



PLANS FOR

PRELIMINARY PLAT

ASPEN HEIGHTS

IN THE CITY OF

TONTITOWN, ARKANSAS

CABLE COMPANY: COX COMMUNICATION
CONTACT: MICHAEL MOORE
4901 SOUTH 48TH STREET
SPRINGDALE, AR 72762
PH: 479-717-3730
FAX: 479-872-0174
EMAIL: MICHAEL.MOORE3@COX.COM

TELEPHONE COMPANY: AT&T
CONTACT: JOHN HILL
PH. 479-442-1963
EMAIL: JH7313@ATT.COM

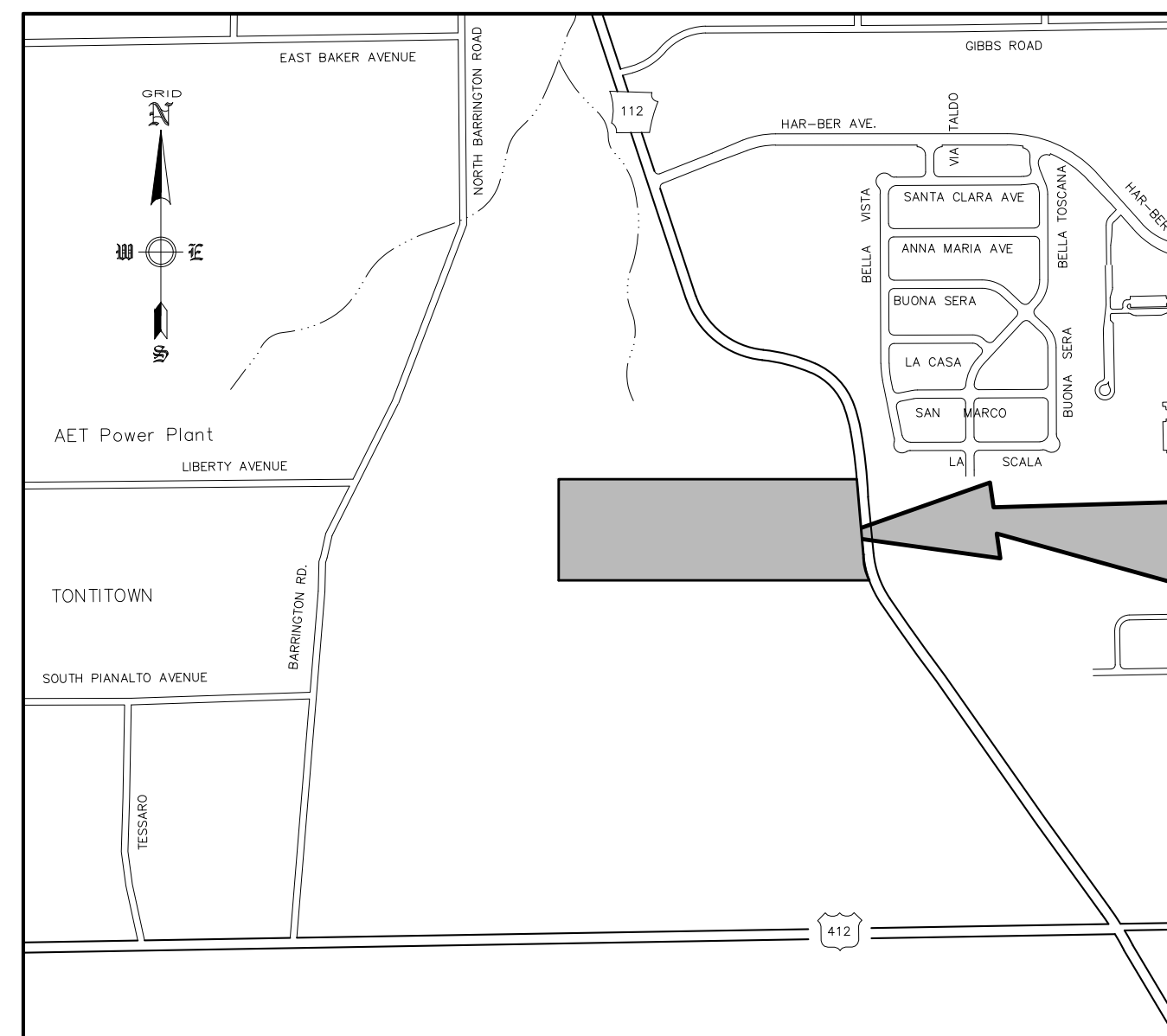
GAS COMPANY: BLACK HILLS ENERGY
CONTACT: BRANDON STOKES
PH. 479-225-3726

ELECTRIC COMPANY: OZARKS ELECTRIC
CONTACT: WES MAHAFFEY
PH. 479-684-4949
EMAIL: WMAHAFFEY@OZARKSECC.COM

WATER /SEWER DEPARTMENT: TONTITOWN WATER UTILITIES
201 E HENRI DE TONTI BLVD
TONTITOWN, AR 72770
PH. 479-361-2996
FAX: 501-421-8774

PLANNING DEPARTMENT: PLANNING AND ZONING DEPARTMENT
235 E. HENRI DE TONTI
TONTITOWN, AR 72770
PH. 479-361-9702
FAX 501-421-0012

BUILDING DEPARTMENT: CITY OF TONTITOWN'S BUILDING DEPT.
235 E. HENRI DE TONTI
TONTITOWN, AR 72770
PH. 479-361-9702
FAX 501-421-0012



VICINITY MAP

*PROJECT
LOCATION*

May 22, 2019

BY
ENGINEERING SERVICES INC.



CONSULTING ENGINEERS
SPRINGDALE, ARKANSAS
PHONE: 479-751-8733
FAX: 479-751-8746
WWW.ENGINEERINGSERVICES.COM

INDEX OF SHEETS	
SHEET No.	DESCRIPTION
1	OVERALL LAYOUT
2	PRELIMINARY PLAT
3	UTILITY PLAN
4	UTILITY PROFILE
5	STREET PROFILES
6	STORM DRAINAGE PLAN
7	STORM DRAINAGE PROFILES
8-10	TYPICAL DETAILS
11	SWPPP
12	SWPPP DETAILS

THOMAS J. APPEL, P.E. No. 13828
ENGINEERING SERVICES, INC.

NOTES:

- 1) ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF TONTITOWN, ARKANSAS.
- 2) ALL WATER AND SEWER CONSTRUCTION MUST COMPLY WITH THE SPECIFICATION REQUIREMENTS (ORDINANCE 2013-06-429, ADOPTED JUNE 4, 2013, REVISED APRIL 5, 2016) FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES OF THE CITY OF TONTITOWN WATER UTILITIES.
- 3) ALL FORCE MAIN & SANITARY SEWER CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF TONTITOWN, ARKANSAS.
- 4) TRAFFIC SAFETY CONTROL FEATURES ARE TO BE PROVIDED BY THE CONTRACTOR.
- 5) ANY STREET CLOSURES ARE TO BE COORDINATED WITH THE CITY OF TONTITOWN 48 HOURS PRIOR TO WORK.
- 6) THERE ARE NO KNOWN WETLANDS ON THIS PROPERTY. FTN IS CURRENTLY CONDUCTING A JURISDICTIONAL STUDY OF THE PROPERTY.
- 7) NO KNOWN EROSION PROBLEMS EXIST ON THIS SITE
- 8) THERE ARE NO KNOWN EXISTING OR ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRINGS, WATER IMPOUNDMENTS, OR UNDERGROUND STRUCTURES ON THIS PROPERTY.
- 9) THERE ARE NO KNOWN POTENTIALLY DANGEROUS AREAS.
- 10) THERE ARE NO KNOWN EXISTING OR PROPOSED GROUND LEASES OR ACCESS AGREEMENTS.
- 11) THIS DEVELOPMENT IS NOT WITHIN THE FLOOD ZONE, AS SHOWN ON THE F.I.R.M. MAP #05143C0065F, PANEL 65 OF 575, WASHINGTON COUNTY, ARKANSAS AND INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

NOTES:

- 1) ANY COST OF ADJUSTMENTS, RELOCATION OR DAMAGE OF EXISTING UTILITIES WILL BE THE RESPONSIBILITY OF THE OWNERS/DEVELOPERS.
- 2) ALL PROPOSED UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND, EXCLUDING 12KV AND ABOVE.
- 3) OUTDOOR STORAGE, TRASH COLLECTION, AND LOADING AREAS MUST BE LANDSCAPED, SO THAT THEIR FUNCTIONS ARE FULLY CONTAINED AND OUT OF VIEW OF THE ADJACENT PROPERTY AND THE PUBLIC RIGHT-OF-WAY.
- 4) EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES AND BANKS OF METER SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- 5) ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- 6) THE GLOBAL POSITIONING SYSTEM (GPS) AND CONVENTIONAL TERRESTRIAL SURVEYING EQUIPMENT PROVIDED THE RELATIVE POSITIONING FOR THE TOPOGRAPHIC, PLANIMETRIC AND BOUNDARY LOCATIONS SHOWN HEREON.
- 7) THE MAP PROJECTION IS REFERENCED TO THE HORIZONTAL CONTROL DATUM OF NAD83 (NORTH AMERICAN DATUM OF 1983), STATE PLANE COORDINATE SYSTEM, ARKANSAS NORTH ZONE (0301). THE BASIS OF BEARINGS FOR THIS PLAN ARE STATE PLANE GRID BEARING. THE VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TWO TEMPORARY BENCHMARKS UTILIZING THIS DATUM ARE SHOWN HEREON.
- 8) NO NEW SIGNAGE REQUESTED IN THIS PLATTING.
- 9) ALL IMPROVED SURFACES SHALL BE UNREINFORCED CONCRETE.
- 10) MODIFIED CURB REQUIRED ON ALL DRIVES.
- 11) PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING WITH ALL FRANCHISE UTILITIES WILL BE REQUIRED.

SURVEY DESCRIPTION (LOTS 1-10 - PRELIMINARY PLAT):

A PART OF THE WEST HALF OF THE FRACTIONAL NW 1/4 OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 30 WEST, AND ALSO PART OF THE EAST HALF OF THE NE 1/4 OF FRACTIONAL SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE FROM THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 6; THENCE N86°55'43"W A DISTANCE OF 2586.31 FEET TO THE POINT OF BEGINNING; THENCE S01°48'05"E A DISTANCE OF 210.70 FEET; THENCE S16°14'43"E A DISTANCE OF 273.34 FEET; THENCE N86°53'47"W A DISTANCE OF 301.28 FEET; THENCE N03°15'45"E A DISTANCE OF 1407.57 FEET; THENCE S86°54'32"E A DISTANCE OF 442.95 FEET TO THE POINT OF BEGINNING, CONTAINING 221,432 SQUARE FEET OR 5.08 ACRES, MORE OR LESS, SUBJECT TO ALL RIGHTS-OF-WAY AND EASEMENTS OF RECORD OR FACT.

PARCEL NUMBER: 830-37584-000
830-37625-000

SURVEY DESCRIPTION (ENTIRE PROPERTY - PRE DEVELOPMENT):

A PART OF THE WEST HALF OF THE FRACTIONAL NW 1/4 OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 30 WEST, AND ALSO PART OF THE EAST HALF OF THE NE 1/4 OF FRACTIONAL SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A SET IRON PIN FOR THE NW CORNER OF THE WEST FRACTIONAL HALF OF THE NW 1/4 OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 30 WEST, THENCE S 88°13'57" E 1054.39 FEET TO A SET IRON PIN FOR THE NORTHEAST CORNER OF THE WEST FRACTIONAL HALF OF THE NW 1/4; THENCE S 00°48'38" W ALONG THE EAST LINE OF THE SAID WEST FRACTIONAL HALF OF THE NW 1/4, 581.10 FEET TO A SET IRON PIN ON THE WEST RIGHT OF WAY STATE HIGHWAY 112; THENCE S00°48'38" W A DISTANCE OF 809.65 FEET TO A SET IRON PIN; THENCE N 88°47'37" W A DISTANCE OF 1735.27 FEET TO A FOUND IRON PIN ON THE WEST LINE OF THE EAST HALF OF THE EAST HALF OF THE NE 1/4; THENCE ALONG SAID WEST LINE N01°49'16"E A DISTANCE OF 1407.46 FEET TO A SET IRON PIN FOR THE NORTHWEST CORNER OF THE EAST HALF OF THE NE 1/4 OF THE NE OF SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST; THENCE S 88°14'26" E A DISTANCE OF 656.25 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

PART OF THE NW 1/4 OF THE NW 1/4 OF FRACTIONAL SECTION 6, TOWNSHIP 17, RANGE 30 WEST AND ALSO PART OF THE EAST HALF OF THE NE 1/4 OF THE NE 1/4 OF FRACTIONAL SECTION 1, TOWNSHIP 17 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NW CORNER OF THE NW 1/4 OF THE NW 1/4 OF SECTION 6, TOWNSHIP 17 NORTH, RANGE 30 WEST; THENCE S88°13'57"E 1054.56 FEET TO THE EAST LINE OF SAID NW 1/4 OF THE NW 1/4; THENCE ALONG SAID EAST LINE S00°48'48"W 530.00 FEET; THENCE N88°14'11"W 1120.70 FEET; THENCE N35°28'24"W 78.10 FEET; THENCE N17°35'07"W 273.34 FEET; THENCE N03°08'29"W 210.70 FEET; THENCE S88°14'25"E 213.19 FEET TO THE POINT OF BEGINNING, CONTAINING 647,762.32 SQUARE FEET OR 14.871 ACRES, MORE OR LESS, SUBJECT TO ALL RIGHTS-OF-WAY AND EASEMENTS OF RECORD OR FACT.

(1) CERTIFICATE OF PRELIMINARY SURVEY ACCURACY.

I, _____, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.

DATE OF EXECUTION: _____

REGISTERED LAND SURVEYOR

STATE OF ARKANSAS REGISTRATION NO. _____

(2) CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY. EACH SET OF STREET AND DRAINAGE PLANS MUST BE SUBMITTED IN ACCORDANCE WITH APPLICABLE STATE STATUTES AND ANY PLANS AND SPECIFICATIONS REQUIRED.

I, _____, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN MADE UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE TONTITOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.

DATE OF EXECUTION: _____

REGISTERED ENGINEER

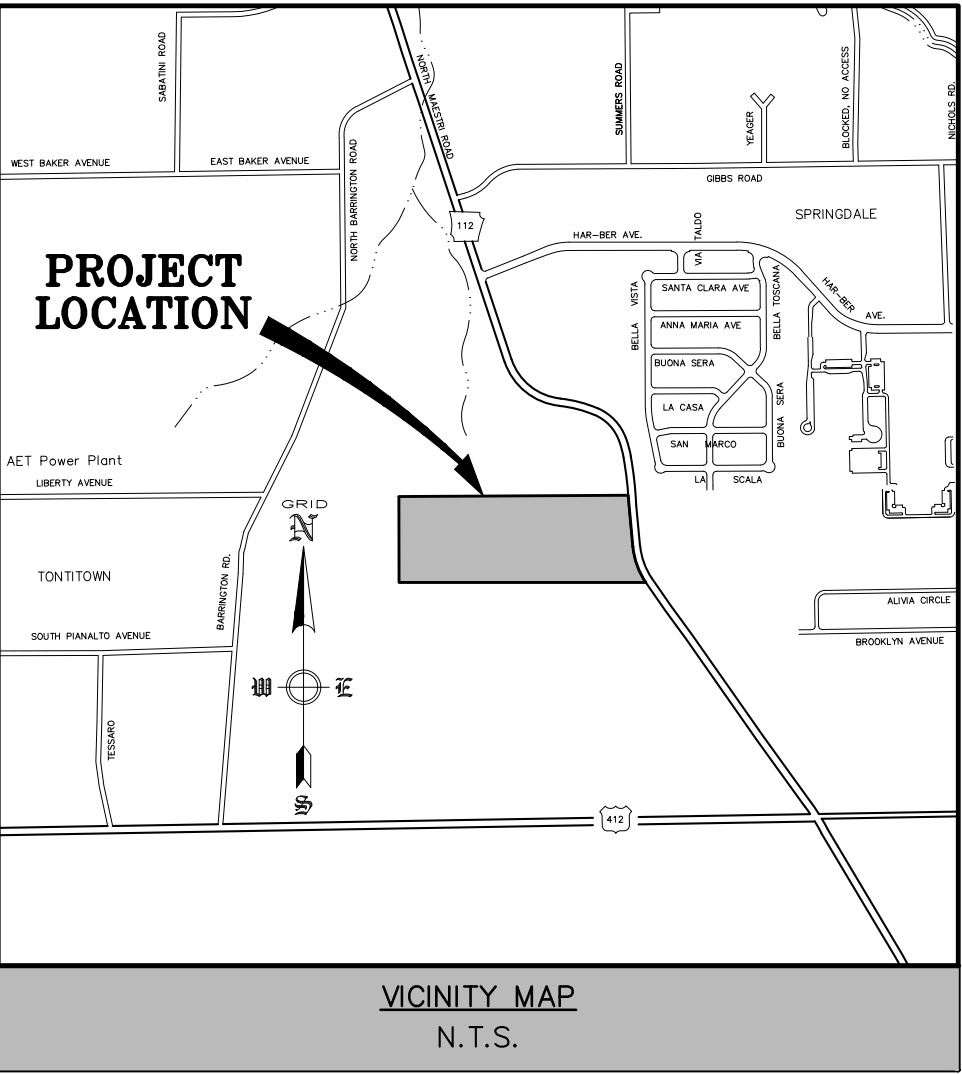
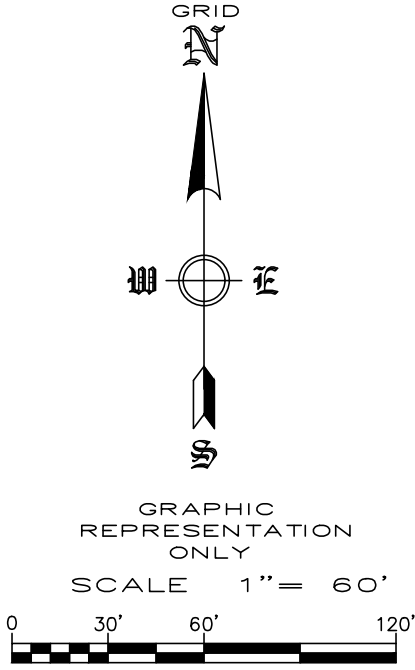
STATE OF ARKANSAS REGISTRATION NO. _____

(3) THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL EXPIRE ON _____ (DATE).

DATE OF EXECUTION: _____

SIGNED: _____
TONTITOWN PLANNING COMMISSION CHAIRMAN

LEGEND	
	IRON PIN FOUND
	NAIL FOUND
	C. PROPERTY LINE
	SAW-CUT LINE
	EX. EASEMENT LINE
	EX. BUILDING SETBACK LINE
	EX. ROAD CENTERLINE
	EX. CURB & GUTTER
	EX. CONTOUR
	PROPOSED CONTOUR
	EX. OVERHEAD POWER LINE
	EX. GAS LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. 8" SEWER LINE
	EX. STORM DRAIN LINE
	EX. WATER LINE
	EX. FIBER OPTIC LINE
	EX. WATER METER
	EX. FIRE HYDRANT
	EX. SEWER MANHOLE
	EX. POWER POLE
	EX. WATER VALVE
	EX. LIGHT POLE
	EX. SIGN
	EX. HANDICAP PARKING
	EX. WATER METER
	EX. TRAFFIC POLE
	EX. GAS MANHOLE
	EX. ELECTRIC MANHOLE
	EX. TELEPHONE MANHOLE
	EX. TREES
	EX. SEWER VALVE
	EX. WATER MANHOLE
	EX. FIBER OPTIC VAULT
	EX. TELEPHONE BOX
	EX. MAILBOX
	EX. GAS METER
	EX. GAS VALVE
	EX. PARKING STRIPE
	PROPOSED WATER SERVICE
	PROPOSED SEWER SERVICE
	PROPOSED FENCE
	PROPOSED EASEMENT LINE
	PROPOSED SIDEWALK
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED WATERLINE
	PROPOSED HANDICAP RAMP
	PROPOSED STORM BOX & PIPE
	PROPOSED SEWER MANHOLE & PIPE



VICINITY MAP

N.T.S.

OWNER/DEVELOPER:

112 WEST FORTY, LLC
P.O. BOX 10620
FAYETTEVILLE, AR 72703

ENGINEER:

ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762
479-751-8733
bmurray@engineeringservices.com

CITY ZONING:

R-MF RESIDENTIAL MULTI-FAMILY
16 UNITS/ARCE MAXIMUM DENSITY

PROPOSED USE:

MULTI FAMILY RESIDENTIAL (DUPLICES)

SETBACKS:

FRONT - 20'
SIDE - 10'
REAR - 25'

GROSS AREA:

44.90 ACRES±

NET AREA:

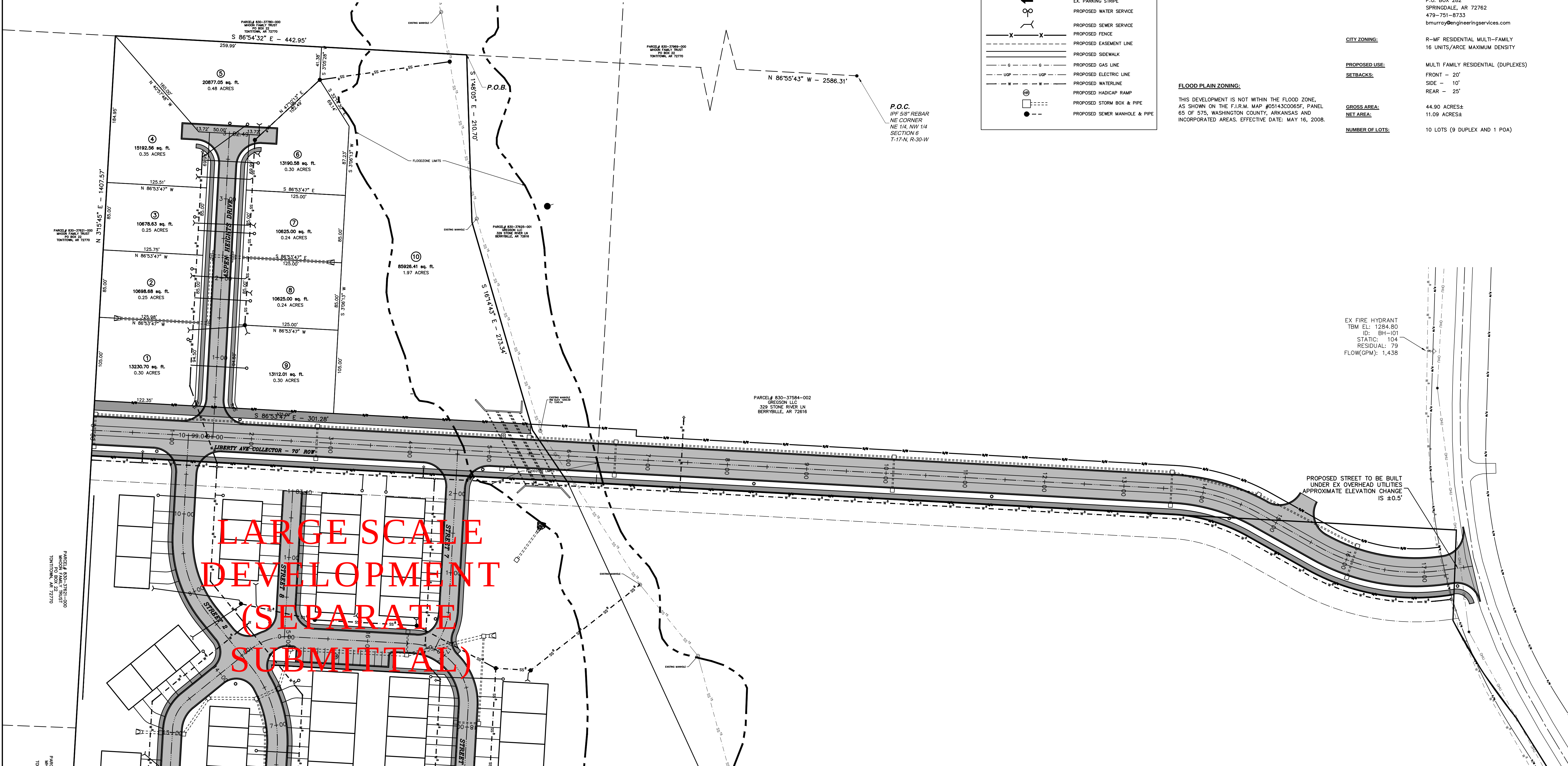
11.09 ACRES±

NUMBER OF LOTS:

10 LOTS (9 DUPLEX AND 1 POA)

FLOOD PLAIN ZONING:

THIS DEVELOPMENT IS NOT WITHIN THE FLOOD ZONE, AS SHOWN ON THE F.I.R.M. MAP #0514300065F, PANEL 65 OF 575, WASHINGTON COUNTY, ARKANSAS AND INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.



OVERALL LAYOUT
ASPEN HEIGHTS
TONTITOWN, ARKANSAS

REVISION	DATE	DESCRIPTION

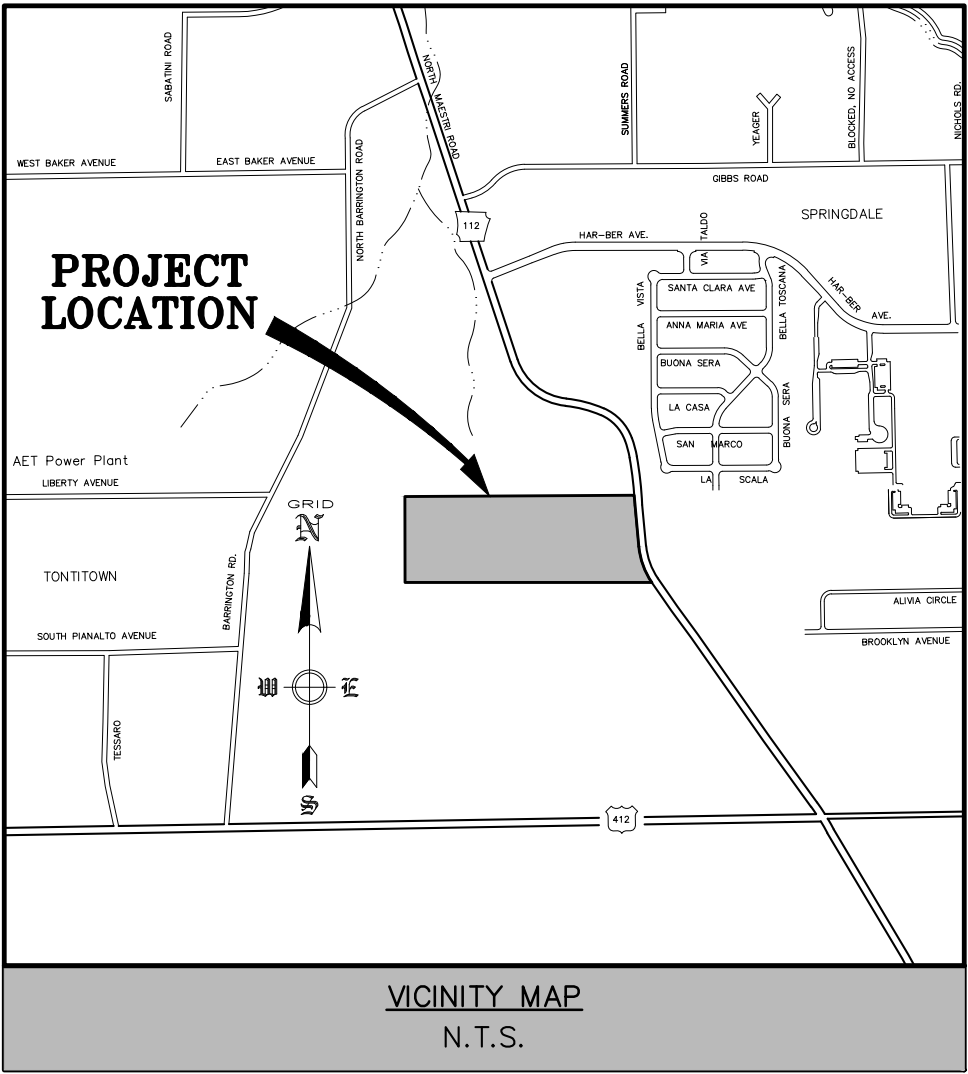
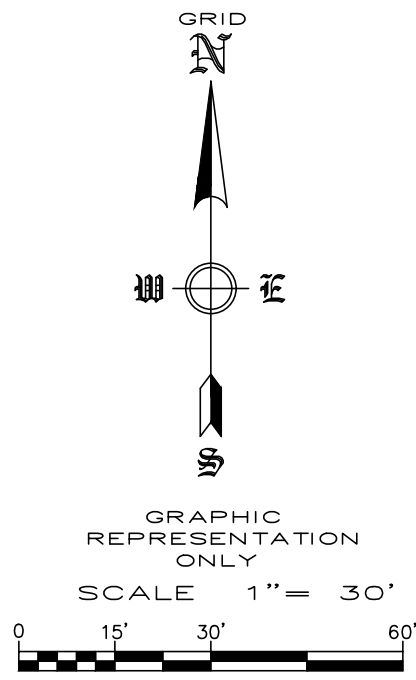
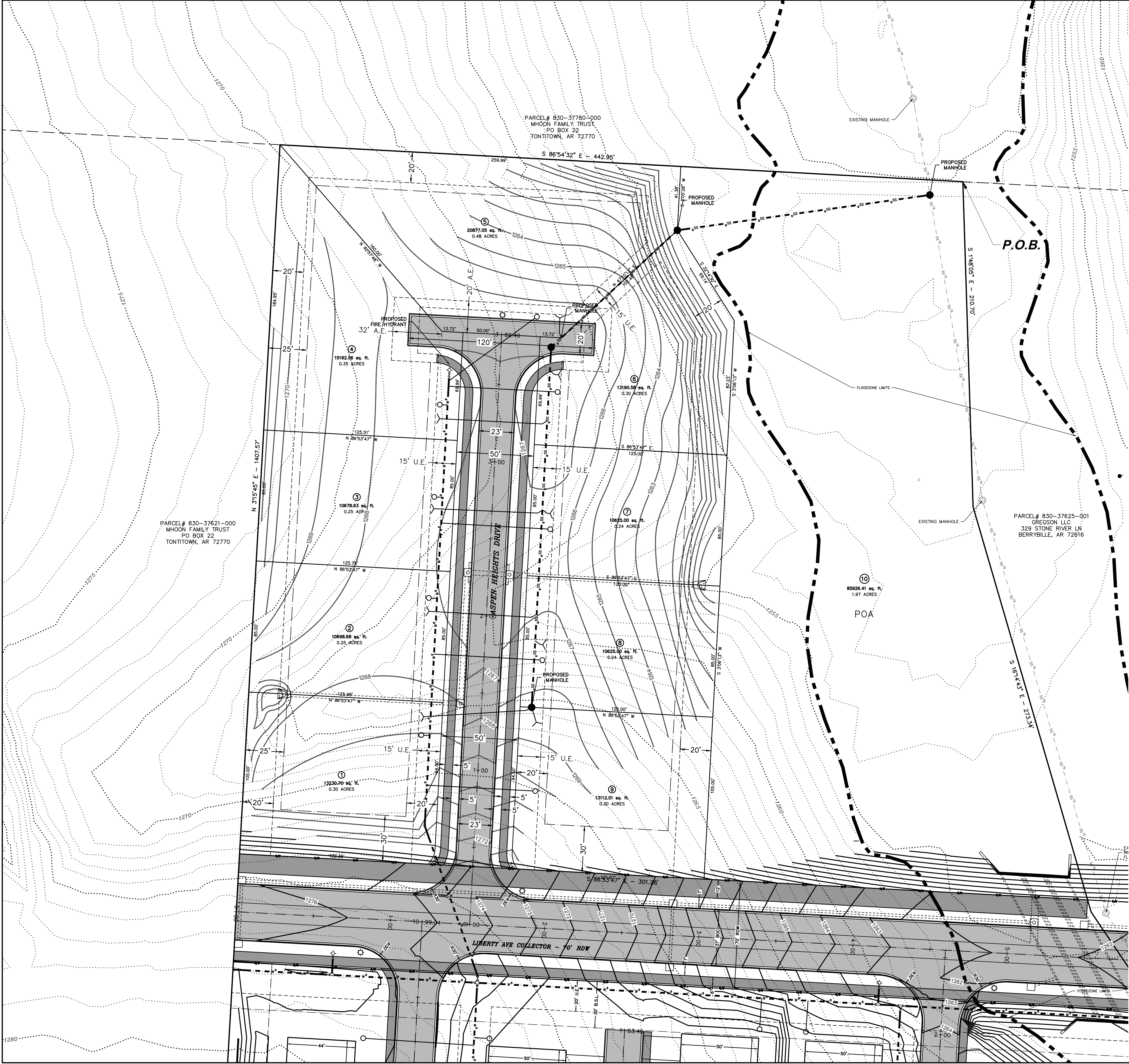
SCALE: 1"=60'

DATE: May 22, 2019

ENGINEER: TJA

DRAWN BY: XXX

W.O. #: 19909



OWNER/DEVELOPER: 112 WEST FORTY, LLC
P.O. BOX 10620
FAYETTEVILLE, AR 72703

ENGINEER: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762

CITY ZONING: R-MF RESIDENTIAL MULTI-FAMILY
16 UNITS/ACRE MAXIMUM DENSITY

PROPOSED USE: MULTI-FAMILY RESIDENTIAL (DUPLICES)

SETBACKS: FRONT - 20'
SIDE - 10'
REAR - 25'

GROSS AREA: 44.90 ACRES±
NET AREA: 11.09 ACRES±

LOT SIZE TABLE			
LOT #	LOT SQ. FT.	LOT ACRES	
1	13230.70	0.30	
2	10698.68	0.25	
3	10678.63	0.25	
4	15192.56	0.35	
5	20877.05	0.48	
6	13190.58	0.30	
7	10625.00	0.24	
8	10625.00	0.24	
9	13112.01	0.30	
10	85926.41	1.97	

LEGEND

	IRON PIN FOUND
	MAG NAL FOUND
	C. PROPERTY LINE
	SAW-CUT LINE
	EX. EASEMENT LINE
	EX. BUILDING SETBACK LINE
	EX. ROAD CENTERLINE
	EX. CURB & GUTTER
	EX. CONTOUR
	PROPOSED CONTOUR
	EX. OVERHEAD POWER LINE
	EX. GAS LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. 8" SEWER LINE
	EX. STORM DRAIN LINE
	EX. WATER LINE
	EX. FIBER OPTIC LINE
	EX. WATER METER
	EX. FIRE HYDRANT
	EX. SEWER MANHOLE
	EX. POWER POLE
	EX. WATER VALVE
	EX. LIGHT POLE
	EX. SIGN
	EX. HANDICAP PARKING
	EX. WATER METER
	EX. TRAFFIC POLE
	EX. GAS MANHOLE
	EX. ELECTRIC MANHOLE
	EX. TELEPHONE MANHOLE
	EX. TREES
	EX. SEWER VALVE
	EX. WATER MANHOLE
	EX. FIBER OPTIC VAULT
	EX. TELEPHONE BOX
	EX. MAILBOX
	EX. GAS METER
	EX. GAS VALVE
	EX. PARKING STRIPE
	PROPOSED WATER SERVICE
	PROPOSED SEWER SERVICE
	PROPOSED FENCE
	PROPOSED EASEMENT LINE
	PROPOSED SIDEWALK
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED WATERLINE
	PROPOSED HADICAP RAMP
	PROPOSED STORM BOX & PIPE
	PROPOSED SEWER MANHOLE & PIPE

FLOOD PLAIN ZONING:

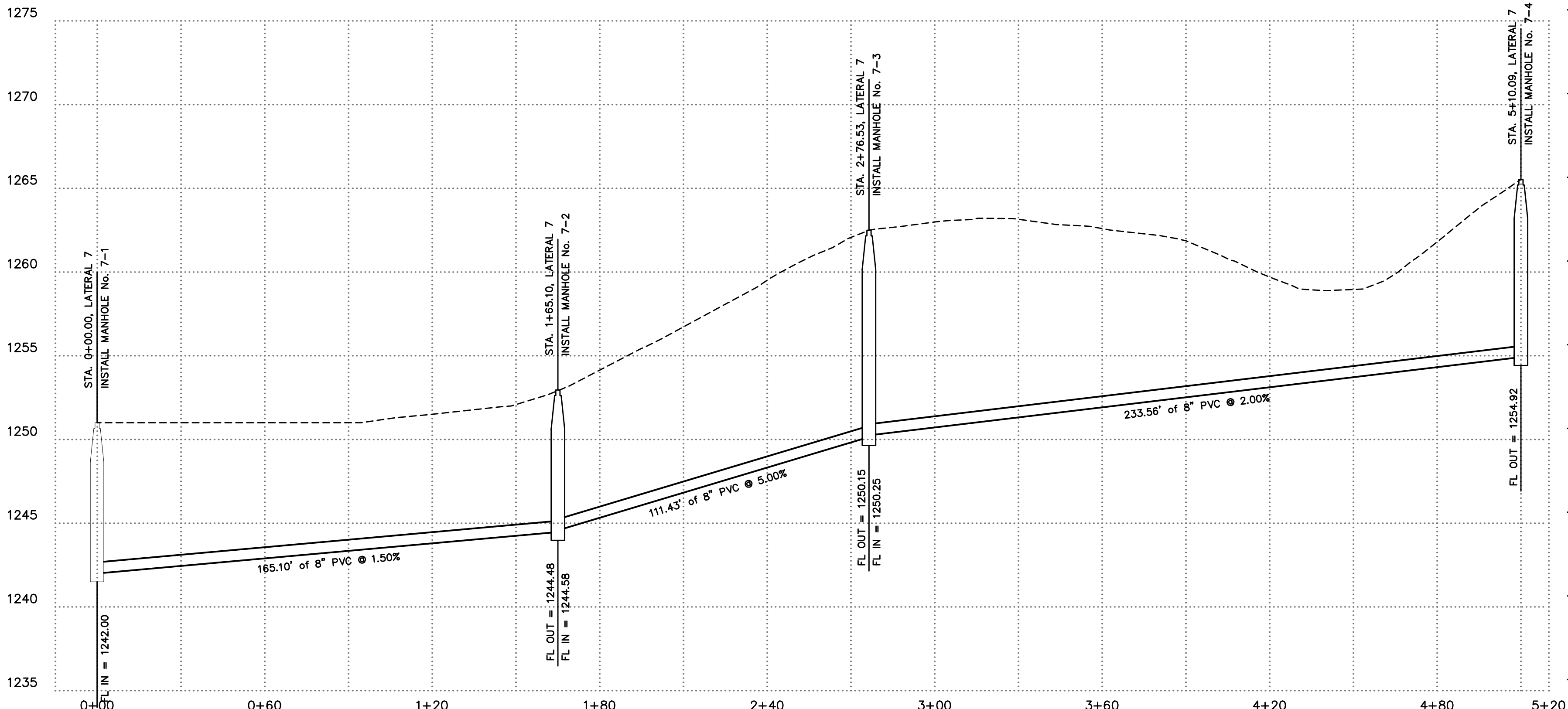
THIS DEVELOPMENT IS NOT WITHIN THE FLOOD ZONE, AS SHOWN ON THE F.I.R.M. MAP #05145C0005F, PANEL 65 OF 675, WASHINGTON COUNTY, ARKANSAS AND INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

PRELIMINARY PLAT
ASPEN HEIGHTS
TONTITOWN, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=30'
DATE: May 22, 2019
ENGINEER: TJA
DRAWN BY: XXX
W.O. #: 19909

LATERAL 7



REVISION	DATE	DESCRIPTION

SCALE: 1" = 30'

DATE: May 22, 2019

ENGINEER: TJA
DRAWN BY: JRC

W.O. #: 19909

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[illegible]

Profile view of a proposed road alignment. The profile shows the existing ground (dashed line) and the proposed ground (solid line). The alignment is divided into four segments of 36-inch RCP pipe, each with a different slope and length.

Segment 1A: 113.12' of 36" RCP @ 2.75% slope. DI 1-2 TOP ELEV = 1268.00.

Segment 1B: 84.98' of 36" RCP @ 1.75% slope. DI 1-3 TOP ELEV = 1266.50. STA: 2+54.82 ELEV: 1266.23. CL - ASPEN HEIGHTS DR.

Segment 1C: 27.00' of 36" RCP @ 1.75% slope. DI 1-4 TOP ELEV = 1266.50.

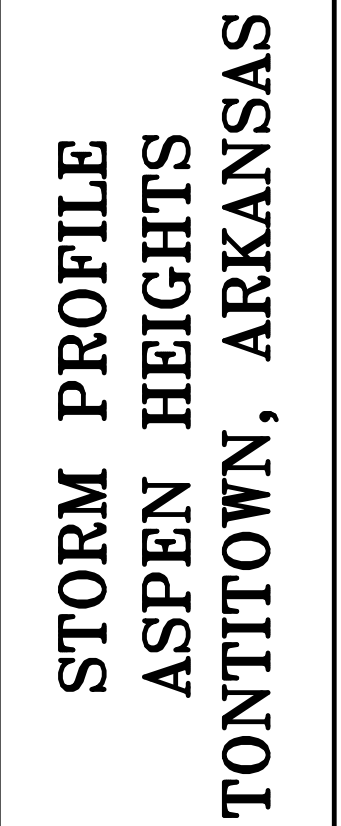
Segment 1D: 118.88' of 36" RCP @ 3.60% slope. STA: 3+87.22 LINE 1 FL = 1254.98.

Vertical Curve Data:

- STA. 0+43.23, LINE 1 FL = 1264.33
- STA. 1+56.35, LINE 1 FL IN = 1261.22, SEG. 1A FL OUT = 1261.22, SEG. 1B
- STA. 2+41.33, LINE 1 FL IN = 1259.73, SEG. 1B FL OUT = 1259.73, SEG. 1C
- STA. 2+68.33, LINE 1 FL IN = 1259.26, SEG. 1C FL OUT = 1259.26, SEG. 1D

Other Labels: FES 1-1, EXISTING GROUND, PROPOSED GROUND, FES 1-5.

[illegible]



REVISION	DATE	DESCRIPTION

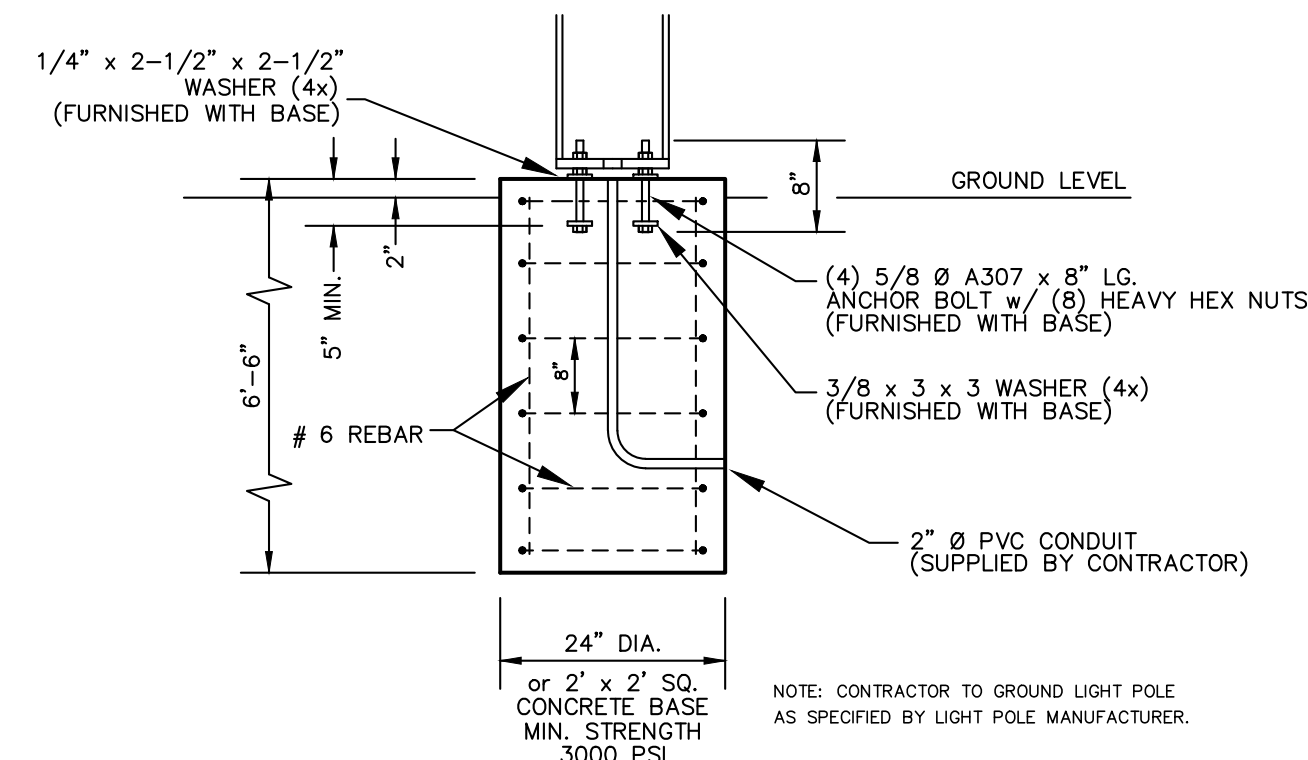
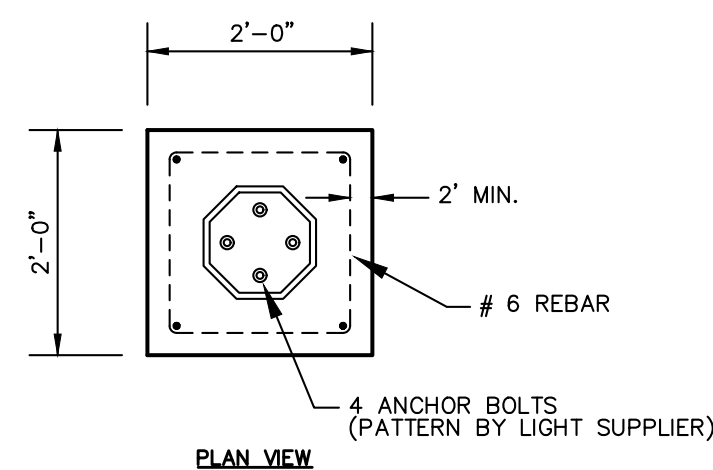
SCALE: 1"=30'
 DATE: May 22, 2019
 ENGINEER: TJA
 DRAWN BY: DLB
 W.O. #: 19909

© COPYRIGHT 2019, ENGINEERING SERVICES, INC. 5/22/2019 10:22 AM
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 2:19909\19909.dwg
 1:19909.dwg

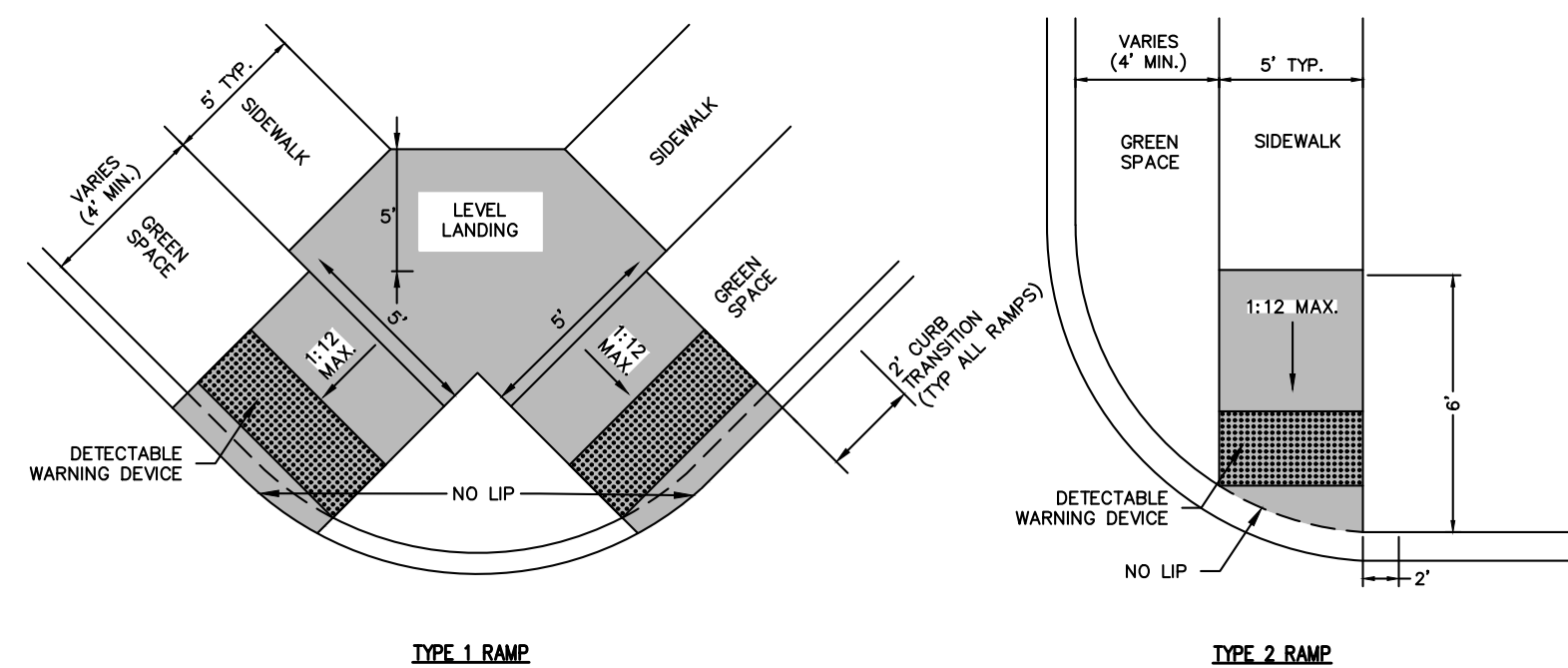
STOP SIGN
DETAIL
NOT TO SCALE

SECTION A-A
CHANNEL SIGN SUPPORT

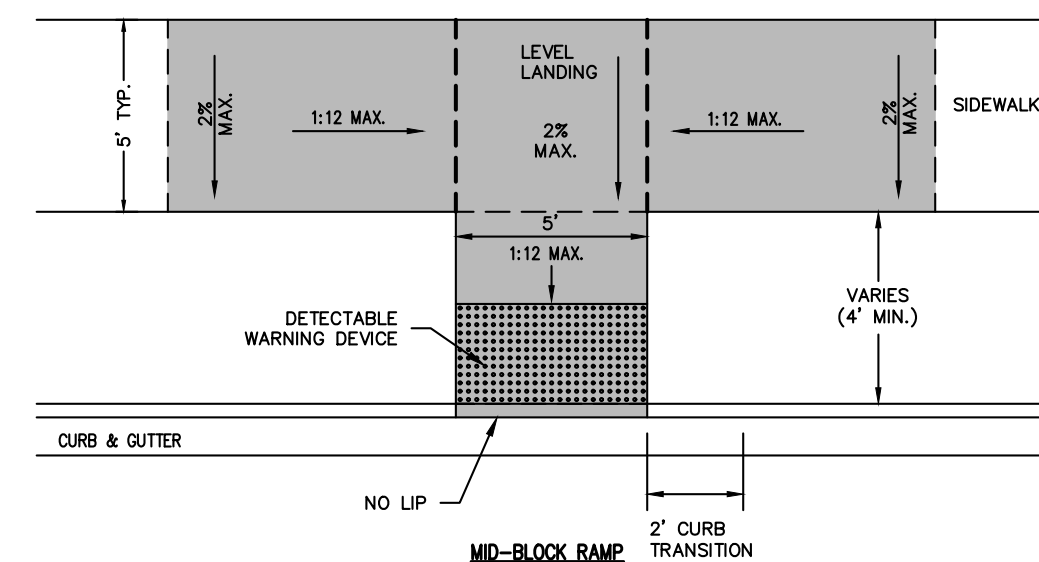
NOTE : SIGN SHALL CONFORM TO THE "MANUAL ON
UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS"
AS APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION
AND AHTD AND WASHINGTON COUNTY STANDARDS



SECTION VIEW
LIGHT POLE FOOTING DETAIL
NOT TO SCALE

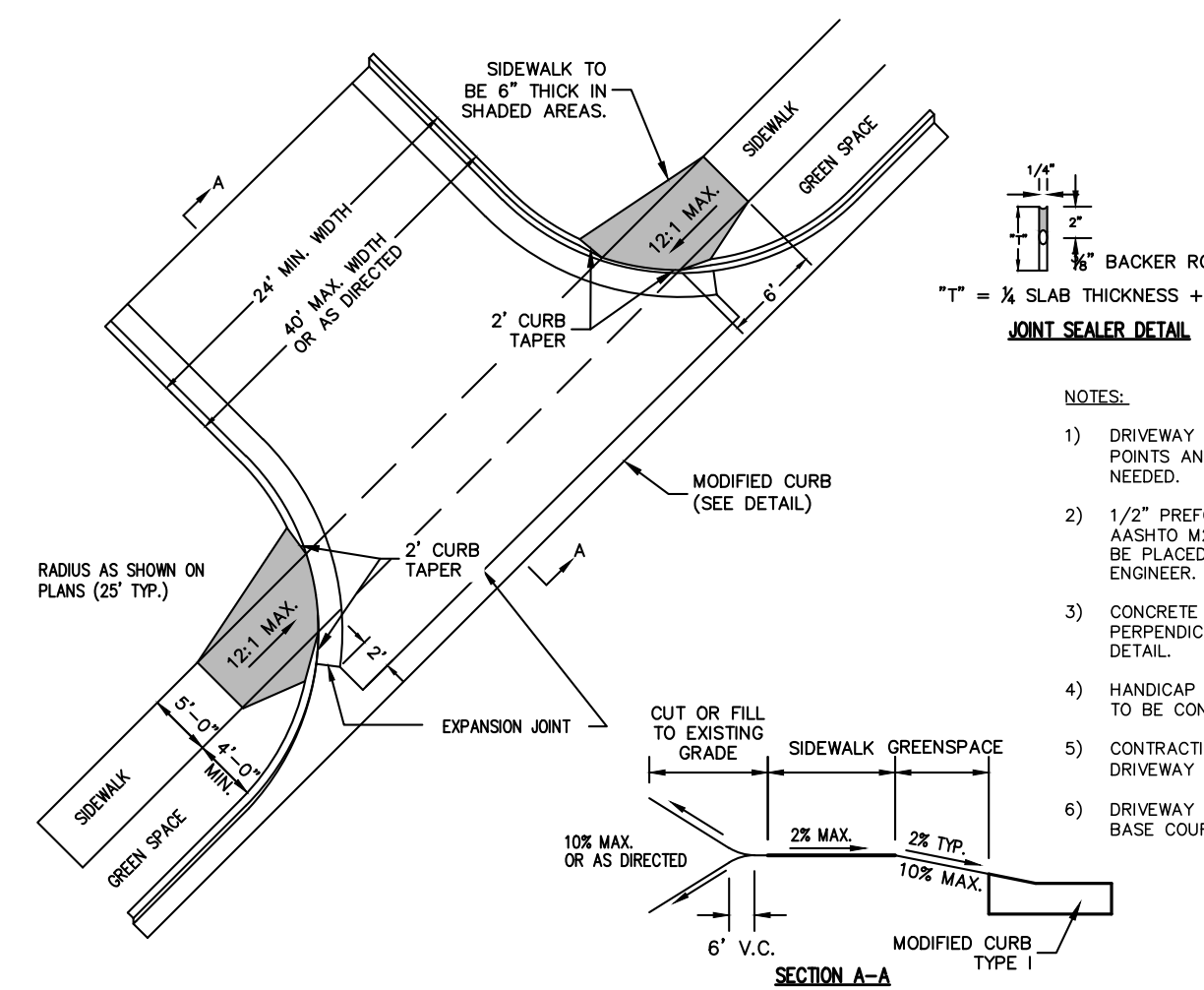


- NOTES:
- 1) THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 1:12.
 - 2) THE NORMAL GUTTER SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 - 3) THE MINIMUM THICKNESS FOR THE RAMP, WALK, & LANDING SHALL BE 4".
 - 4) DETECTABLE WARNING DEVICES SHALL BE PLACED AT THE LOCATIONS WHERE RAMPS CROSS A CURB.



HANDICAP RAMP DETAILS

NOT TO SCALE

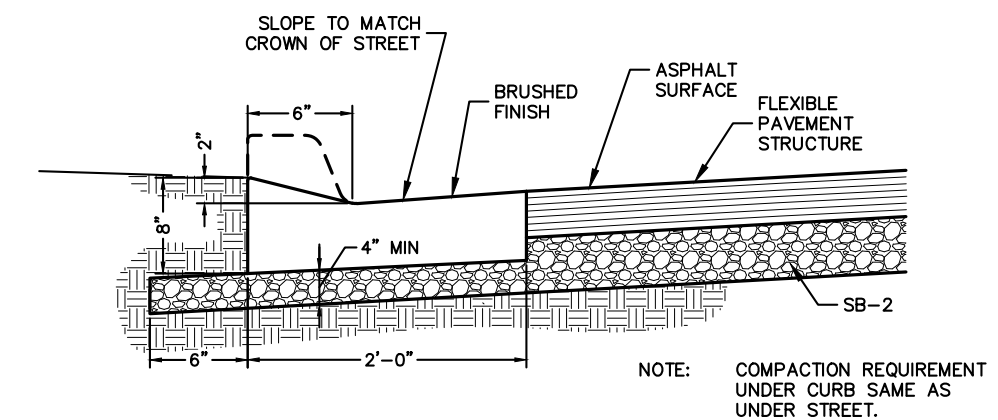


DRIVEWAY DETAIL
NOT TO SCALE

Diagram illustrating the joint sealer detail. The diagram shows a cross-section of a joint with a backer rod. Dimensions are indicated: 1/4" for the top layer, 2" for the main joint depth, and 1/8" for the bottom layer. The text "BACKER ROD" is written next to the rod. Below the diagram, the formula $T = \frac{1}{4} \text{ SLAB THICKNESS} + \frac{1}{2}$ is shown, followed by "JOINT SEALER DETAIL".

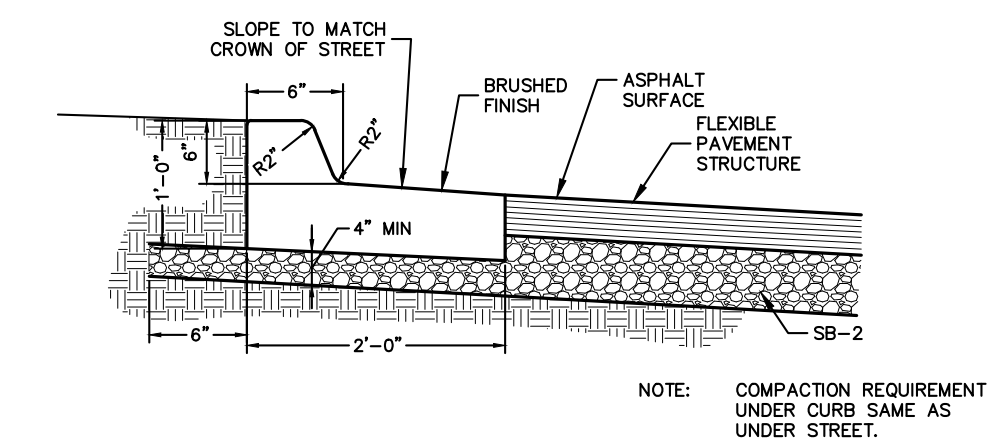
NOTES

- 1) DRIVEWAY TO BE CONSTRUCTED TO THE RADIIUS TANGENT POINTS AND ALSO TO STREET R/W AS DIRECTED, IF NEEDED.
- 2) 1/2" PREFORMED EXPANSION MATERIAL CONFORMING TO AASHTO M213, ASTM-D-1752, TYPE 1 OR REDWOOD SHALL BE PLACED AS SHOWN, OR AS DIRECTED BY THE ENGINEER.
- 3) CONCRETE CURB TO BE SAW-CUT AT 15' INTERVALS PERPENDICULAR TO THE GUTTER LINE AND SEALED SEE G.O.
- 4) HANDICAP RAMP COMPLYING WITH A.D.A. REQUIREMENTS TO BE CONSTRUCTED AT ALL COMMERCIAL DRIVEWAYS.
- 5) CONTRACTION JOINTS TO BE PLACED IN CONCRETE DRIVEWAY SO THAT NO SLAB DIMENSION IS MORE THAN 15'.
- 6) DRIVEWAY SECTION TO BE 3" ASPHALT WITH 6" AGGREGATE BASE COURSE UNLESS OTHERWISE SPECIFIED.



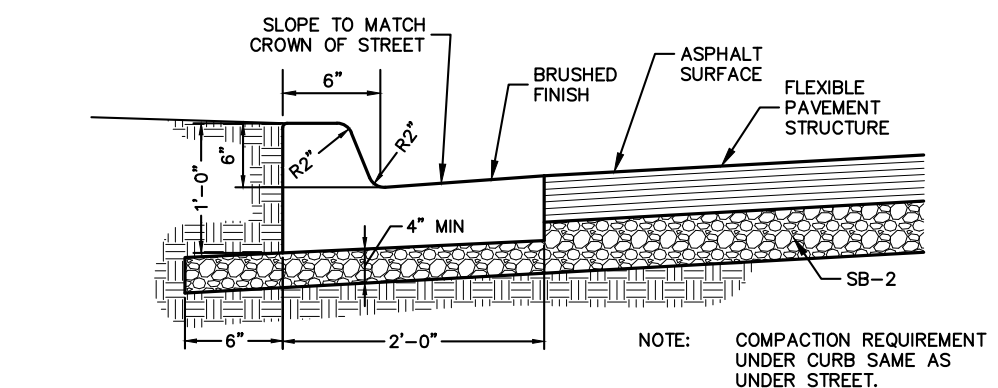
MODIFIED CONCRETE
CURB & GUTTER
NOT TO SCALE

NOTE: COMPACTION REQUIREMENT
UNDER CURB SAME AS
UNDER STREET.



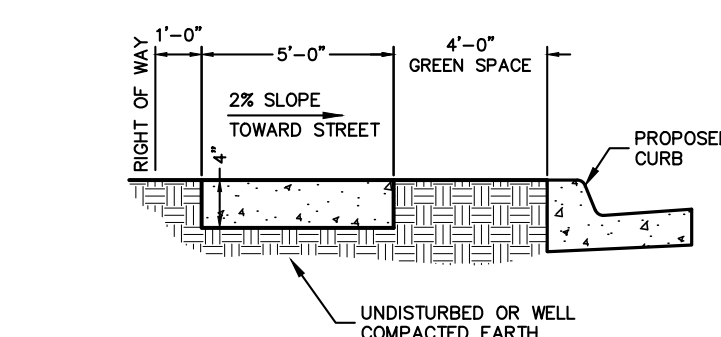
STANDARD 6" CONCRETE
SPILL CURB & GUTTER
NOT TO SCALE

NOT TO SCALE



STANDARD 6" CONCRETE
CURB & GUTTER

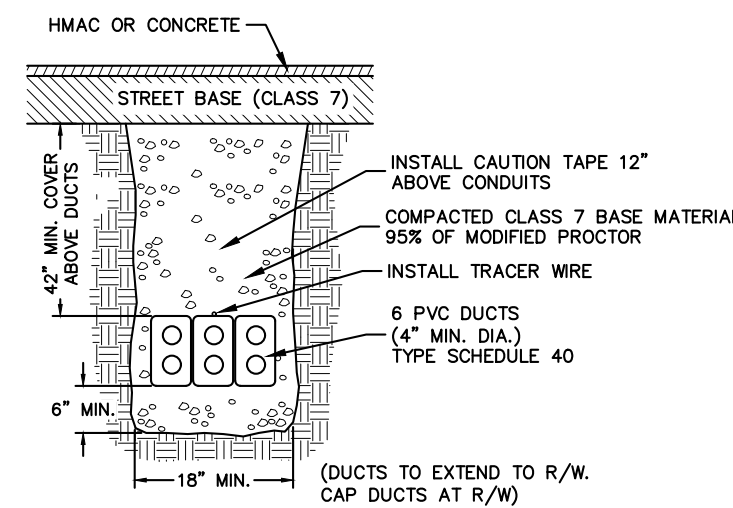
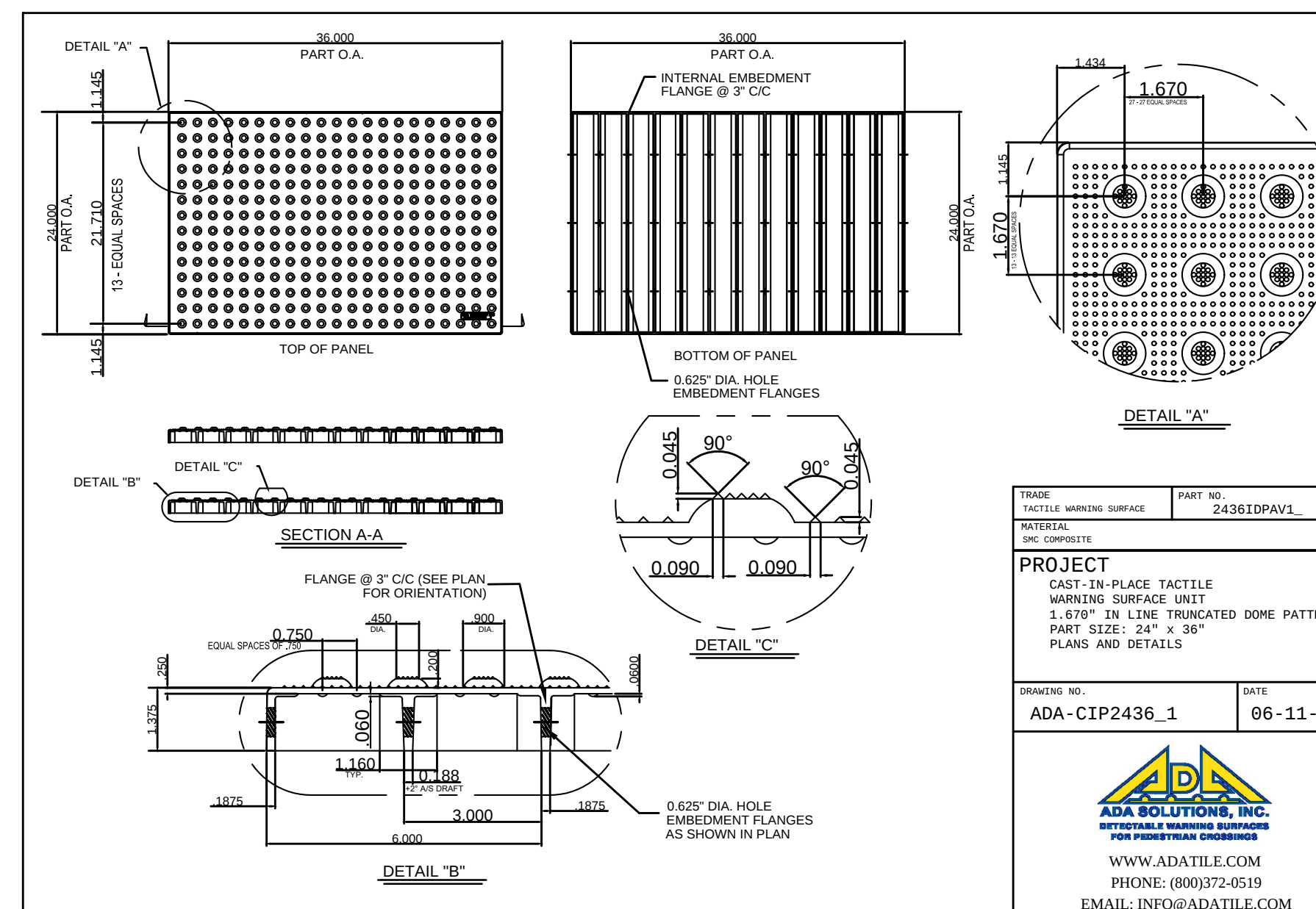
NOT TO SCALE



SIDEWALK DETAIL
NOT TO SCALE

NOTES: PROVIDE EXPANSION JOINTS AT EACH STRUCTURE CURB, AND A MINIMUM INTERVAL OF 200 FOOT.

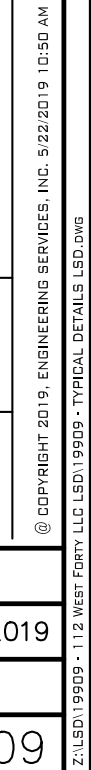
TRANSVERSE JOINTS BETWEEN EXPANSION JOINTS TO BE SCORED AT 5 FOOT INTERVALS.



TYPICAL SECTION
6-4" UTILITY DUCTS

NOT TO SCALE

[illegible]



9



2. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER.
3. ALL REINFORCING BARS SHALL BE GRADE 60 AND SHALL HAVE A MINIMUM EMBEDMENT OF 12" INTO CONCRETE.
4. CURB INLET BACK OPENING LOCATIONS SHALL BE DETERMINED IN ACCORDANCE WITH THE CITY OF CHICAGO STANDARD SPECIFICATIONS.
5. WHEN AN INLET IS PLACED ADJACENT TO CONCRETE PAVEMENT, THE JOINT DEPRESSION SHALL BE FORMED IN CONCRETE PAVEMENT.
6. ALL REINFORCING BARS SHALL BE CUT TO THE FOLLOWING LENGTHS:
 - a. THE EXPANSION JOINT SHALL HAVE A THICKNESS OF 1-1/2" AND BE 12" LONGER THAN THE JOINT.
 - b. REFER TO PLAN AND PROFILE SHEETS TO DETERMINE EXTENSIONS AND SIZE (Ø) ACCORDING TO PAVEMENT DROP INLETS.
 - c. ALL REINFORCING BARS SHALL HAVE A MINIMUM EMBEDMENT EXCEEDING 8" OR SHALL HAVE THE SAME INDEPTH DIMENSIONS AS STATED ON THE PLAN AND PROFILE SHEETS.
7. CONCRETE FOR RECTANGULAR DROP INLETS SHALL BE CLASS A.
8. ALL REINFORCING TO BE #5 BAR @ 10" O.C., E.W. EXCEPT WHERE ALLOWANCES MUST BE MADE FOR PIPES, OPENING, OR OTHER OBSTRUCTIONS.
9. NEOPRENE-COATED STEEL STEPS ARE TO BE INSTALLED IN ALL INLETS. THE STEPS SHALL BE 1/2" DEEP WITH A 1/2" O.C. OR GREATER. STEP SPACING TO BE 12".
10. BUILT UP DRAINAGE BOX TO BE AT 0.5% MINIMUM SLOPE FROM BOX TO STREET.



1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER.
2. ALL REINFORCEMENT BARS SHALL BE GRADE 60 AND SHALL HAVE A MINIMUM 1/2" COVER.
3. ALL REINFORCEMENT BARS SHALL BE LAPPED WITH 12" MINIMUM OVERLAP. CURB INLET BARS SHALL OPENING LOCATIONS SHALL BE DETERMINED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONCRETE.
4. WHEN AN INLET IS PLACED ADJACENT TO CONCRETE PAVEMENT, THE CURB DEPRESSION SHALL BE FORMED IN CONCRETE PAVEMENT.
5. ALL REINFORCEMENT BARS SHALL BE LAPPED WITH 12" MINIMUM OVERLAP, AS DIRECTED BY THE ENGINEER. REINFORCING BARS SHALL BE CUT TO LENGTHS OF 1'-11".
6. THE EXPANSION JOINT SHALL HAVE A THICKNESS OF 1-1/2" AND BE LOCATED IN THE CENTER OF THE CURB.
7. REFER TO PLAN AND PROFILE SHEETS TO DETERMINE EXTENSIONS AND SIZE (IF ANY) ACCOMPANYING DROP INLETS.
8. ALL CURB INLET LEAFS SHALL BE 12" MINIMUM PLANS EXCEEDING 8'-0" SHALL HAVE THE SAME INSIDE DEPTH DIMENSIONS AS STATED IN THE STANDARD SPECIFICATIONS FOR CONCRETE.
9. CONCRETE FOR RECTANGULAR DROP INLETS SHALL BE CLASS A.
10. ALL REINFORCEMENT SHALL BE #4 BARS @ 10" O.C., E.W. EXCEPT WHERE ALLOWANCES MUST BE MADE FOR PIPES, OPENING, OR OTHER OBSTRUCTIONS.
11. NEOPRENE-COATED STEEL STAIRS ARE TO BE INSTALLED IN ALL CURB INLETS AND LANDING AREAS WITH A DEPTH OF 4'-0" OR GREATER. STAIR SPACING TO BE 12".
12. BOTTOM CURB SPACING BOX TO BE AT 0.5% MINIMUM SLOPE FROM CURB TO CURB OUTLET.



NOT TO SCALE

SCALE: N.T.S.

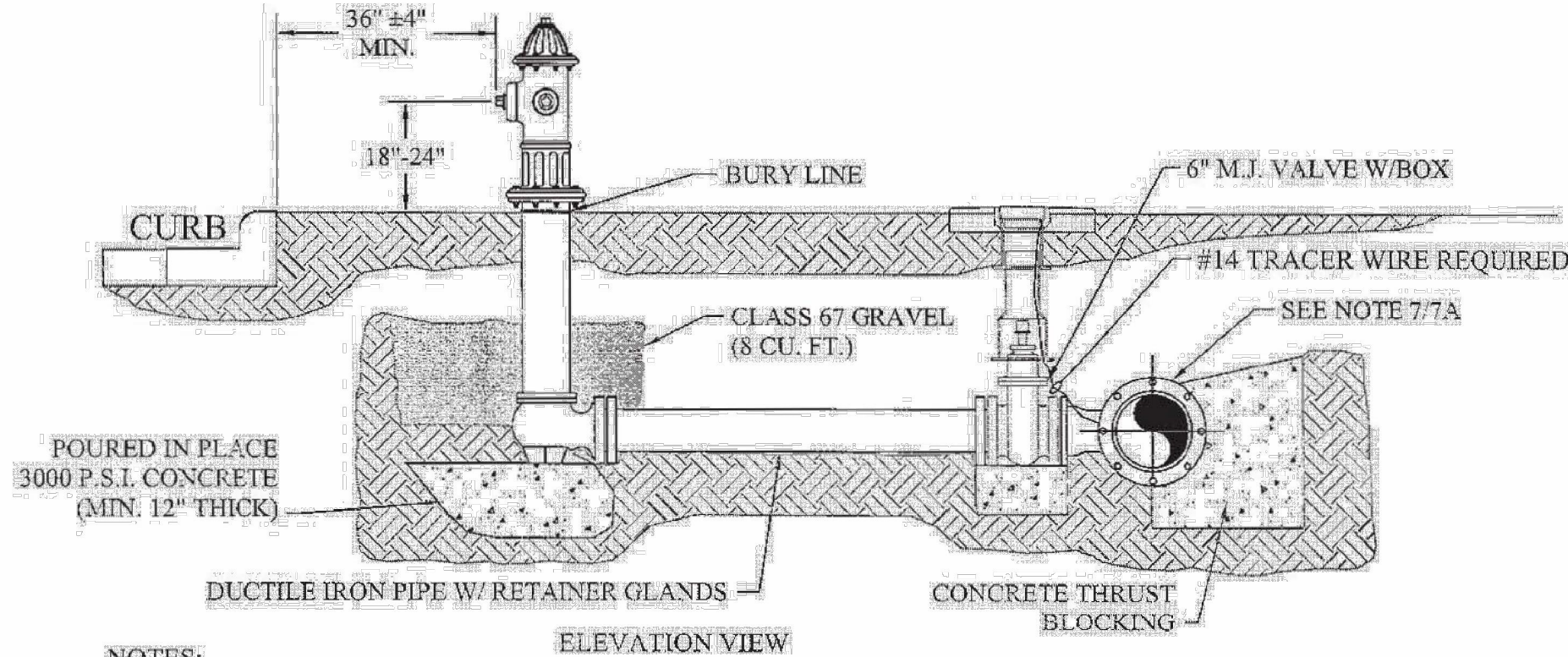
DATE: May 22, 2019

ENGINEER: TJA

W.O. #: 19909

2	10000
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FIRE HYDRANT DETAIL W/DUCTILE IRON PIPE AND RETAINER GLANDS

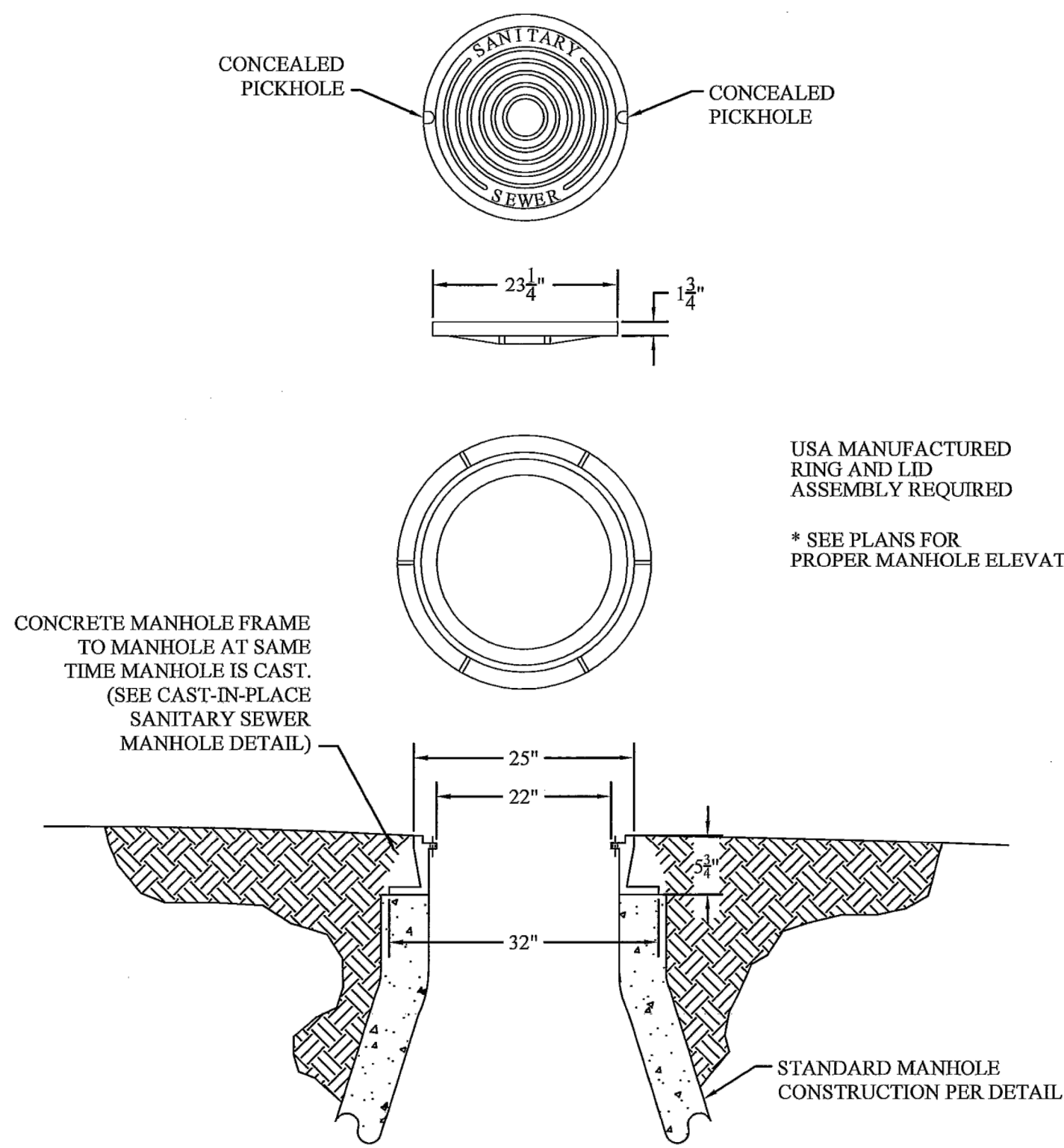


- NOTES:
1. DRAINAGE BED SHALL CONSIST OF 8 CU. FT. OF CLASS #67 GRAVEL.
 2. USE 6\" D.I. NIPPLE WITH M.J. RETAINER GLANDS IF DISTANCE BETWEEN VALVE AND HYDRANT MUST BE GREATER THAN 13\" SWIVEL ADAPTER.
 3. FIRE HYDRANT TO BE BLOCKED AGAINST FIRM SOIL AS SHOWN.
 4. ALL HYDRANTS SHALL BE INSTALLED PLUMB.
 5. LARGE NOZZLE SHALL FACE CURB UNLESS OTHER-WISE NOTED. ROTATE BARREL AS REQUIRED.
 6. HYDRANT SHOULD NOT BE SET CLOSER THAN 4.0' TO OBSTRUCTIONS THAT ARE IN LINE WITH NOZZLE.
 7. M.J. ANCHOR TEE, TAPPING SLEEVE OR TAPPING SADDLE MAY BE USED (SEE MATERIAL SPECIFICATIONS).
 8. HYDRANTS TO BE SET AT DEPTHS GREATER THAN 6.0' SHALL BE SET WITH A MODIFIED FIRE HYDRANT SETTING. (CONTACT TONTITOWN WATER DEPT. FOR DETAILED DRAWING FOR DEEP DEPTH FIRE HYDRANT SETTINGS).
 9. POLYWRAP ENTIRE HYDRANT ASSEMBLY. DO NOT COVER WEEP HOLE DRAIN.
 10. HYDRANTS WILL BE SET AT A MINIMUM OF 36\" ±4\" BACK OF CURB, BUT NOT IN SIDEWALK, OR AS DIRECTED BY CITY.
 11. SINGLE #14 GAUGE TYPE INSULATED TRACER WIRE IS REQUIRED ON ALL MAINS, PE WATER SERVICES OR OTHER APPURTENANCES.

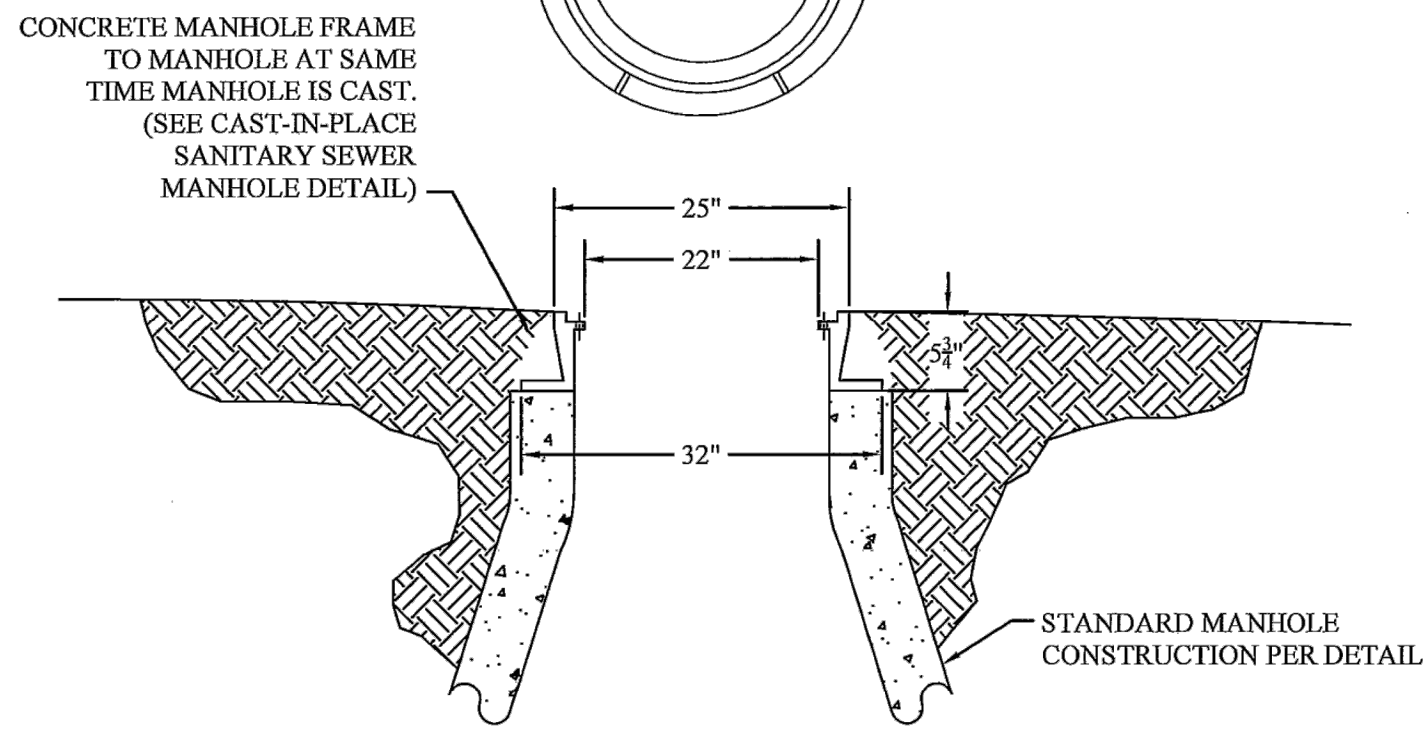
CITY OF
TONTITOWN
DRAWN BY: CRB | CHECKED BY: | WATER DETAIL: W04
LAST REVISION DATE: 08/29/02
APPROVED: | DATE: 09/01/05

HEAVY DUTY MANHOLE

LID & FRAME



USA MANUFACTURED
RING AND LID
ASSEMBLY REQUIRED
* SEE PLANS FOR
PROPER MANHOLE ELEVATION



CITY OF
TONTITOWN
DRAWN BY: FCN | CHECKED BY: TWC | SANITARY SEWER DETAIL: SS04
LAST REVISION DATE: 03/27/13
APPROVED: | DATE: 09/01/05

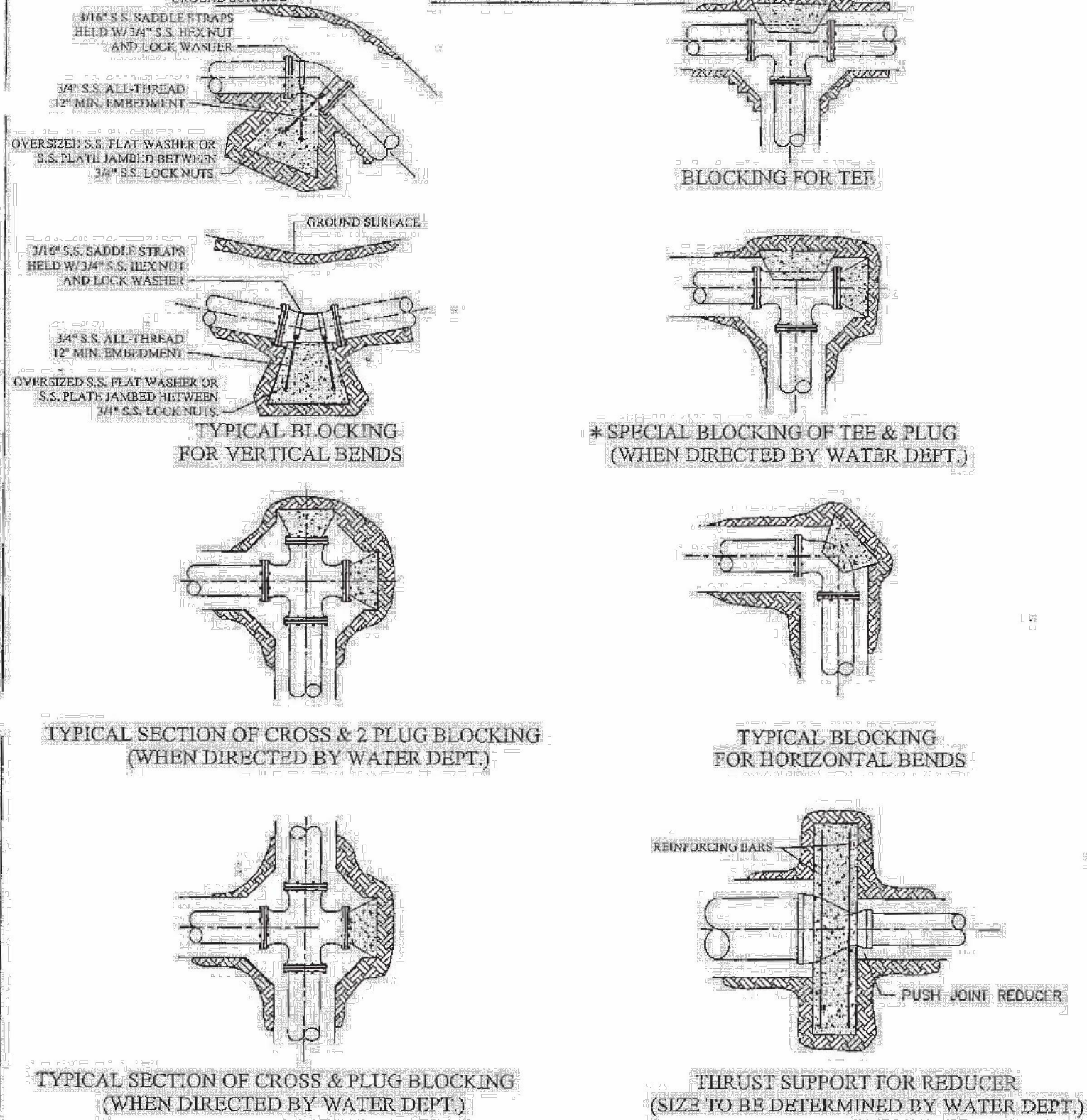
REACTION BACKING TABLE

SIZE	REQUIRED SQ. FT. OF UNDISTURBED EARTH WALL FOR REACTION BACKING					
	TYPE OF FITTINGS					
	TEE	90°	45°	22 1/2°	11 1/4°	PLUG
2"	1	1	1	1	1	1
3"	1	1	1	1	1	1
4"	1	2	1	1	1	2
6"	3	3	2	1	1	3
8"	4	6	3	2	1	4
10"	6	8	5	3	1	6
12"	8	12	6	3	2	8
14"	11	16	9	4	2	11
16"	14	20	11	6	3	14
18"	18	25	14	7	4	18
20"	22	31	17	9	4	22
24"	32	45	24	12	6	32
30"	48	68	37	19	10	48
36"	69	98	53	27	14	69

- NOTES:
1. ALL FITTINGS SHALL BE MECHANICAL JOINTS.
 2. DO NOT COVER BELLS OR FLANGES WITH CONCRETE.
 3. WRAP ALL FITTINGS WITH POLY WRAP.
 4. BACK ALL TEES ACCORDING TO SIZE OF BRANCH.
 5. BACKING FUTURE LINE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.
 6. ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL OR VERTICAL, SHALL BE BACKED.
 7. REACTION BACKING TABLE IS BASED ON 150 PSI AND SOIL BEARING PRESSURE OF 2,000 LB/SQ. FT. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS REQUIRED BY CITY WATER DEPARTMENT.

CITY OF
TONTITOWN
DRAWN BY: | CHECKED BY: | GEN. WATER/SEWER DETAIL: GWS10
LAST REVISION DATE: 08/29/02
APPROVED: | DATE: 09/01/05

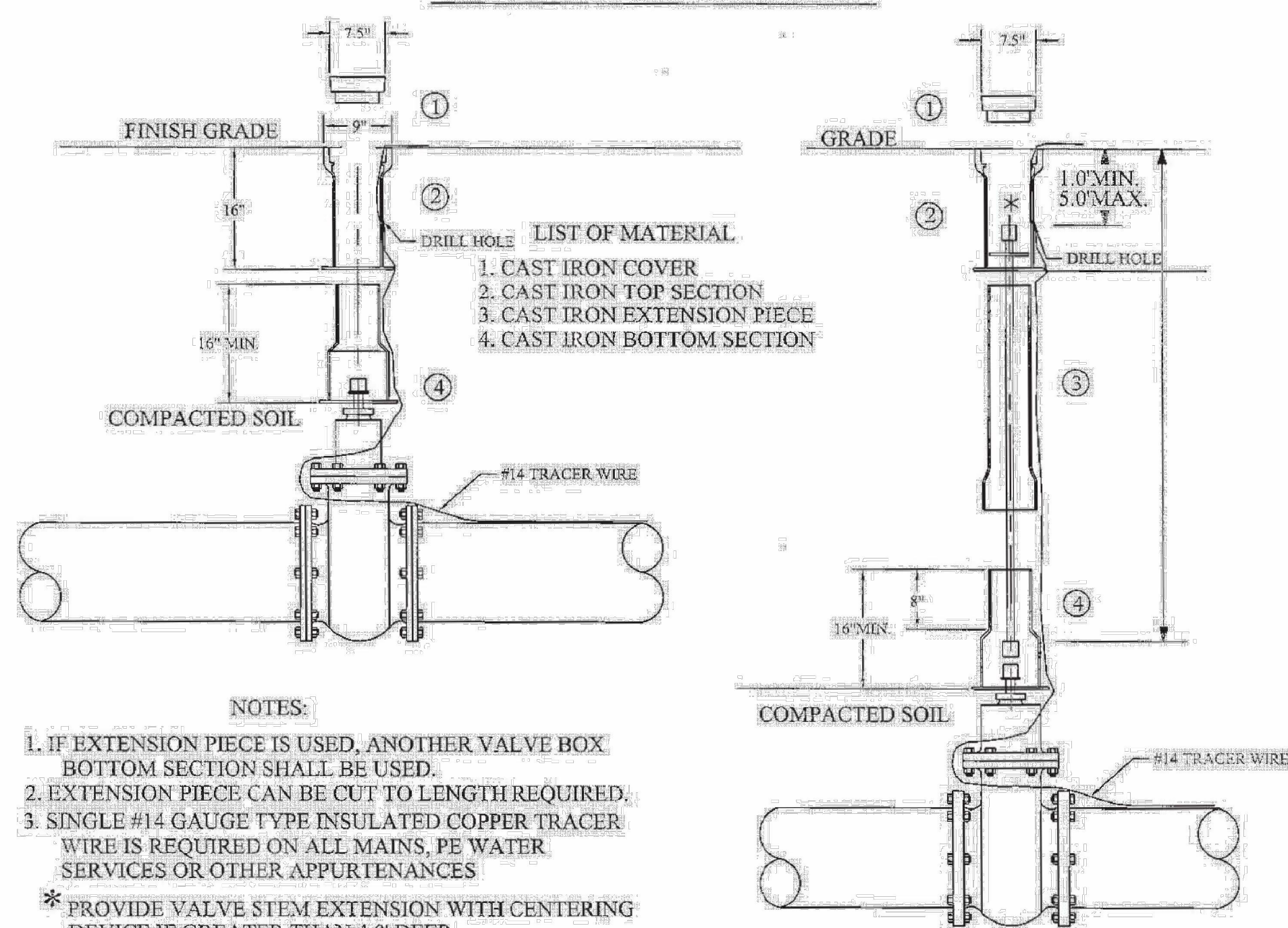
THRUST BLOCKING



- NOTES ON THRUST BLOCKING:
1. ALL BLOCKING SHALL BE AGAINST UNDISTURBED SOIL USING 3,000 PSI CONCRETE.
 2. WHERE SOIL CONDITIONS MAKE IT NECESSARY TO POUR CONCRETE OVER JOINTS, THE ENDS OF THE ADJACENT PIPES MUST HAVE A THRUST BLOCK TO RESTRICT MOVEMENT OF THESE JOINTS.
 3. WEIGHT CALCULATIONS TO BE BASED ON REACTION BACKING TABLE (SEE GWS10).
 4. WHEN BLOCKING AGAINST FITTINGS, FITTINGS SHALL BE COVERED WITH POLYETHYLENE TUBING TO PREVENT BONDING OF CONCRETE.
 5. WHERE SHEAR BECOMES A PROBLEM PROPER REINFORCING MUST BE INSTALLED INTO THE BLOCKING.
 6. CLEARANCE SHALL BE A MINIMUM OF 6\" BETWEEN PIPE AND OBSTRUCTIONS.
 7. CLEARANCE ON PIPES BELONGING TO OTHER COMPANIES SHALL BE 18\" UNLESS SPECIAL PERMISSION IS GIVEN BY THOSE COMPANIES.

CITY OF
TONTITOWN
DRAWN BY: CRB | CHECKED BY: | GEN. WATER/SEWER DETAIL: GWS02
LAST REVISION DATE: 08/29/02
APPROVED: | DATE: 09/01/05

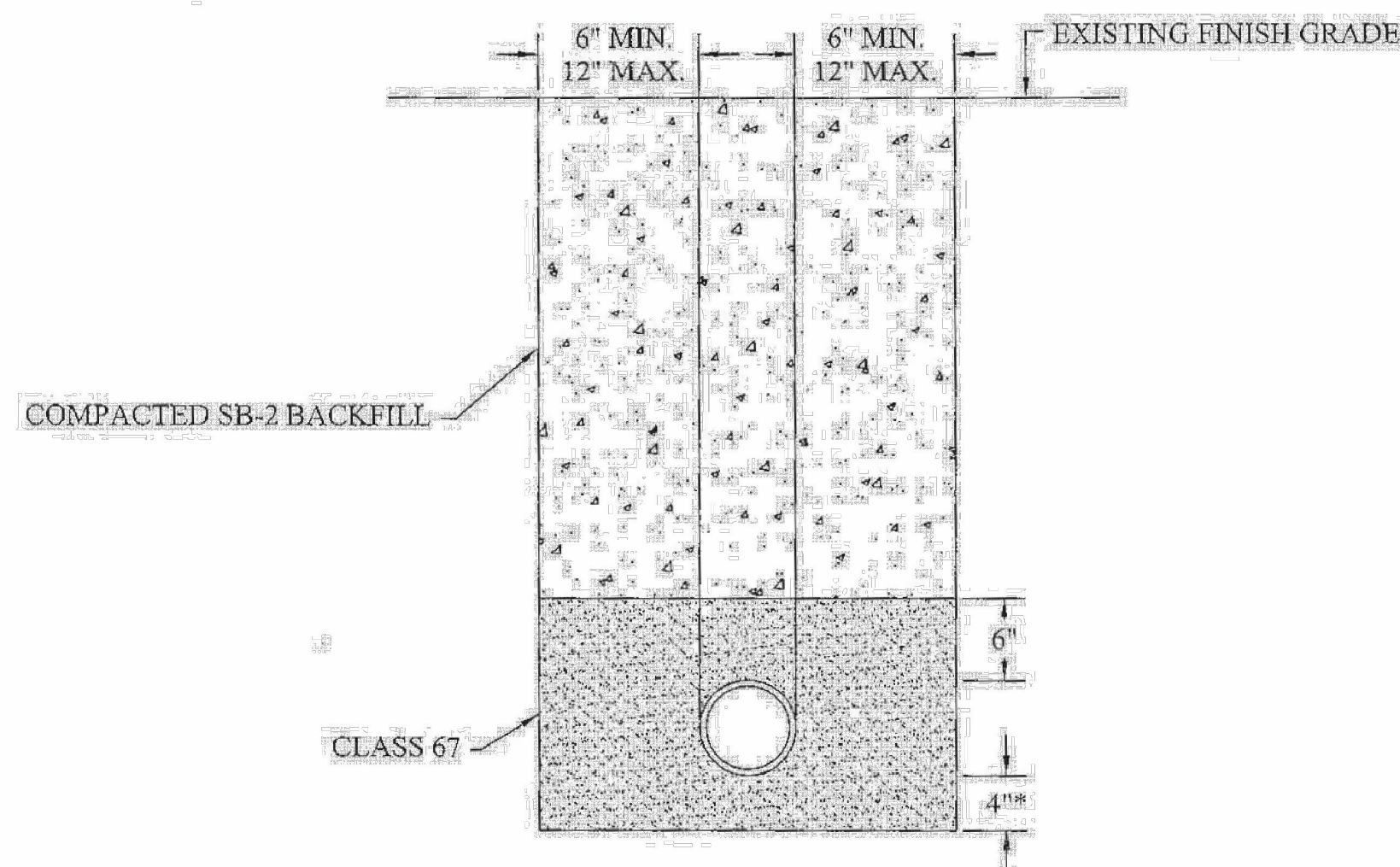
VALVE BOX INSTALLATION



- NOTES:
1. IF EXTENSION PIECE IS USED, ANOTHER VALVE BOX BOTTOM SECTION SHALL BE USED.
 2. EXTENSION PIECE CAN BE CUT TO LENGTH REQUIRED.
 3. SINGLE #14 GAUGE TYPE INSULATED COPPER TRACER WIRE IS REQUIRED ON ALL MAINS, PE WATER SERVICES OR OTHER APPURTENANCES.
 - * PROVIDE VALVE STEM EXTENSION WITH CENTERING DEVICE IF GREATER THAN 4.0' DEEP.

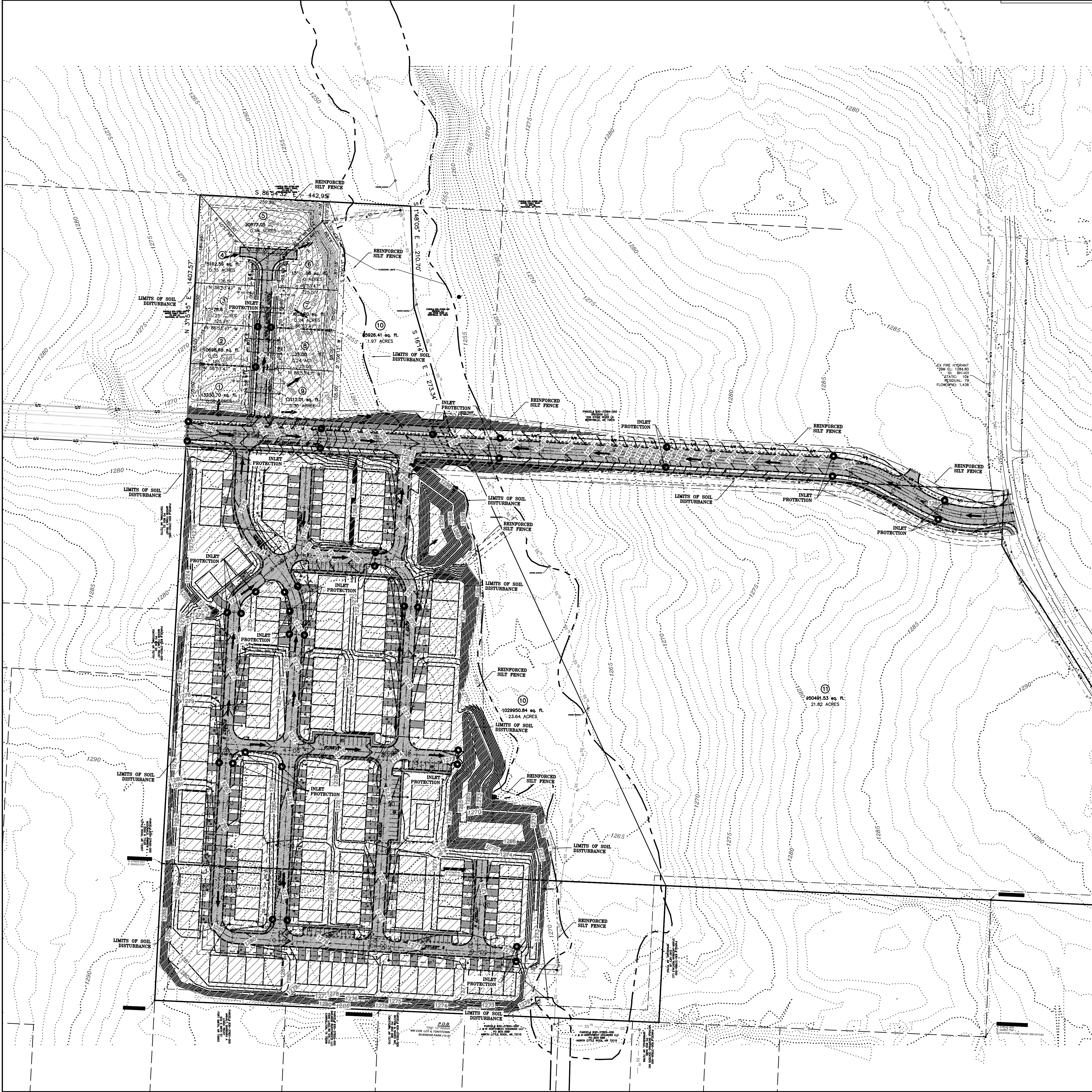
CITY OF
TONTITOWN
DRAWN BY: CRB | CHECKED BY: | WATER DETAIL: W07
LAST REVISION DATE: 08/29/02
APPROVED: | DATE: 09/01/05

UNIMPROVED ROADS & DRIVEWAYS-PRIVATE DRIVEWAYS & PARKING AREAS



- NOTE: PRIVATE PARKING AREAS, DRIVEWAYS & WALKS-SEE UNIMPROVED ROADS
- * IF IN ROCK 6\" MIN. CLASS #67 STONE REQUIRED.
** IMPROVED PRIVATE DRIVEWAYS AND PARKING AREAS BACKFILLED AS SHOWN ABOVE. SUBSURFACE MATERIAL TO EQUAL OR EXCEED EXISTING SURFACE. ASPHALTIC CONCRETE WALKS - MINIMUM THICKNESS 4\" CONCRETE DRIVES OR PARKING AREAS - MINIMUM THICKNESS 6\".

CITY OF
TONTITOWN
DRAWN BY: CRB | CHECKED BY: | GEN. WATER/SEWER DETAIL: GWS03
LAST REVISION DATE: 08/29/02
APPROVED: | DATE: 09/01/05



LEGEND

PROPOSED FLOWLINE DIRECTION

INLET PROTECTION

ROCK CHECK DAM

WIRED REINFORCED BURIED EDGE SILT FENCE

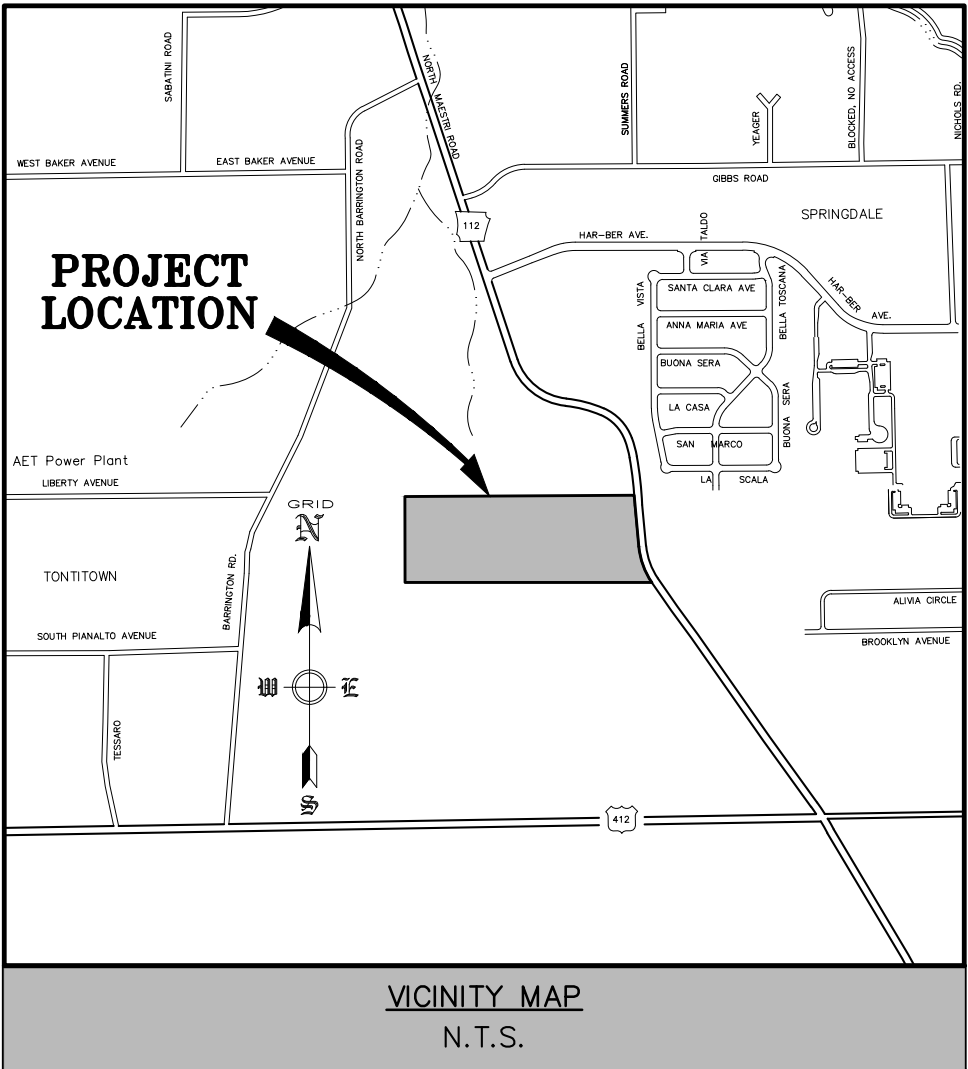
MUD ABATEMENT ENTRANCE

EXISTING CONTOURS

PROPOSED CONTOURS

AREA OF SOIL DISTURBANCE

WATTLE



TOTAL DISTURBED
AREA: 24.75 ACRES

- NOTES:
- 1) NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
 - 2) SEED AND MULCH SHALL BE PLACED (BY OWNER) IN ALL AREAS WHERE VEGETATION IS DISTURBED.
 - 3) STRAW AND WOOD CHIPS SHALL BE PLACED TO PROVIDE TEMPORARY PROTECTION WHILE FINAL GRADING IS BEING COMPLETED.
 - 4) PLACE FILTER FABRIC ON ALL CURB INLETS.

*SILT FENCE ARE USED AS ENERGY DISSIPATION DEVICES
*SILT FENCE ARE USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE
*SILT FENCE MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED
AREA OF SOIL DISTURBANCE: 24.75 ACRES

OWNER/DEVELOPER: 112 WEST FORTY, LLC
P.O. BOX 10620
FAYETTEVILLE, AR 72703

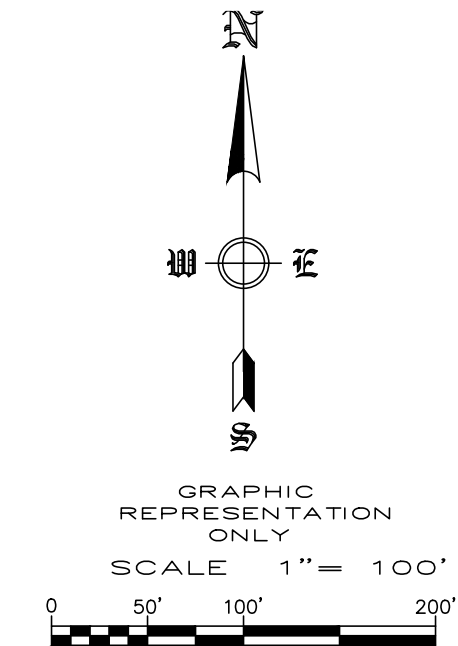
ENGINEER: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762

CITY ZONING: R-MF RESIDENTIAL MULTI-FAMILY
16 UNITS/ARCE MAXIMUM DENSITY

SETBACKS: FRONT - 20'
SIDE - 10'
REAR - 25'

GROSS AREA: 44.90 ACRES±
NET AREA: 11.09 ACRES±

PARKING REQUIRED PHASE 1: 11 SPACES (1 HANDICAP SPACE)
FOR POOL HOUSE

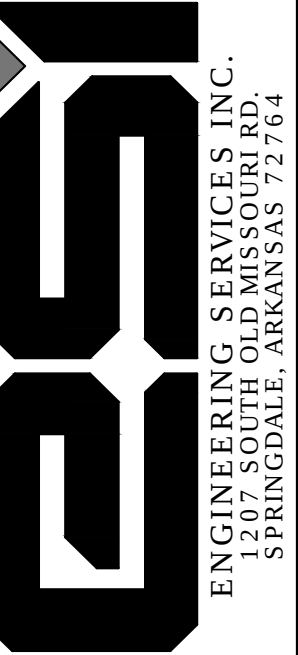


- NOTES:
- 1) ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOP SOIL AND RE-VEGETATED PER SECTION 169.06 OF THE UDC. VEGETATION MUST BE ESTABLISHED TO MINIMIZE EROSION PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 - 2) WHEN SILT FENCE OR WATTLES ARE NOT PLACED AT A CONSTANT ELEVATION FOLLOWING CONTOURS ON STEEP SLOPES, THE "U" HOOP METHOD SHOULD BE USED (AT 50 FT INTERVALS) TO CREATE PONDING AND PREVENT EROSION OF THE TRENCH BACKFILL OF SILT FENCE INSTALLATION.
 - 3) ALL GRADED AND OTHERWISE DISTURBED AREAS SHALL BE STABILIZED WITHIN 15 DAYS IMMEDIATELY AFTER GRADING OR DISTURBANCE HAS CEASED.
 - 4) PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED CONCURRENTLY TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
 - 5) TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
 - 6) RE-VEGETATION, RE-VEGETATION SHALL BE REQUIRED TO MEET THE FOLLOWING PERFORMANCE STANDARDS (SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED) UNLESS OTHERWISE ALLOWED BY THE CITY ENGINEER:
 - TOPSOIL: A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REQUIRED TO BE EITHER EXISTING OR INSTALLED IN AREAS TO BE REVEGETATED AS SET FORTH IN §169.06(F)(6) BELOW. ANY APPLICATION OF TOPSOIL AND SEEDING UNDER THE DRIP LINE OF A TREE SHOULD BE MINIMIZED TO 3 INCHES SO AS NOT TO DAMAGE THE TREE'S ROOT SYSTEM.
 - ZERO TO 10% GRADE: RE-VEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING. SAID SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 - 10% TO 4:1 GRADE: RE-VEGETATION SHALL BE A MINIMUM OF HYDRO-SEEDING WITH MULCH AND FERTILIZER, SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 - 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDING WITH MULCH AND FERTILIZER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 - MORE THAN 3:1 GRADE: ANY FINISH GRADE OVER 3:1 SHALL BE STABILIZED WITH ONE OR MORE OF THE FOLLOWING:
 - RETAINING WALLS; CRIBBING WITH LANDSCAPE FABRIC; TERRACING WITH GROUND COVER; RIPRAP; STAKED SOD (UP TO 2:1 SLOPE)
 - IF CRIBBING, TERRACING, OR RIPRAP IS USED, THE SLOPE'S STABILITY AND ERODIBILITY MUST BE EQUIVALENT TO OR BETTER THAN ITS PREDEVELOPMENT STATE.
 - 7) PERMANENT EROSION CONTROL: THE DEVELOPER SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES AT THE EARLIEST PRACTICAL TIME. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE UNFORESEEN DURING THE DESIGN STAGE, THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT EROSION CONTROL FEATURES, OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PROJECTS, BUT ARE NOT ASSOCIATED WITH PERMANENT CONTROL FEATURES ON THE PROJECT.
 - 8) DUST: WHERE EXCESSIVE DUST MAY BECOME A PROBLEM, A PLAN FOR SPRAYING WATER ON HEAVILY TRAVELED DIRT AREAS SHALL BE ADDRESSED.
 - 9) CONSTRUCTION EXITS: A STABILIZED ROCK EXIT IS REQUIRED ON CONSTRUCTION SITES. ROCK EXITS MUST BE AT LEAST 20' WIDE BY 50' LONG BY 6" THICK STABILIZED ROCK HAVING A MINIMUM AVERAGE DIAMETER OF 3". IF THERE IS AN EXISTING CURB, LOOSE MATERIAL SUCH AS FILL DIRT OR GRAVEL SHALL NOT BE USED TO RAMP UP TO IT FROM THE STREET. TEMPORARY WOODEN RAMPS IN FRONT OF CURBS ARE ACCEPTABLE.
 - 10) DEBRIS, MUD, AND SOIL IN PUBLIC STREETS, DEBRIS, MUD AND SOIL SHALL NOT BE ALLOWED ON PUBLIC STREETS BUT IF ANY DEBRIS, MUD, OR SOIL FROM DEVELOPMENT SITES REACHES THE PUBLIC STREET IT SHALL BE IMMEDIATELY REMOVED VIA SWEEPING OR OTHER METHODS OF PHYSICAL REMOVAL. DEBRIS, MUD, OR SOIL IN THE STREET MAY NOT BE WASHED OFF THE STREET OR WASHED INTO THE STORM DRAINAGE SYSTEM. STORM DRAINAGE SYSTEMS DOWNSTREAM OF A DEVELOPMENT SITE SHOULD BE PROTECTED FROM DEBRIS, MUD, OR SOIL IN THE EVENT THAT DEBRIS, MUD, OR SOIL REACHES THE DRAINAGE SYSTEM.
 - 11) FRANCHISE AND PRIVATE UTILITIES: THE PROPERTY OWNER OR MAIN CONTRACTOR ON-SITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGED OR DISTURBED BY UNDERGROUND PRIVATE OR FRANCHISE UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.

FLOOD PLAIN ZONING:

THIS DEVELOPMENT IS WITHIN FLOOD ZONE, "X" AS SHOWN ON THE F.I.R.M. MAP #05143C0018 C, PANEL 65 OF 575, WASHINGTON COUNTY, ARKANSAS AND INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

STORM WATER POLLUTION PREVENTION PLAN
ASPEN HEIGHTS
TONTITOWN, ARKANSAS



REVISION	DATE	DESCRIPTION

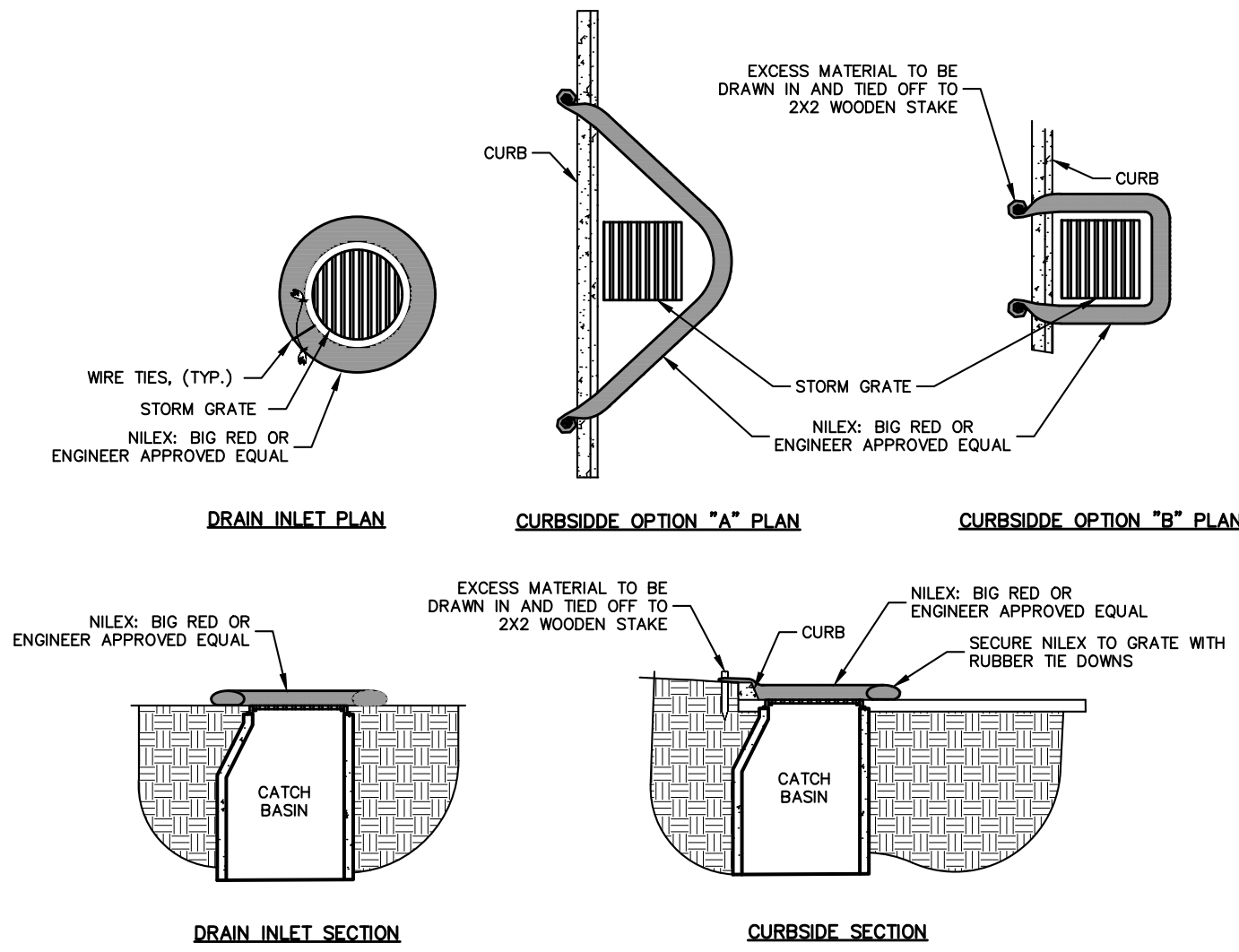
SCALE: 1"=50'

DATE: May 22, 2019

ENGINEER: TJA

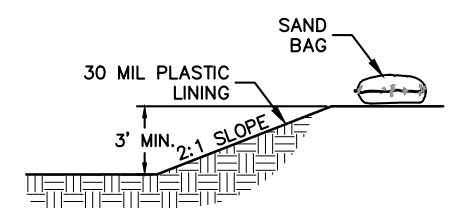
DRAWN BY: XXX

W.O. #: 19909

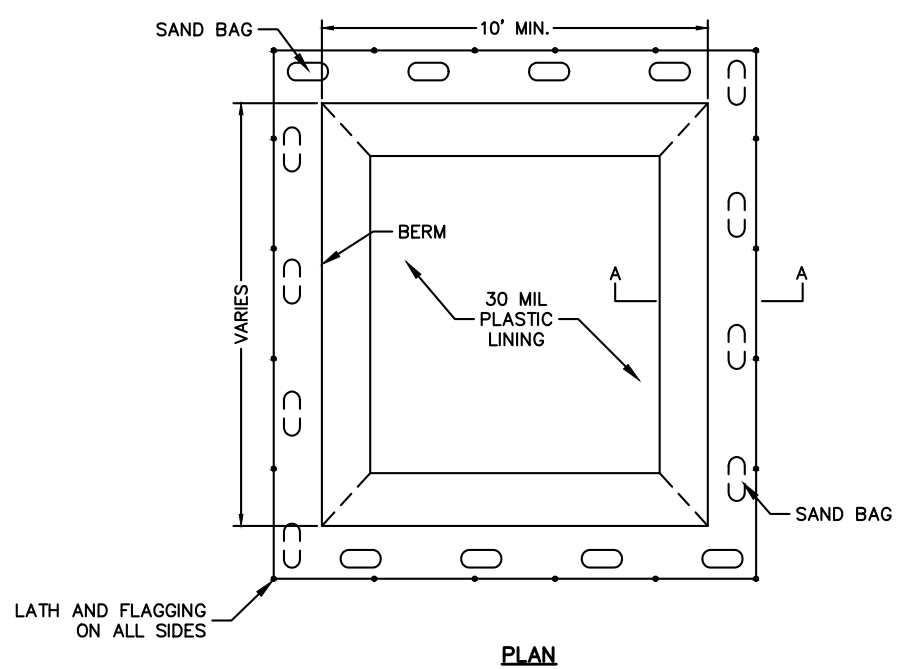


- NOTES:
- 1) ALL MATERIAL TO MEET SPECIFICATIONS.
 - 2) NILEX-BIG RED TO MEET APPLICATION REQUIREMENTS.
 - 3) COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

INLET PROTECTION
NOT TO SCALE



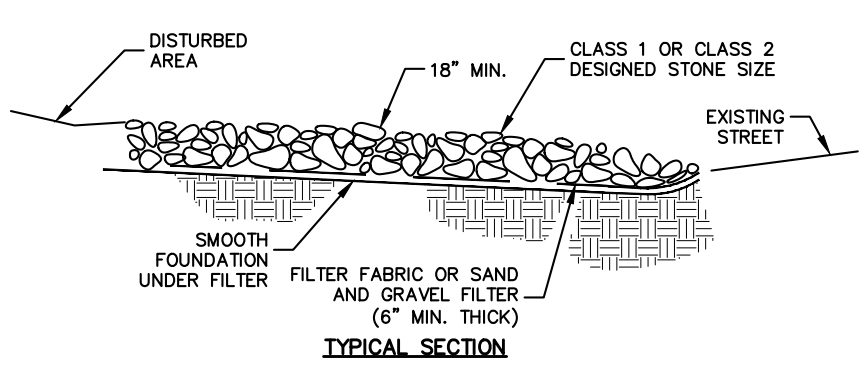
SECTION A - A



PLAN

- NOTES:
- 1) LATH AND FLAGGING SHOULD BE COMMERCIAL TYPE.
 - 2) PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 30 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

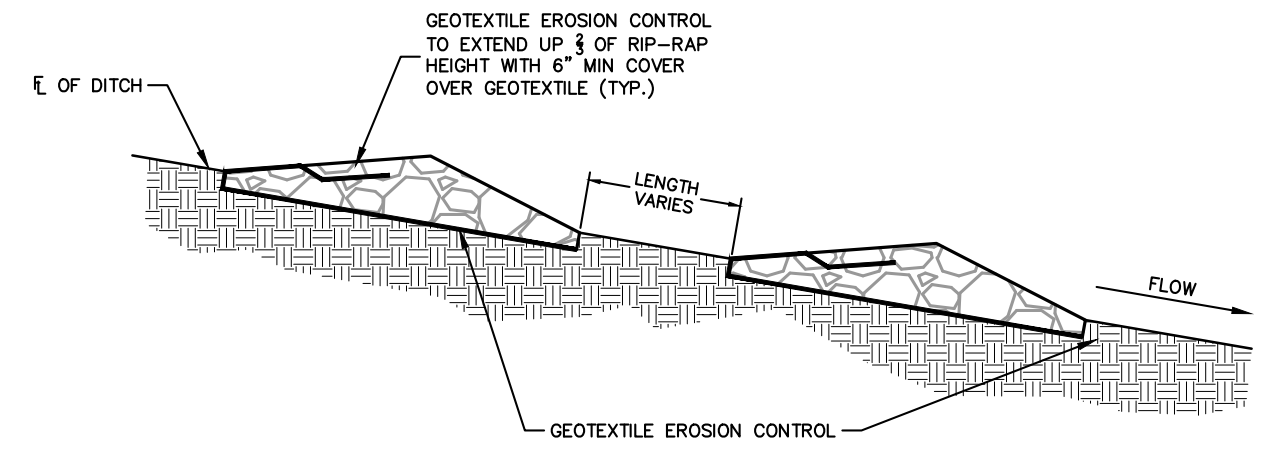
CONCRETE WASH-OUT AREA
NOT TO SCALE



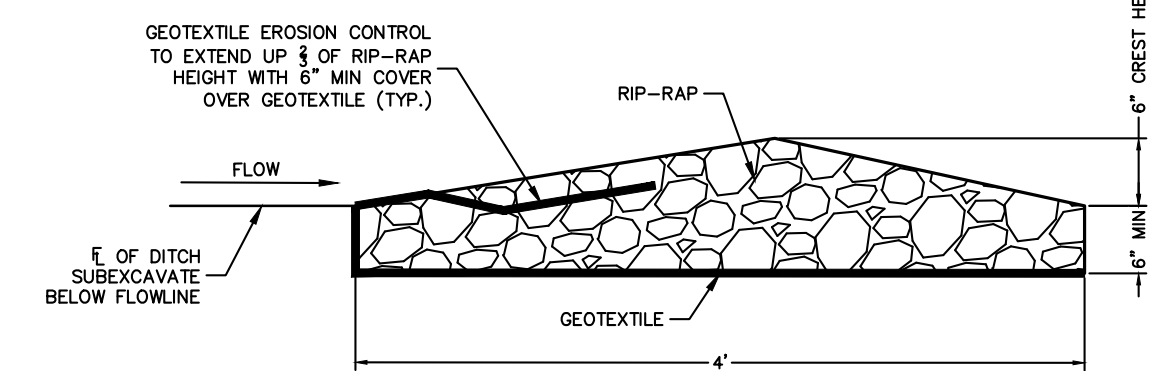
TYPICAL SECTION

- NOTES:
- 1) MINIMUM THICKNESS SHALL BE 18". THE STONE DIAMETER, NEVER LESS THAN 6".
 - 2) MINIMUM LENGTH SHALL BE 50'

MUD ABATEMENT ENTRANCE
NOT TO SCALE



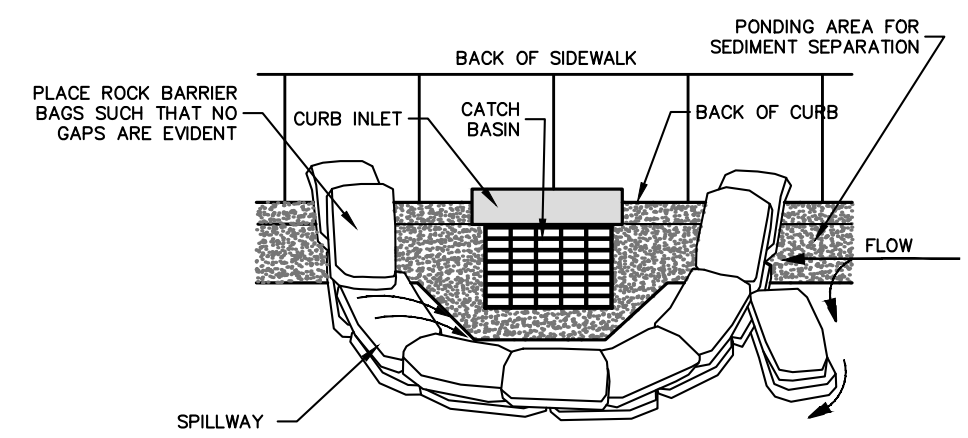
SECTION VIEW ALONG DITCH FLOWLINE



SECTION VIEW OF CHECK DAM

- NOTES:
1. RIP-RAP SIZE D50 = 6" OR AS SHOWN ON THE PLANS.

ROCK CHECK DAM

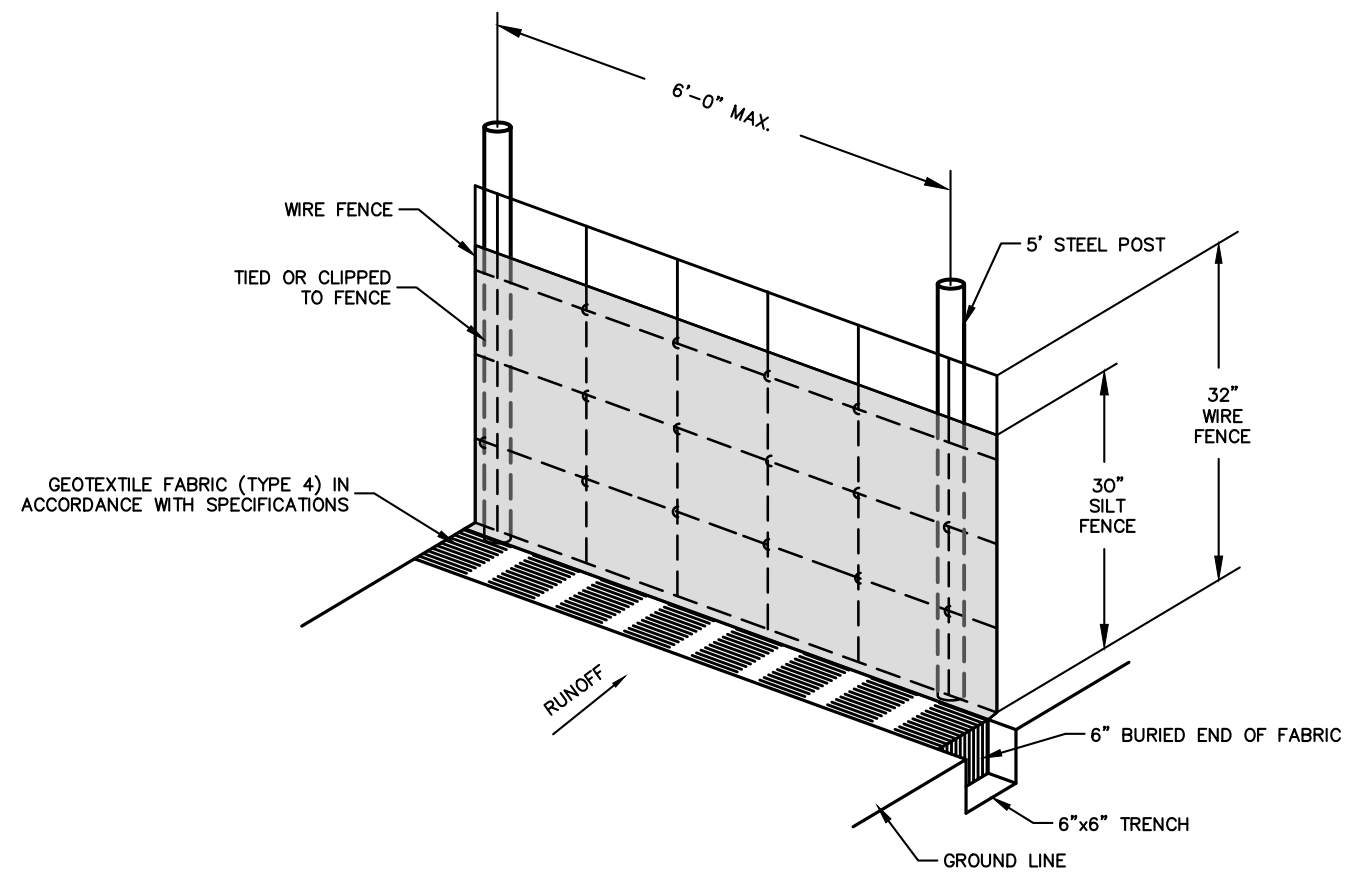


- NOTES:
- 1) BAGS OF WOVEN GEOTEXTILE FABRIC, FILLED WITH GRAVEL MUST BE LAYERED SUCH THAT NO GAPS ARE EVIDENT.
 - 2) LEAVE ONE SANDBAG GAP IN THE TOP ROW ON THE SIDE AWAY FROM FLOW, TO PROVIDE A SPILLWAY, OR IN THE CENTER IF PONDING IS NEEDED ON BOTH SIDES.
 - 3) INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

CURB INLET PROTECTION SETUP
NOT TO SCALE

Maximum Slope Length for Silt Fence		
Slope - Percent	Maximum Slope Length (ft) Above Fence	
	Standard (18" High) Silt Fence	Reinforced (30" High) Silt Fence
2 (or less)	150	250
5	100	250
10	50	150
15	35	100
20	25	70
25	20	55
30	15	45
35	15	40
40	15	35
45	10	30
50	10	25

- NOTES:
1. THE SLOPE LENGTH SHOWN IS THE DISTANCE FROM THE FENCE TO THE DRAINAGE DIVIDE OR THE NEAREST UPSLOPE CHANNEL.
 2. SLOPE LENGTH CANNOT BE ADDRESSED BY USE OF MULTIPLE ROWS OF SILT FENCE.



SILT FENCE NOTES

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTIOPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOP OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. HERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT). WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

WIRED REINFORCED BURIED EDGE SILT FENCE
NOT TO SCALE

REVISION	DATE	DESCRIPTION

SCALE: N.T.S.
DATE: May 22, 2019
ENGINEER: TJA
DRAWN BY: XXX
W.O. #: 19909