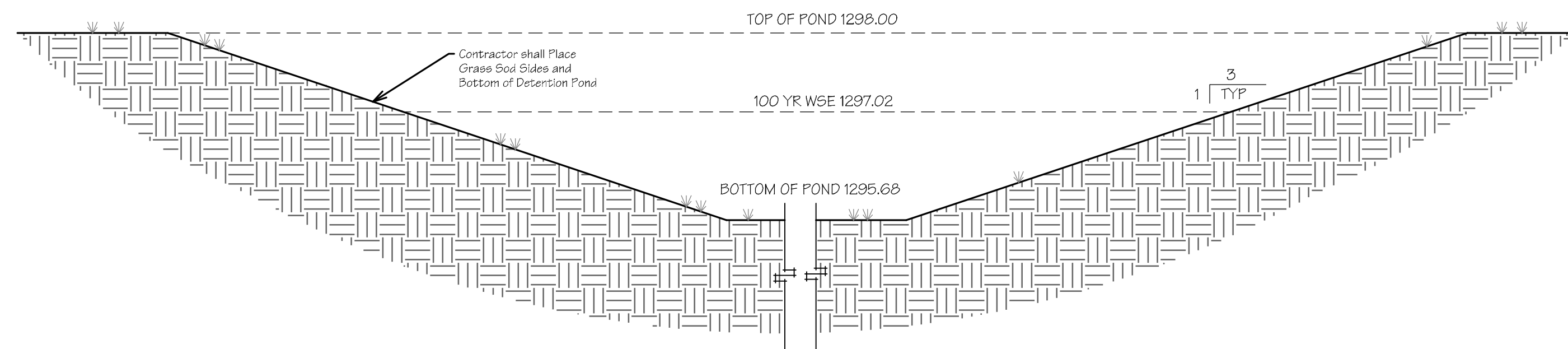


Section A-A
Scale: 1/2" = 1'-0"



Door Footing
Scale: 1/2" = 1'-0"

- Notes:**
- 1) Gates are to be of solid construction.
 - 2) Double swing gates shall have the swivel spots outside of the opening area of the enclosure. Swivel points shall be attached to concrete filled steel posts/ columns at ends of walls.
 - 3) Minimum wall and gate height to be 6'-0".
 - 4) Concrete shall be Air-Entrained with a minimum compressive strength of 3500 psi.
 - 5) 8" Concrete Floor Slab shall be poured over 4" of Class 7 Compacted Base Course Compacted to 95% Minimum Dry Density.



Pond Cross Section
Scale: 3/4" = 1'-0"

Concrete Block Trash Enclosure
Scale: As Noted

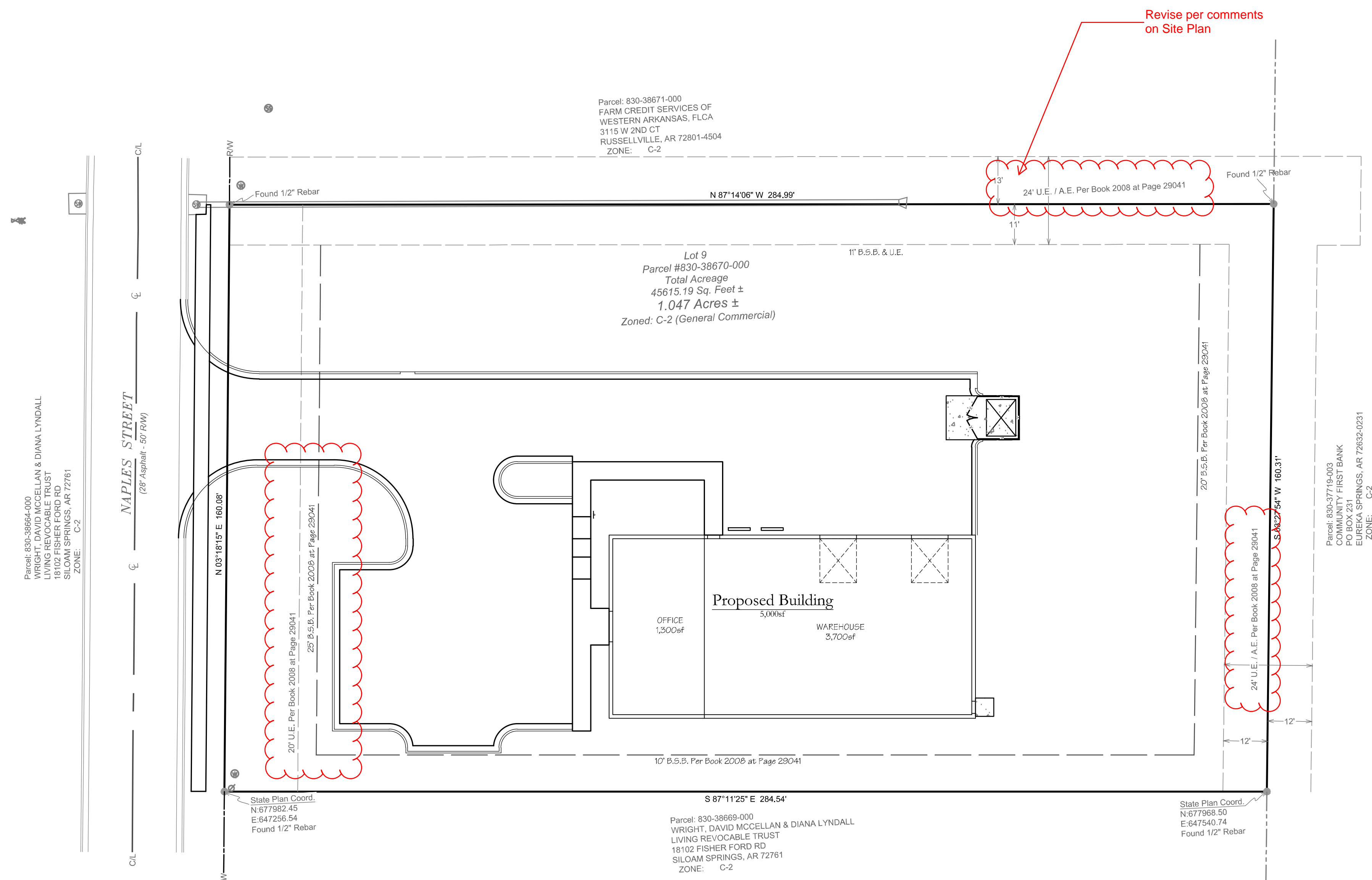
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Tontitown City Engineer, October 26, 2015

REVISIONS:		
No.	DESCRIPTION	DATE

Details	Large Scale Development For:			BLEW & ASSOCIATES, PA CIVIL ENGINEERS & LAND SURVEYORS 524 W. SYCAMORE ST, SUITE 4 FAYETTEVILLE, ARKANSAS 72703 OFFICE: 479.443.4506 FAX: 479.582.1883 www.BLEWINC.com Certificate of Authorization No 1534
	Automatic Door Naples Street Crosey Properties, LLC 3013 Corporate Center Bryant, AR 72022			
DRAWN BY: C. Zardin SUBMITTAL DATE: 2015-10-20	JOB NUMBER: 15-937 DRAWING NAME: 15-937 Details 001.dwg	SCALE: As Noted	SHEET NUMBER: C6-2	

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Revise per comments on Site Plan

Parcel: 830-38664-000
 WRIGHT, DAVID MCELLEN & DIANA LYNDALL
 LIVING REVOCABLE TRUST
 18102 FISHER FORD RD
 SILOAM SPRINGS, AR 72761
 ZONE: C-2

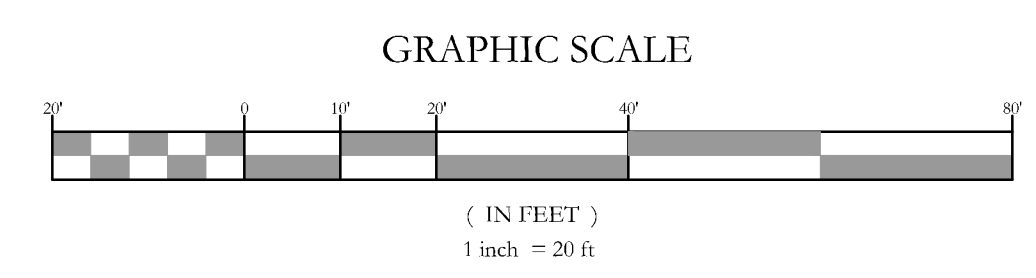
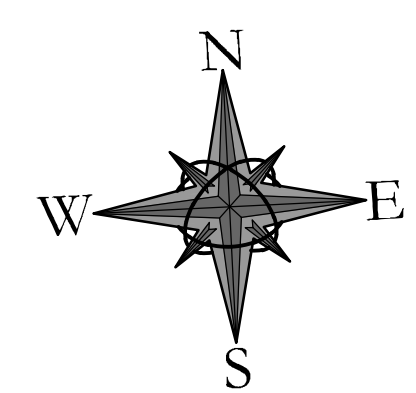
Parcel: 830-38671-000
 FARM CREDIT SERVICES OF
 WESTERN ARKANSAS, FLCA
 3115 W 2ND CT
 RUSSELLVILLE, AR 72801-4504
 ZONE: C-2

Lot 9
 Parcel #830-38670-000
 Total Acreage
 45615.19 Sq. Feet ±
 1,047 Acres ±
 Zoned: C-2 (General Commercial)

Parcel: 830-37719-003
 FIRST BANK
 PO BOX 231
 EUREKA SPRINGS, AR 78332-0231
 ZONE: C-2



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 Tontitown City Engineer, October 26, 2015

NOT FOR CONSTRUCTION FOR REVIEW ONLY!!!

REVISIONS:		
No.	DESCRIPTION	DATE

Easement Plan	Large Scale Development For: Automatic Door Naples Street Crosetberry Properties, LLC 3013 Corporate Center Bryant, AR 72022			BLEW & ASSOCIATES, PA CIVIL ENGINEERS & LAND SURVEYORS 524 W. SYCAMORE ST, SUITE 4 FAYETTEVILLE, ARKANSAS 72703 OFFICE: 479.443.4506 FAX: 479.582.1883 www.BLEWINC.com Certificate of Authorization No 1534
	DRAWN BY: C. Zardin SUBMITTAL DATE: 2015-10-20	JOB NUMBER: 15-937 DRAWING NAME: 15-937 Civil 002.dwg	SCALE: As Noted SHEET NUMBER: C7	