

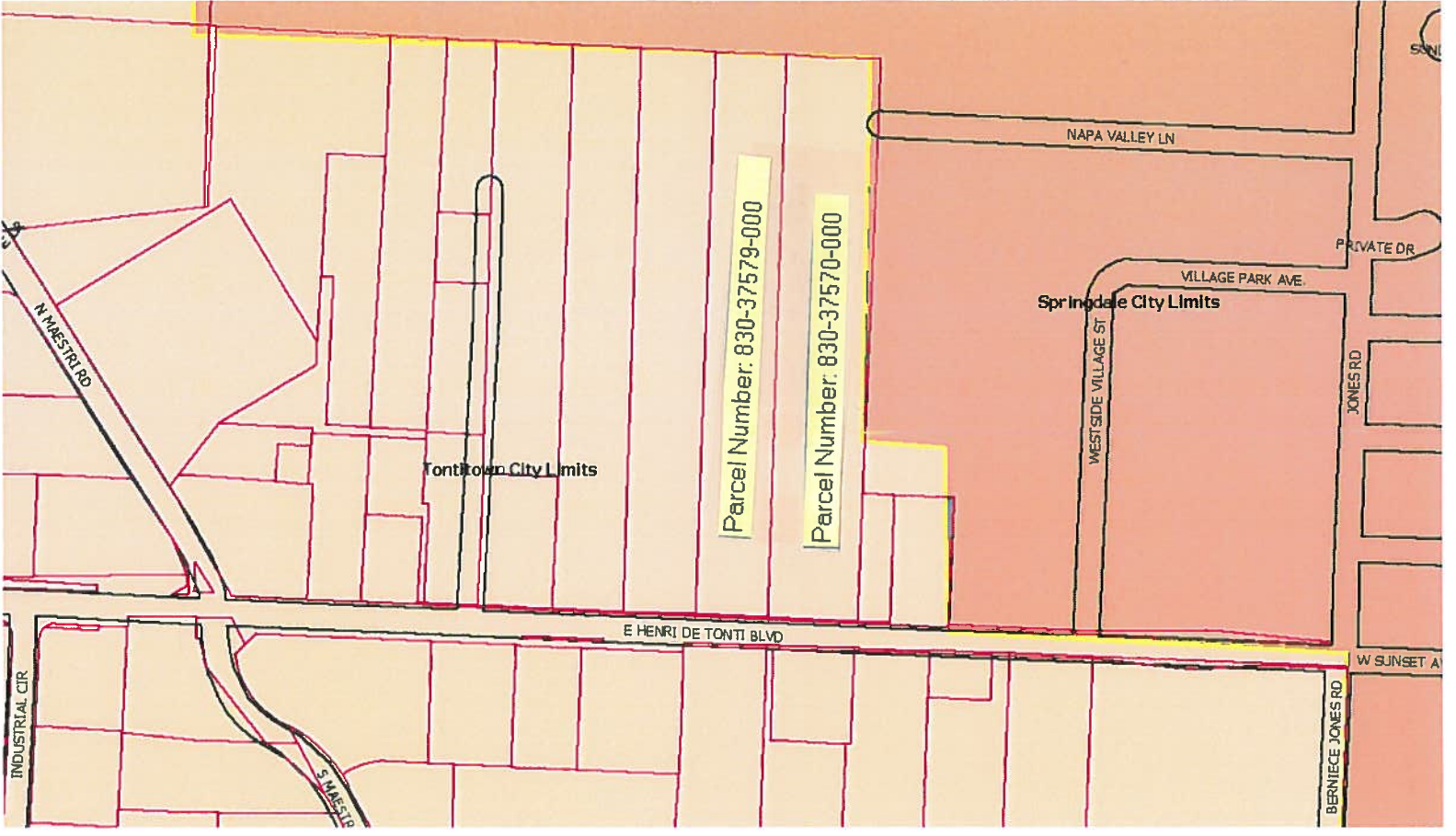
## PUBLIC HEARING NOTICE

The Tontitown Planning Commission will meet on Friday, October 2nd at 6:00 PM at City Hall to hear all those who wish to be heard regarding a change in zoning for properties located at 1192 and 1236 E. Henri de Tonti Blvd. The public is invited to attend and participate. Tontitown codes are available online at [www.tontitown.com](http://www.tontitown.com).

To be published one (1) time on Wednesday, September 16, 2015.

Please direct any questions regarding this request to: James Clark (Public Works Director) 479-361-2700

Please send bill and proof-of-publication to: Recorder-Treasurer  
P.O. Box 305  
Tontitown, AR 72770



Parcel Number: 830-37579-000

Parcel Number: 830-37570-000

Tontitown City Limits

Springdale City Limits

NAPA VALLEY LN

VILLAGE PARK AVE

PRIVATE DR

JONES RD

W SUNSET A

E HENRI DE TONTI BLVD

WESTSIDE VILLAGE ST

BERNICE JONES RD

INDUSTRIAL CIR

N MESTIER RD

S MESTIER

## **OVERALL DEVELOPMENT PLAN**

### **10.67 ACRES ALONG HWY 412**

This document outlines plans for mixed-use development of an approximately 10.67 acre tract along the north side of Highway 412 approximately 8,000 feet west of Interstate 49 in Tontitown, Arkansas. The properties are identified as Parcels 830-37579-000 and 830-37570-000 according to the Washington County Assessor, and is currently zoned C-2, General Commercial. The development will include multi-family townhouses and multi-family flats on 9.57 acres of the property. The remaining 1.10 acres will remain C-2. Directly northeast of the proposed development is the Vineyards multi-family residential subdivision.

The purpose of this development is to provide multiple housing options along Highway 412. The townhouse/flat combination will be comparable to the Vineyard Subdivision. The layout also allows for portion of the property to the south to remain commercial for future development.

The development includes one zoning district: PRD

#### **A) PRD, Planned Residential Development**

The 9.57 acres of proposed development includes townhouses and Flats within a Planned Residential District (PRD). A total of 22 buildings are proposed using a combination of five different types. Building Types A and B will be six units each, Building Type C and D will have eight units each, and Building Type E will have sixteen units. All of the buildings will include varied rooflines, colors, and architectural elements, but all will have a consistent unifying overall theme and appearance. The streets within the PRD will be private, and no on-street parking will be allowed. The PRD includes a large common open space just south of the Club House.

The multi-family residential portion of the development is proposed to be developed as a PRD for the following reasons:

- The development plan and zoning change will be reviewed in one process. This will prevent concerns regarding a “bait and switch” whereby the city and adjacent owners are potentially misled regarding the type of development to be undertaken and provide clarity and transparency for all parties regarding the characteristics of the development.
- The approved PRD plan will remain intact even if transfer of ownership were to occur, ensuring that the multi-family development can only be constructed as originally proposed.
- The approved PRD will represent a commitment by both the developer and the City.
- The approved PRD allows enhanced design through flexibility and variance from the established site requirements and development standards of the Zoning and Subdivision Codes, providing for variation in design and arrangement of structures, and coordination of project characteristics with features of a particular site.
- The PRD process allows the Planning Commission and the City Council to make more informed decisions and thereby guide development more effectively in the best interest of the City.

The PRD infrastructure, including water, sewer, streets, sidewalks, open spaces, and lighting will all be constructed in one phase. Once the infrastructure is in place, the residential unit construction will begin. The PRD infrastructure, including water, sewer, streets, sidewalks, open spaces, and lighting will all be constructed in one phase. Once the infrastructure is in place, the residential unit construction will begin.

The PRD will permit the following uses:

- Dwelling – Townhouse or Rowhouse
- Park – Neighborhood

Development of a PRD allows for modification of certain development standards. The following section details which of the allowable modifications are requested in the proposed PRD. Due to the multi-family nature of the development and proposed density, the applicable portion of the Zoning Code serving as the basis for modifications is the R-4, High Density Residential District.

- Density: Residential density exceeds to Zoning Code (R-4 districts) - modification required to allow 16.3 density
- Building Setbacks: Proposed building setbacks for the PRD are as follows:

Front setback: 20'

Side setback: 20'

Rear Setback (along north line of PRD): 25'

- Height of buildings or structures: Building height will not exceed 40 feet which conforms to Zoning Code (all residential districts) - no modification required
- Lot size, depth, or width: Lot conforms to minimum area, depth and width requirements per Zoning Code (R-4 Districts) - no modification required
- Required off-street parking spaces – each unit has a 2-car attached garage and a driveway capable of parking two additional vehicles which conforms to off-street loading requirements – no modification required
- Street widths – Design standards for local streets require a minimum street section of 30 feet. The proposed private streets within the PRD will be 25' wide (measured from Back of Curb to Back of Curb). This is a modification reducing the street width by 5' compared to the requirement for a public street. This requested modification is in line with the Zoning Code §153.050 Planned Residential Development (PRD), (A) General Description, (4) Smart Growth and Traditional Neighborhood Design, (f) "Provide an interconnected network of narrow streets that are safe and pleasant for pedestrians and which provide a variety of routes for local traffic"

The zoning code requires a PRD to provide common open space of at least 15% of the net acreage of the PRD. With a net acreage of 9.57 acres, the minimum required common open space for the proposed

