

ORDINANCE NO. 2019 – 4 - _____

CITY OF TONTITOWN, WASHINGTON COUNTY, ARKANSAS

**AN ORDINANCE REZONING THE PROPERTY LOCATED WEST OF
1255 MORSANI ROAD- PARCEL NOS. 830-37733-004 and 830-37733-002
IN THE CITY OF TONTITOWN ARKANSAS FROM R3-RESIDENTIAL
TO A PLANNED UNIT DEVELOPMENT (PUD).**

WHEREAS, a PUD rezoning application and plan was submitted and filed with the City of Tontitown on or around the 1st day of March, 2019, by Earthplan Design as agent for Bader Homes, LLC, requesting the City of Tontitown to rezone certain property located on Morsani Road, West of 1255 Morsani Road, Parcel Nos. 830-37733-004 and 830-37733-002 described therein and herein from R3-Residential to a Planned Unit Development (PUD).

WHEREAS, after due notice as required by law, the city of Tontitown, Arkansas, Planning Board has heard all those who wish to be heard regarding the rezoning application; and

WHEREAS, the City Council of the City of Tontitown, Arkansas, has determined that said rezoning complies with the adopted plans of the City of Tontitown which are designed to protect the health, safety, or welfare of the citizens; and

WHEREAS, it is the desire of the City Council that the application, including the plan and conditions attached hereto as Exhibit “A”, be approved as submitted and said property be rezoned to a Planned Unit Development (PUD)

NOW, THEREFORE, BE IT ORDAINED by the City Council of the city of Tontitown, Arkansas:

Section 1: The City of Tontitown hereby changes the zone classification from R3-Residential to a Planned Unit Development (PUD), for certain real property located on Morsani Road, West of 1255 Morsani Road, Parcel Nos. 830-37733-004 and 830-37733-002, located inside the City Limits of the City of Tontitown Arkansas, more particularly described as:

Legal Description for parcel #s 830-37733-004 and 830-37733-002

SURVEY DESCRIPTION:

A PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 17 NORTH, RANGE 31 WEST, TONTITOWN, WASHINGTON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND STONE BEING THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 11; THENCE SOUTH 87°17'15" EAST A DISTANCE OF 435.75 FEET TO A SET 5/8" REBAR BEING THE POINT OF BEGINNING; THENCE NORTH 02°54'30" EAST A DISTANCE OF 1323.41 FEET TO A RAIL ROAD SPIKE; THENCE SOUTH 87°07'28" EAST A DISTANCE OF 550.28 FEET TO A RAIL ROAD SPIKE; THENCE SOUTH 02°55'17" WEST 1321.84 FEET TO A SET 5/8" REBAR; THENCE NORTH 87°17'15" WEST A DISTANCE OF 549.98 FEET TO THE POINT OF BEGINNING CONTAINING 16.70 ACRES OR 727,616 SQUARE FEET MORE OR LESS. SUBJECT TO THAT PORTION IN ROAD RIGHT-OF-WAY ON THE NORTH SIDE OF THE HEREIN DESCRIBED TRACT AND UTILITY EASEMENTS OF RECORD, IF ANY.

Section 3. That the plan and conditions for the PUD, attached hereto as Exhibit "A", shall be a condition of the preliminary plat and final plat filed for this PUD as required and set forth by Tontitown Zoning Regulations.

Section 2: That the official Zoning Map of the city of Tontitown, Arkansas, shall be amended to reflect this change within thirty (30) days of the date of this ordinance. Any ordinance or parts thereof in conflict with this ordinance is hereby repealed and declared invalid.

Section 3: That the Recorder-Treasurer shall cause this document, and any other documents needed to accomplish the intent of this ordinance, to be properly filed as required by law.

PASSED AND APPROVED this 2nd day April, 2019

APPROVED:

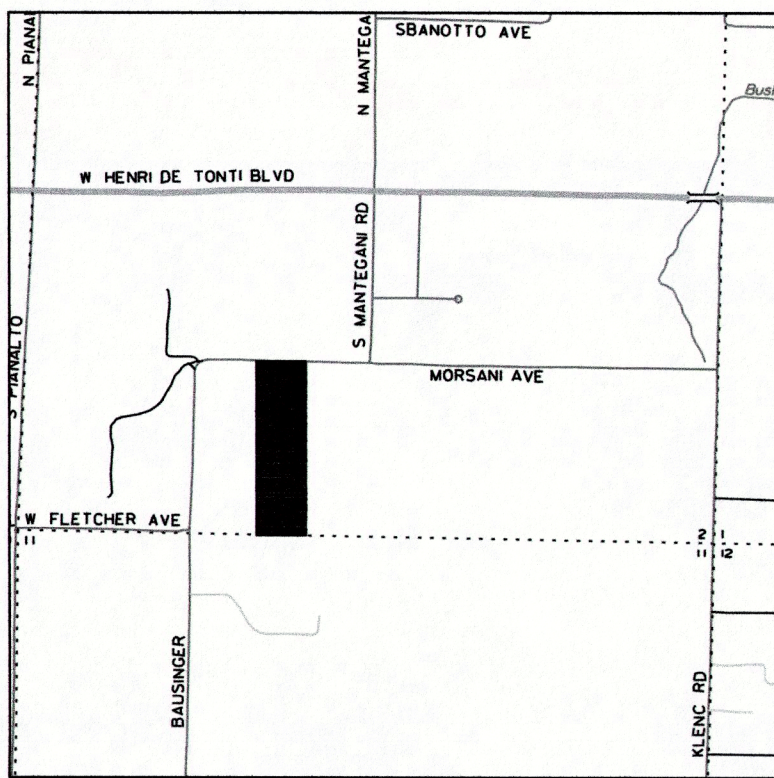
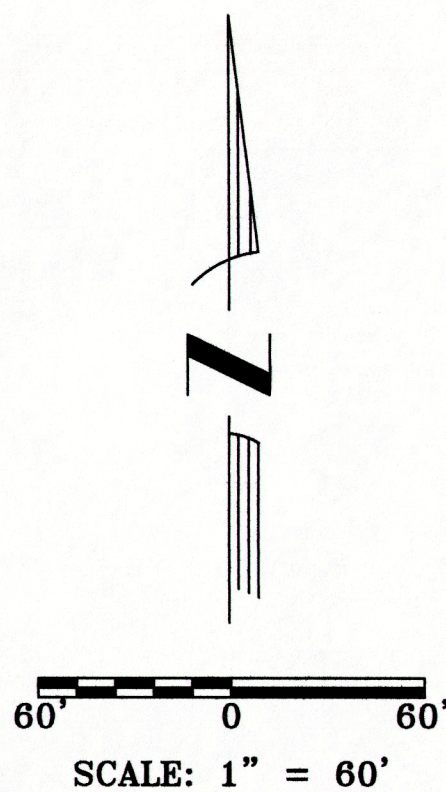
PAUL COLVIN, JR., Mayor

ATTEST:

_____, Recorder-Treasurer
(SEAL)

TONTITOWN, AR

COVER
MORSANI ACRES SUBDIVISION
TONTITOWN, AR



SURVEY DESCRIPTION:

A PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 17 NORTH, RANGE 31 WEST, TONTITOWN, WASHINGTON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND STONE BEING THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 2; THENCE SOUTH 87°17'15" EAST A DISTANCE OF 435.75 FEET TO A SET 5/8" REBAR BEING THE POINT OF BEGINNING; THENCE NORTH 02°54'30" EAST A DISTANCE OF 1323.41 FEET TO A RAILROAD SPIKE; THENCE SOUTH 87°07'28" EAST A DISTANCE OF 550.28 FEET TO A RAILROAD SPIKE; THENCE SOUTH 02°55'17" WEST 1321.84 FEET TO A SET 5/8" REBAR; THENCE NORTH 87°17'15" WEST A DISTANCE OF 549.98 FEET TO THE POINT OF BEGINNING CONTAINING 16.70 ACRES OR 727,616 SQUARE FEET MORE OR LESS. SUBJECT TO THAT PORTION IN ROAD RIGHT-OF-WAY ON THE NORTH SIDE OF THE HEREIN DESCRIBED TRACT AND UTILITY EASEMENTS OF RECORD, IF ANY.

LEGEND

- MONUMENT FOUND (AS NOTED)
○ MONUMENT SET (5/8" REBAR)
+ BENCH MARK
□ UTILITY POLE
⊕ TELEPHONE RISER
⊗ DECIDUOUS TREE
X WIRE FENCE
— EXISTING WATER LINE
— OVERHEAD ELECTRIC LINE
— TELEVISION CABLE
— PROPERTY LINES
— BUILDING SETBACK
(xxx.xx') RECORD DISTANCE
(xx°xx'xx") RECORD BEARING

Notes:

- Except as specifically stated or shown on this plat, the survey does not purport to reflect any of the following which may be applicable to the subject real estate:

Easements, other than possible easements which were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations, or any other facts which an accurate and current title search may disclose.
- Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied the surveyor.
- This plat represents a boundary survey of the parcel recorded in Deed Records, Book 2003, Page 00031927 & Book 2003, Page 00031930 at the courthouse in Washington County, Arkansas.
- Basis of Bearings: Arkansas State Plane, North Zone (NAD83).
- Basis of Elevation: City of Tontitown GIS Control #7
- Site Bench Mark: See in Drawing.
- This survey is valid only if the drawing includes the seal and signature of the surveyor.
- This survey meets current "Arkansas Minimum Standards for Property Boundary Surveys and Plats."
- No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record which would affect this parcel.
- Declaration is made to the original purchaser of the survey and is not transferable to any additional institutions or subsequent owners.
- This property is zoned R-3.
- Building setbacks for zone R-3 are as follows:

Front	30 Feet
Side(Interior)	7 Feet
Side(R.O.W)	25 Feet
Rear	25 Feet
- No attempt was made to show building setback lines graphically on the survey. Setback dimensions are based on the orientation of the building(s) to be constructed.
- Subsurface and environmental conditions were not examined nor considered a part of this survey.
- No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or facilities.
- Underground utilities were located by visible above ground markings as marked by utility locators and shown hereon as located by James Layout Services, LLC survey field crews. All utility locations shown hereon are approximate. All utilities may not have been marked/located by the appropriate locators. No excavation has taken place as of this date to determine the exact location of existing underground utilities shown on this survey.
- (BY GRAPHICAL PLOTTING ONLY)
This property is not located within any presently established 100-year flood plain as determined by the National Flood Insurance Program, flood insurance rate map for Washington County, Arkansas. Map Number 05143C0045F. Revised date 04/02/2008.

STONE
SW CORNER
SE 1/4 SW 1/4
SECTION 2
T-17-N, R-31-W
PLAT 0001-00000503
PLAT 0002-00000071
PLAT 0001-00000020
PLAT 2003-00034187
PLAT 2011-00018091
PLAT 024A-00000183

(N89°24'12"E 448.45')
S87°17'15"E 435.75'

1/2" REBAR
PLS 1756

(S00°33'29"E 1321.18')
N2°54'30"E
1323.41'

POND
AREA

POINT OF BEGINNING

1/2" REBAR
PLS 1756

1/2" REBAR
PLS 1756

N87°17'15"W 549.98'
(N89°24'12"E 550.00')

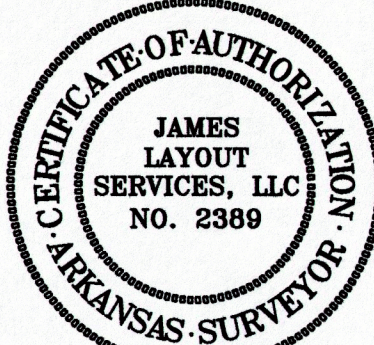
5/8" REBAR

1/2" REBAR
PLS 1756

1/2" REBAR
PLS 1756

1/2" REBAR
SE CORNER
SE 1/4 SW 1/4
SECTION 2
T-17-N, R-31-W
PLAT 0001-00000503
PLAT 0002-00000071
PLAT 0001-00000020
PLAT 2003-00034187
PLAT 024A-00000183

S87°17'15"E
329.99'



State Filing Code:
500-17N-31W-0-02-320-72-1845

1 OF 1

SHEET NO.

JLS

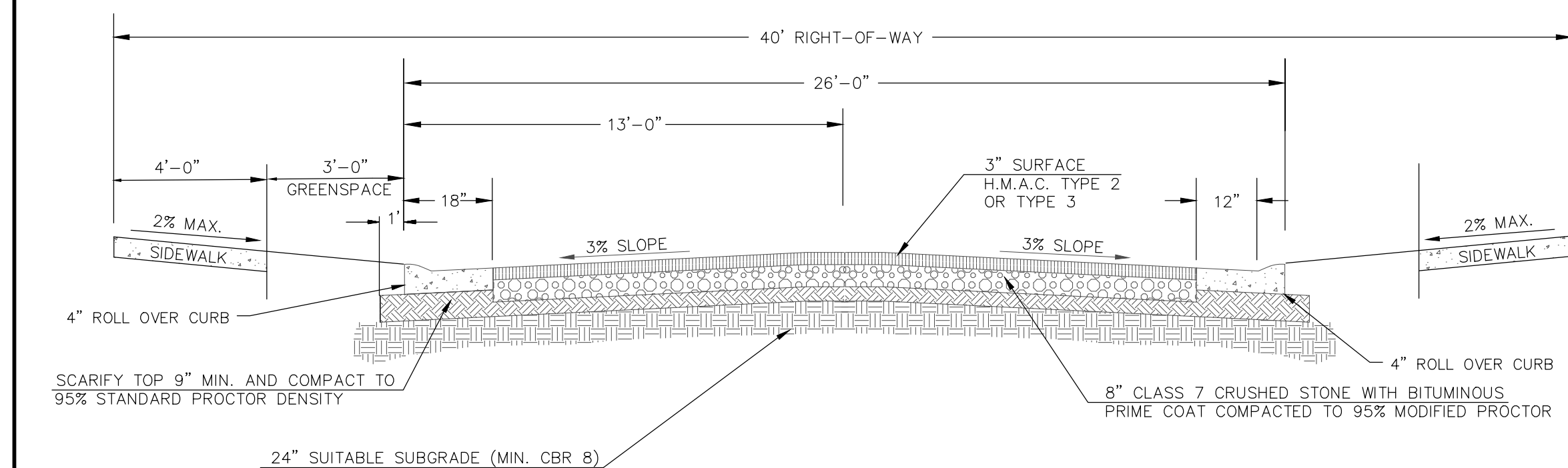
James Layout Services, LLC
P.O. Box 611
Farmington, Arkansas 72730
Telephone: (479) 439-9929
survey@jlsnwa.com

BOUNDARY / TOPOGRAPHIC SURVEY

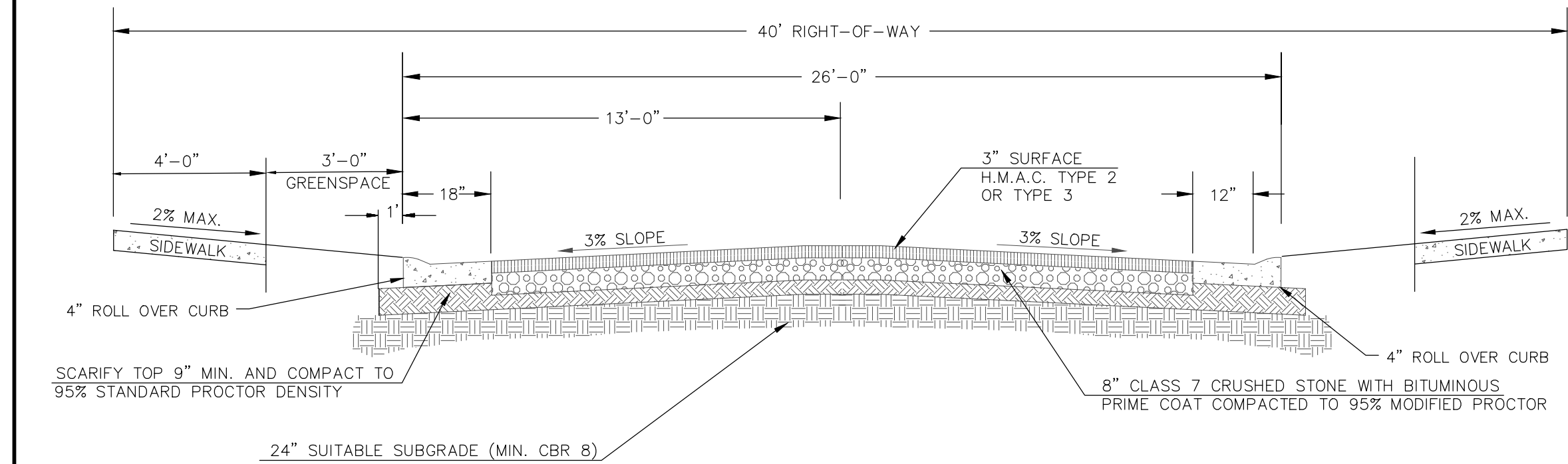
DATE: 01/25/2019
SCALE: AS SHOWN
M.J.
CHECKED BY: N.R.
DRAWN BY: SURVEY FOR: EARTHPLAN DESIGN ALTERNATIVES
JOB NO.: 19-007

REVISIONS

DATE:	BY:	REASON:



N.T.S.



N.T.S.

CERTIFICATE OF PRELIMINARY SURVEY ACCURACY.

I, _____, HEREBY CERTIFY THAT THIS PLAT
 CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL
 MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE,
 TYPE AND MATERIAL ARE CORRECTLY SHOWN.
 DATE OF EXECUTION: _____

REGISTERED LAND SURVEYOR
 STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY.

EACH SET OF STREET AND DRAINAGE PLANS MUST BE SUBMITTED IN
 ACCORDANCE WITH APPLICABLE STATE STATUTES AND ANY PLANS AND
 SPECIFICATIONS REQUIRED: _____

I, _____, HEREBY CERTIFY THAT THIS PLAT
 CORRECTLY REPRESENTS A PLAN PREPARED UNDER MY DIRECTION AND
 ENGINEERING REGULATIONS OF THE TOWNTOWN SUBDIVISION REGULATIONS
 HAVE BEEN COMPLIED WITH.
 DATE OF EXECUTION: _____

REGISTERED ENGINEER
 STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF PRELIMINARY PLAT APPROVAL.

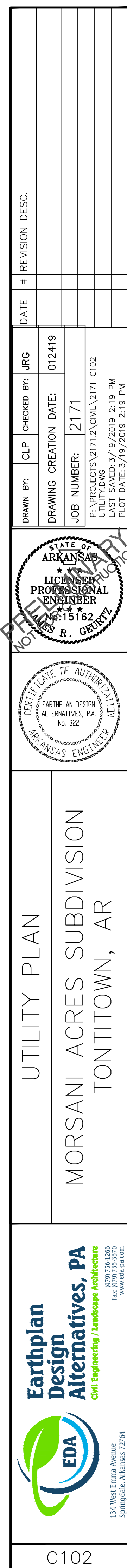
THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS
 NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. IT
 WILL BECOME A PUBLIC RECORD IF THE PLAT IS RECORDED.
 THIS CERTIFICATE SHALL EXPIRE ON _____ (DATE).
 DATE OF EXECUTION: _____

CHAIRMAN, CITY OF TOWNTOWN PLANNING COMMISSION

Parcel #	Area (AC)
49	0.16
50	0.16
51	0.16
52	0.16
53	0.16
54	0.16
55	0.17
56	0.17
57	0.20
58	0.16
59	0.16
60	0.16
61	0.16
62	0.16
63	0.16
64	0.16
65	0.18
66	0.18
67	0.18
68	0.18
69	0.18
70	0.22
A	0.52
B	0.50

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	
C1	27.42	17.50	89.78	S41° 58' 22"E	24.70	
C2	27.27	17.50	89.29	N48° 29' 00"E	24.60	
C3	27.51	17.50	90.06	S42° 06' 31"E	24.76	
C4	27.47	17.50	89.94	N47° 53' 25"E	24.74	
C5	27.55	17.50	90.21	N42° 11' 04"W	24.79	
C6	27.43	17.50	89.79	S47° 49' 01"W	24.70	
C7	27.55	17.50	90.21	N42° 11' 04"W	24.79	
C8	27.15	17.50	88.90	S48° 15' 15"W	24.51	

	Property Line
	Easement Line
	Building Set Back Line
	Ex. Gas Line
	Ex. Underground Utilities
	Ex. Water Line
	Ex. Overhead Electric Line
	Proposed Storm Water Pipe
	Proposed Sanitary Sewer Line
	Proposed Water Line
	Existing Fence
	Road Center Line
	Proposed Single Water Meter
	Fire Hydrant
	Demarcation Valve
	Overhead Electric
	Existing Sanitary Sewer Manhole
	Existing Storm Water Manhole
	Sewer Service
	Communication Box
	Electric Transformer
	Light Pole
	Found Iron Pin
	Set Iron Pin
	Concrete Sidewalk Construct Concurrently with Subdivision
	Concrete Sidewalk Construct Separately as Adjacent Houses are Built
	Asphalt Paving





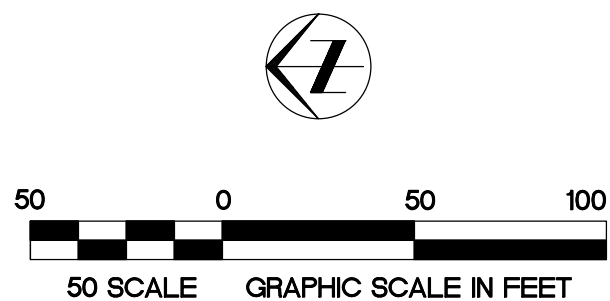
- GRADING NOTES:**
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVAL AND PROPER DISPOSAL OF DEBRIS, CLEARING, GRUBBING, AND STRIPPING OF TOPSOIL AND ORGANIC MATTER AS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. TOPSOIL MAY BE STOCKPILED ON SITE, AS DIRECTED BY THE ENGINEER. THE BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS GAINED FROM THE OWNER, ENGINEER, AND GOVERNING OFFICIALS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, ETC. REQUIRED.
 - 2) BUILDING SETBACK AREAS TO RECEIVE FILL MATERIAL SHALL BE SCARIFIED TO A DEPTH OF 8-INCH DEPTH AND PROPERLY COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE FURTHER UNDERCUT AND REPLACED WITH SUITABLE MATERIAL, AS DIRECTED BY THE ENGINEER.
 - 3) OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 20 OR LESS, A LIQUID LIMIT OF 50 OR LESS, AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF SITE FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER.
 - 4) AREAS THAT ARE TO BE CUT TO SUB-GRADE LEVELS SHALL BE PROOF-ROLLED WITH A LOADED TANDEM AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS. CUT AREAS ARE TO BE SCARIFIED AND RE-COMPACTED TO 95% STANDARD PROCTOR AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
 - 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE WATER SPRINKLING TRUCKS OR OTHER MEANS SUITABLE OF CONTROL OF DUST. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - 6) THE DEVELOPER SHALL PROVIDE AN INDEPENDENT TESTING LABORATORY TO PERFORM CONSTRUCTION TESTING OF THE SUB-GRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUB-GRADE DENSITIES. THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTIFICATION SO THE DEVELOPER CAN SCHEDULE TESTING.
 - 7) THE CONTRACTOR SHALL MAINTAIN ALL SLOPES 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ALL SLOPES EXCEEDING 3:1, BUT LESS THAN 2:1 SHALL BE SODDED.
 - 8) CONTRACTOR SHALL CONTROL EROSION ALONG THE EDGE OF THE PROPERTY INCLUDING BOTTOM OF SLOPE LOCATIONS AND ALONG DITCHES LINES. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEANS TO PREVENT MUD AND DEBRIS FROM FLOWING ONTO ADJACENT PROPERTY.
 - 9) ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR-INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOP-SOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL 70% GRASS COVER IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR.

- REVEGETATION REQUIREMENTS:**
RE-VEGETATION SHALL BE REQUIRED TO MEET THE FOLLOWING PERFORMANCE STANDARDS (SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED) UNLESS OTHERWISE ALLOWED BY THE CITY ENGINEER:
1. TOPSOIL. ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL AND REVEGETATED. TOPSOIL SHALL BE REQUIRED TO BE EITHER EXISTING OR INSTALLED IN AREAS TO BE REVEGETATED AS SET FORTH IN BELOW. ANY APPLICATION OF TOPSOIL AND SEEDING UNDER THE DRY LINE OF A TREE SHOULD BE MINIMIZED TO 3 INCHES SO AS NOT TO DAMAGE THE TREES ROOT SYSTEM.
 2. ZERO TO 10% GRADE: RE-VEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING. SAID SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 3. 10:1 UP TO 4:1 GRADE: RE-VEGETATION SHALL BE A MINIMUM OF HYDRO-SEEDING WITH MULCH AND FERTILIZER, SOD, OR GROUNDCOVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 4. 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDED WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUNDCOVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.

- DRAINAGE SYSTEM NOTES:**
1. THE CONTRACTOR SHALL INSTALL THE DRAINAGE SYSTEM AS INDICATED ON THE PLANS, IN ACCORDANCE WITH THE SPECIFICATION AND DETAILS.
 2. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III OR CLASS IV IN SIZE, TYPE, DIAMETER, AND LENGTH AS INDICATED ON THE PLANS. ALL RCP TO BE USED ON THESE PLANS SHALL BE TONGUE AND GROOVE TYPE.
 3. RCP FLARED END SECTIONS SHALL BE CLASS II.
 4. ALL TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH AASHTO T280, LATEST REVISION. THE MANUFACTURE AND FURNISHING OF CIRCULAR PIPE SHALL BE IN ACCORDANCE WITH AASHTO M170.
 5. JOINTS SHALL BE SEALED WITH PREFORMED RUBBER GASKETS OR BITUMEN/BUTYL RUBBER PLASTIC GASKETS CONFORMING TO AASHTO M198, TYPE A.
 6. ALL SPOT ELEVATIONS TO GUTTER UNLESS OTHERWISE NOTED.

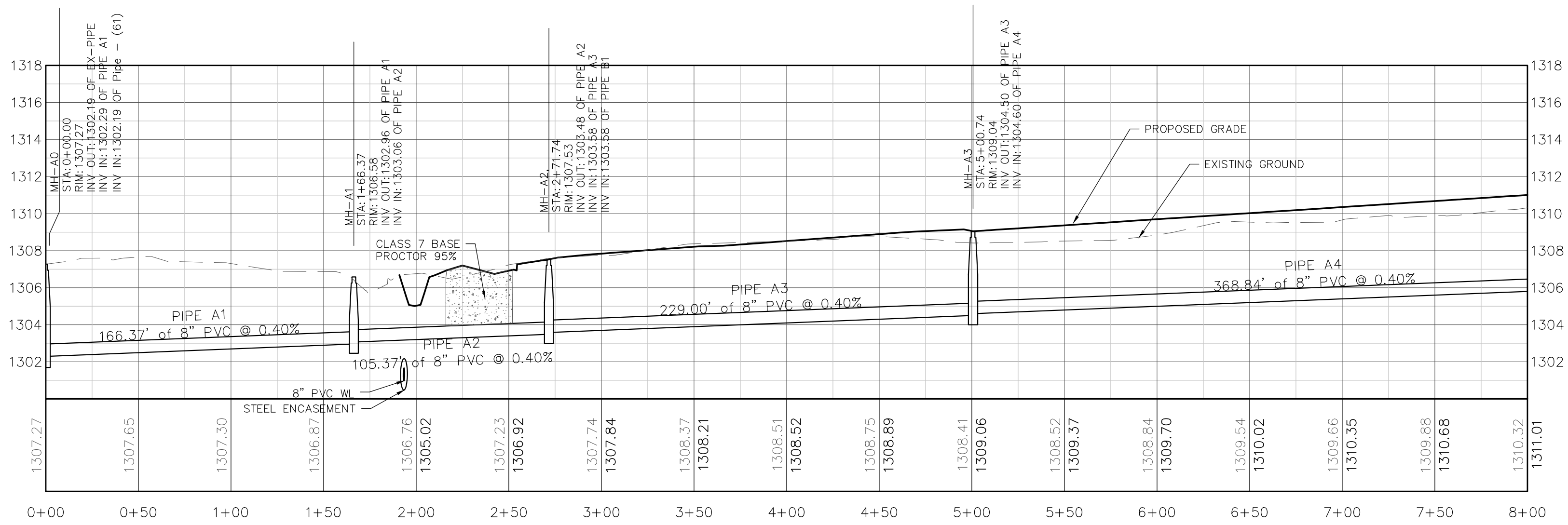
- PAVING NOTES:**
- 1) ASPHALTIC CONCRETE SURFACE AND BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SECTIONS 406 AND 303.
 - 2) AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS.
 - 3) CRUSHED STONE BASE SHALL BE CLEAN CRUSHER RUN STONE IN THE THICKNESS AND COMPACTION REQUIREMENTS AS REQUIRED AND SPECIFIED ON THE PLANS. CRUSHED STONE BASE COURSE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS FOR CLASS 7 BASE MATERIAL AS REQUIRED BY THE ARKANSAS HIGHWAY AND TRANSPORTATION DEPARTMENT.
 - 4) BITUMINOUS PRIME COAT SHALL BE OUTBACK ASPHALT, TYPE MC-30 OR MC-70 IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARKANSAS STATE HIGHWAY SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 - 5) HOT-MIX ASPHALTIC CONCRETE SHALL CONFORM TO THE PROVISIONS OF SECTION 409, MATERIALS AND EQUIPMENT FOR HOT MIX BITUMINOUS BINDER AND SURFACE COURSES IN THE ARKANSAS STATE HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

- CONCRETE NOTES:**
- 1) CONCRETE STRUCTURES SHOULD CONFORM TO THE ARKANSAS DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SECTION 501.
 - 2) CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,500 PSI WITH A FOUR INCH MAXIMUM SLUMP. CONCRETE SHALL COMPLY WITH TYPE 1 PORTLAND CEMENT COMPLIANCE WITH ACI COMMITTEE 318-89 REQUIREMENTS.
 - 3) REINFORCING STEEL AND WELDED WIRE FABRIC SHALL BE AS SPECIFIED IN THE CONSTRUCTION DETAILS.
 - 4) VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE SPECIFICATIONS.
 - 5) THE CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINTS BY SAW-CUT OR OTHER APPROVED MEANS. THE CONSTRUCTION JOINTS SHALL BE LOCATED 15-FOOT ON-CENTERS, MAXIMUM EACH WAY. THE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH EQUAL TO AT LEAST 1/4 CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE ENGINEER OR AS DETAILED ON PLANS.

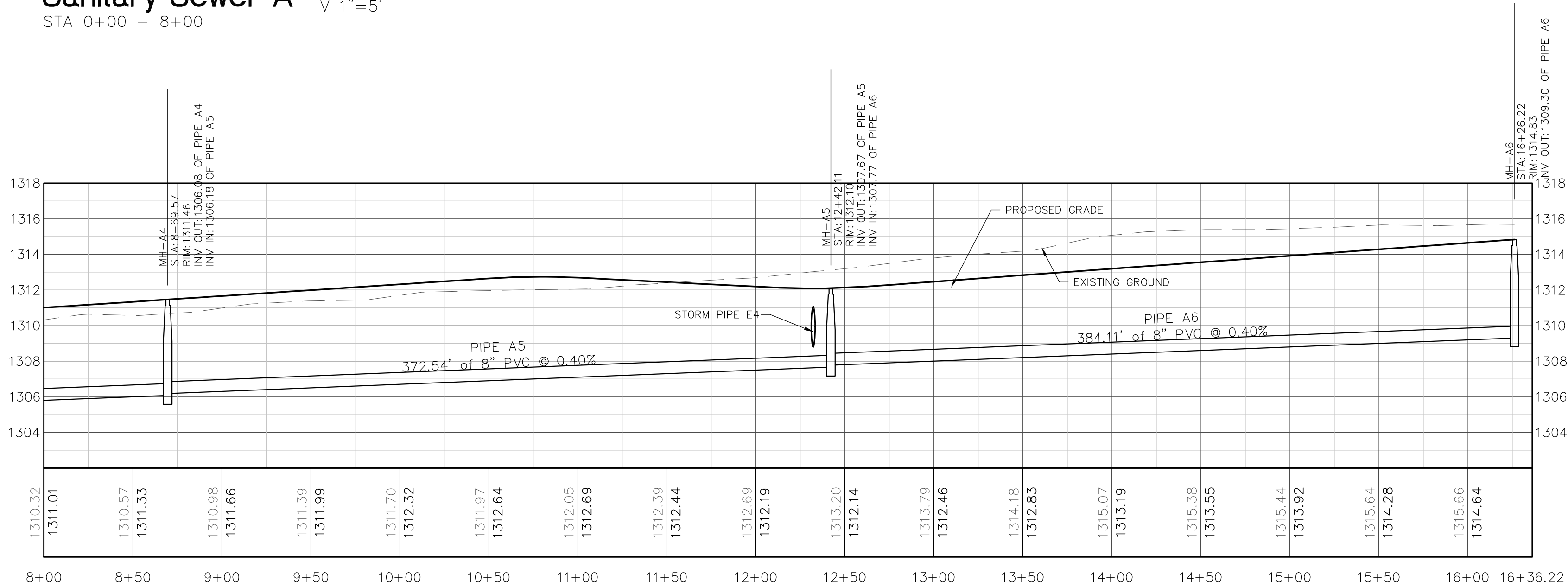


- Legend**
- Found Iron Pin
 - Set Iron Pin
 - Overhead Electric
 - Proposed Manhole
 - Proposed Manhole
 - Sewer Service
 - Proposed Single Water Meter
 - Hydrant
 - Gate Valve
 - 45° Bend
 - Tee
 - FDC
 - Fire Hydrant Assembly
 - Proposed Sanitary Sewer Line
 - Proposed Water Line
 - Matchline
 - Fence
 - OHE Overhead Electric
 - Gas
 - ROW Right of Way
 - ATT ATT
 - Centerline Road
 - Property Line
 - Adjacent Property Line
 - Easement Line
 - Building Set Back Line
 - Proposed Storm Water Pipe
 - Approx. Tree Line Location
 - Underground Utility Sleeves
 - Concrete Sidewalk Construct Concurrently with Subdivision
 - Concrete Sidewalk Construct Separately as Adjacent Houses are Built
 - Gravel
 - Rip Rap
 - Flood Way
 - Flood Plain

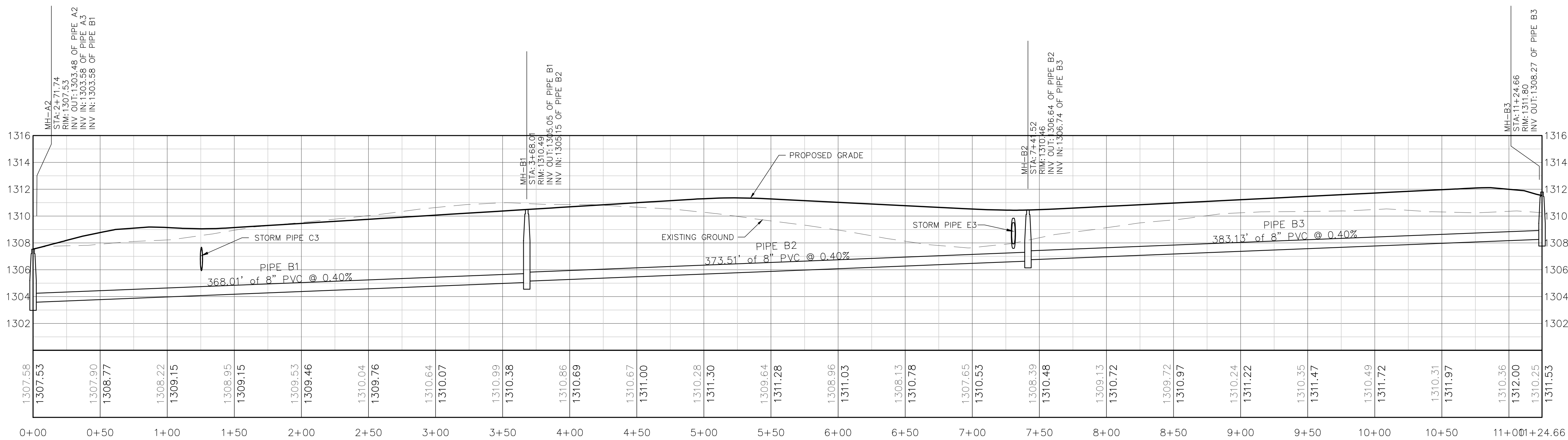
GRADING PLAN		MORSANI ACRES SUBDIVISION TONTITOWN, AR		CERTIFICATE OF AUTHORITY ARKANSAS ENGINEER	
DATE	#	REVISION	DESC.		
DRAWN BY: JRG	CHECKED BY: JRG	02/04/19			
DRAWING CREATION DATE:	02/04/19				
JOB NUMBER:	12171				
				STATE OF ARKANSAS LICENSED PROFESSIONAL ENGINEER No. 15162 NOTES: R. C. CROFT	
				EARTHPLAN DESIGN ALTERNATIVES, P.A. No. 222 Arkansas Engineer	
				134 West Emma Avenue Springdale, Arkansas 72762	



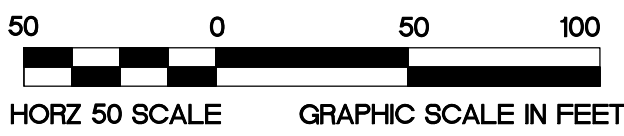
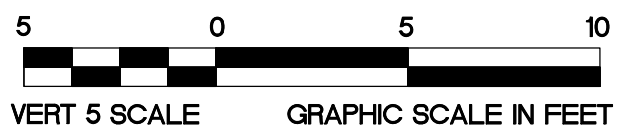
Sanitary Sewer A H 1"=50'
V 1"=5'
STA 0+00 - 8+00



Sanitary Sewer A H 1"=50'
V 1"=5'
STA 8+00 - 16+21.50

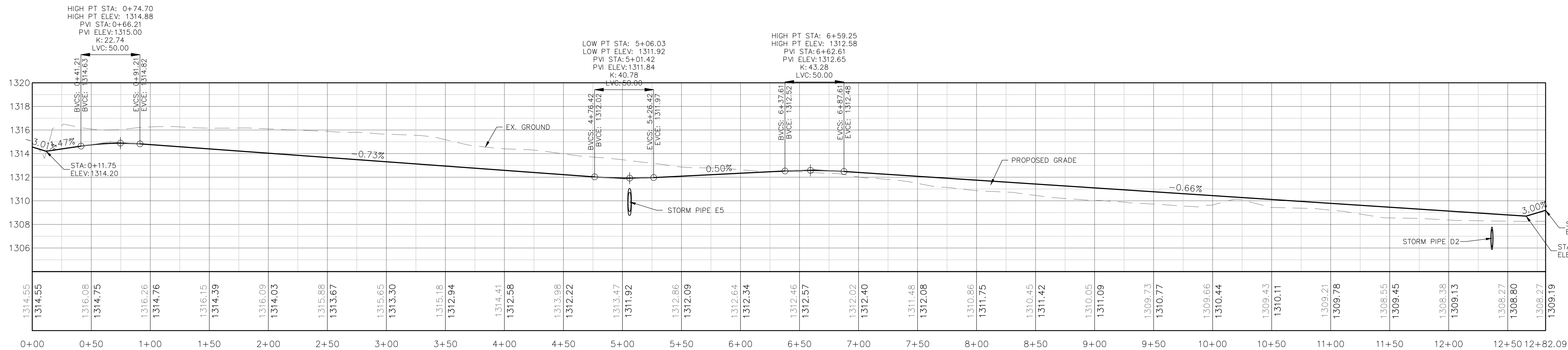


Sanitary Sewer B H 1"=50'
V 1"=5'
STA 0+00 - 11+00+24.66

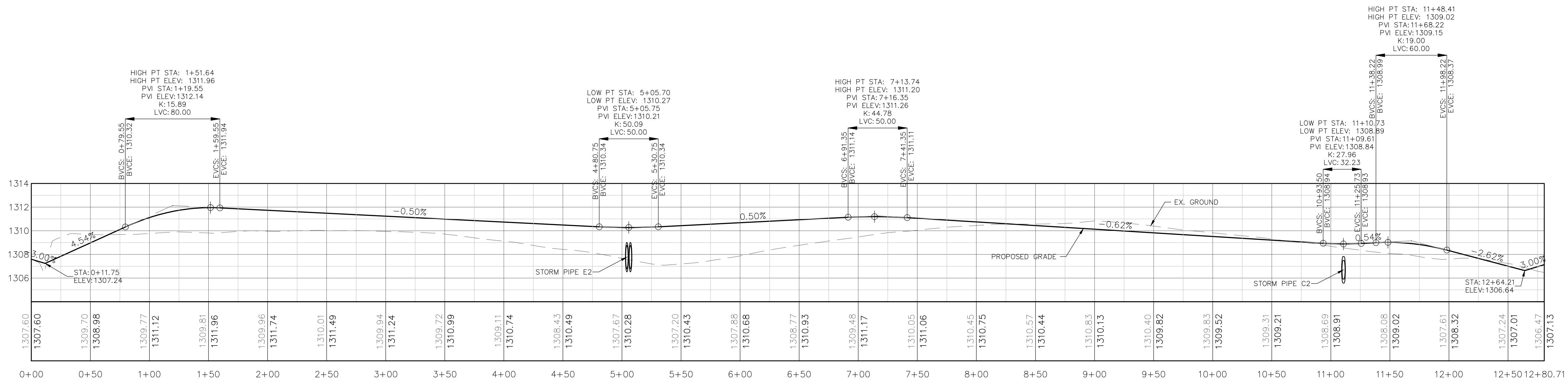


Know what's below.
Call before you dig.

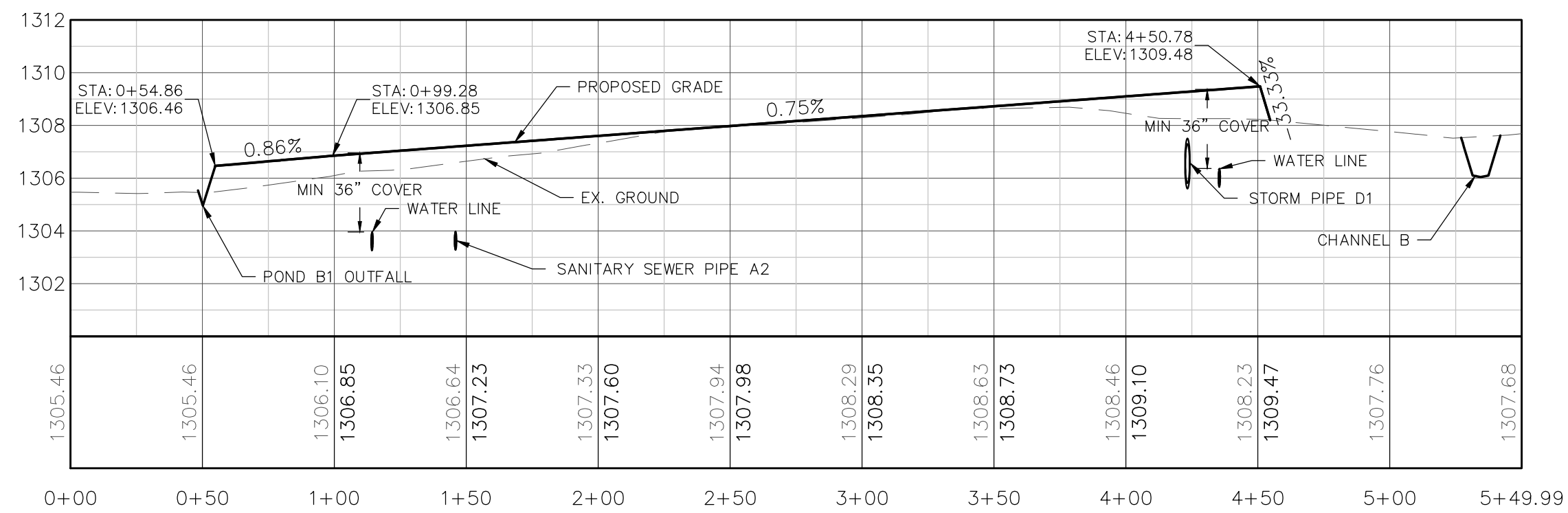
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NOT FOR CONSTRUCTION								
STATE OF ARKANSAS LICENSED PROFESSIONAL ENGINEER No. 15162 R. GIBBY								
CERTIFICATE OF AUTHORIZATION EARTHPLAN DESIGN ALTERNATIVES, PA No. 222 ARKANSAS ENGINEER								
UTILITY PROFILES								
MORSANI ACRES SUBDIVISION TONTITOWN, AR								
Earthplan Design Alternatives, PA Civil Engineering / Landscape Architecture 134 West Emma Avenue Springdale, Arkansas 72764 (479) 756-1266 www.eda.pa.com								
C202								



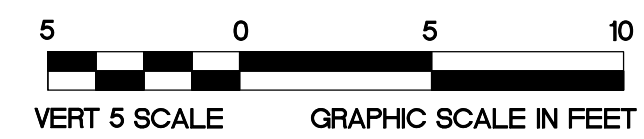
BROOKE LN H 1"=50'
V 1"=5'



BRINLEY ST H 1"=50'
V 1"=5'



FLETCHER AVE H 1"=50'
V 1"=5'



Know what's below.
Call before you dig.

DRAWN BY:	CLP	CHECKED BY:	JRG	DATE:	#	REVISION	DESC.
DRAWING CREATION DATE:				02/04/19			
JOB NUMBER:				12171			
PROJECT:				PA PROJECTS\2171\2\DWG\2171_0103			
LAST SAVER:				3/18/2019 7:33 PM			
PLOT DATE:				3/18/2019 7:33 PM			

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 15162
R. GURTY

CERTIFICATE OF AUTHORIZATION
ARTHURIAN DESIGN ALTERNATIVES, PA
No. 322
ARKANSAS ENGINEER

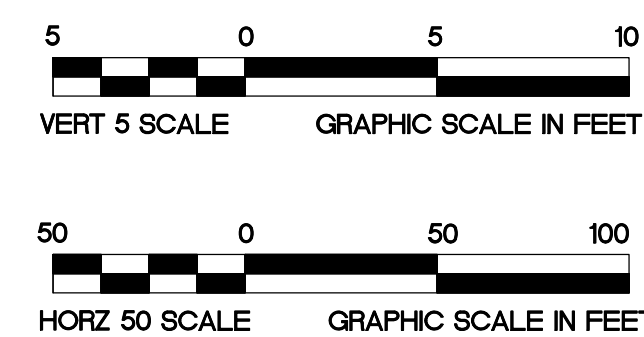
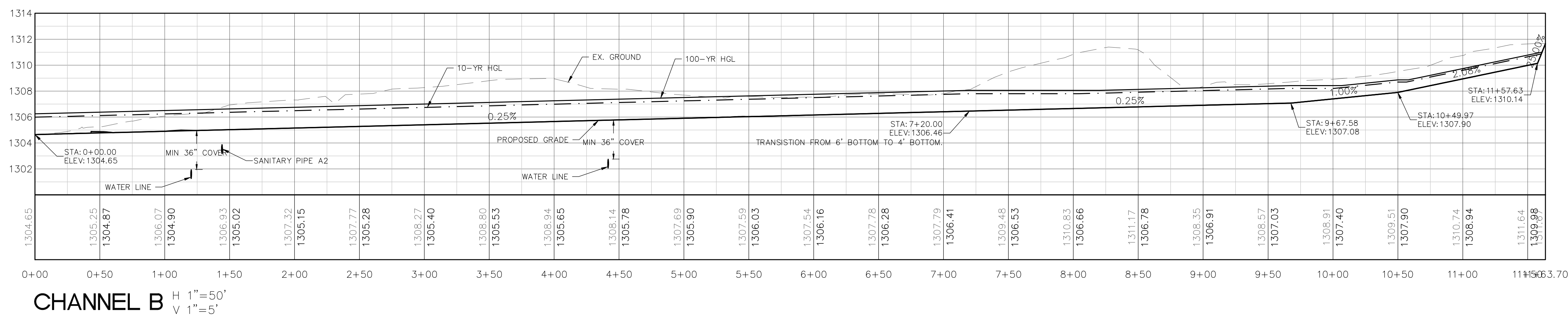
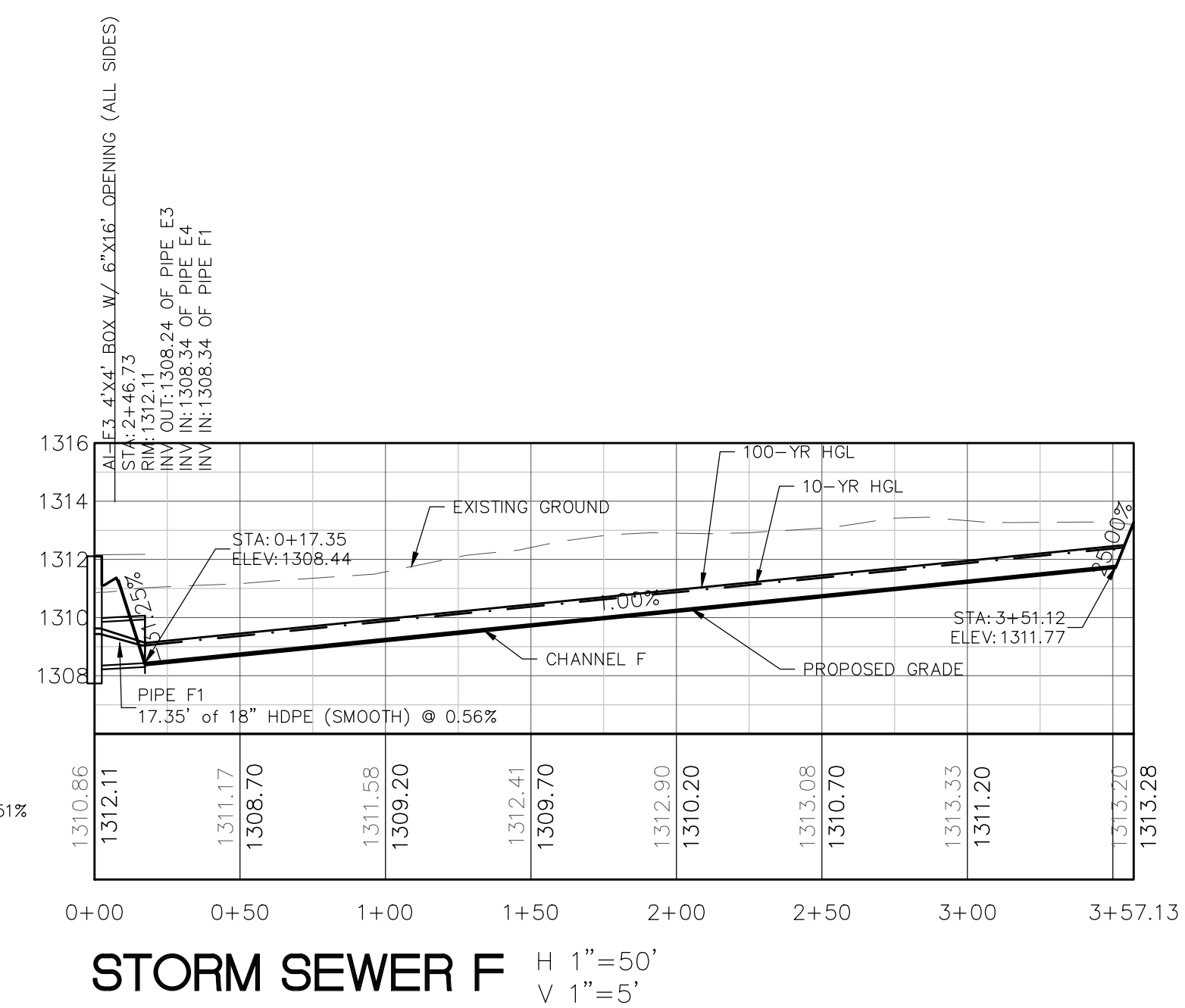
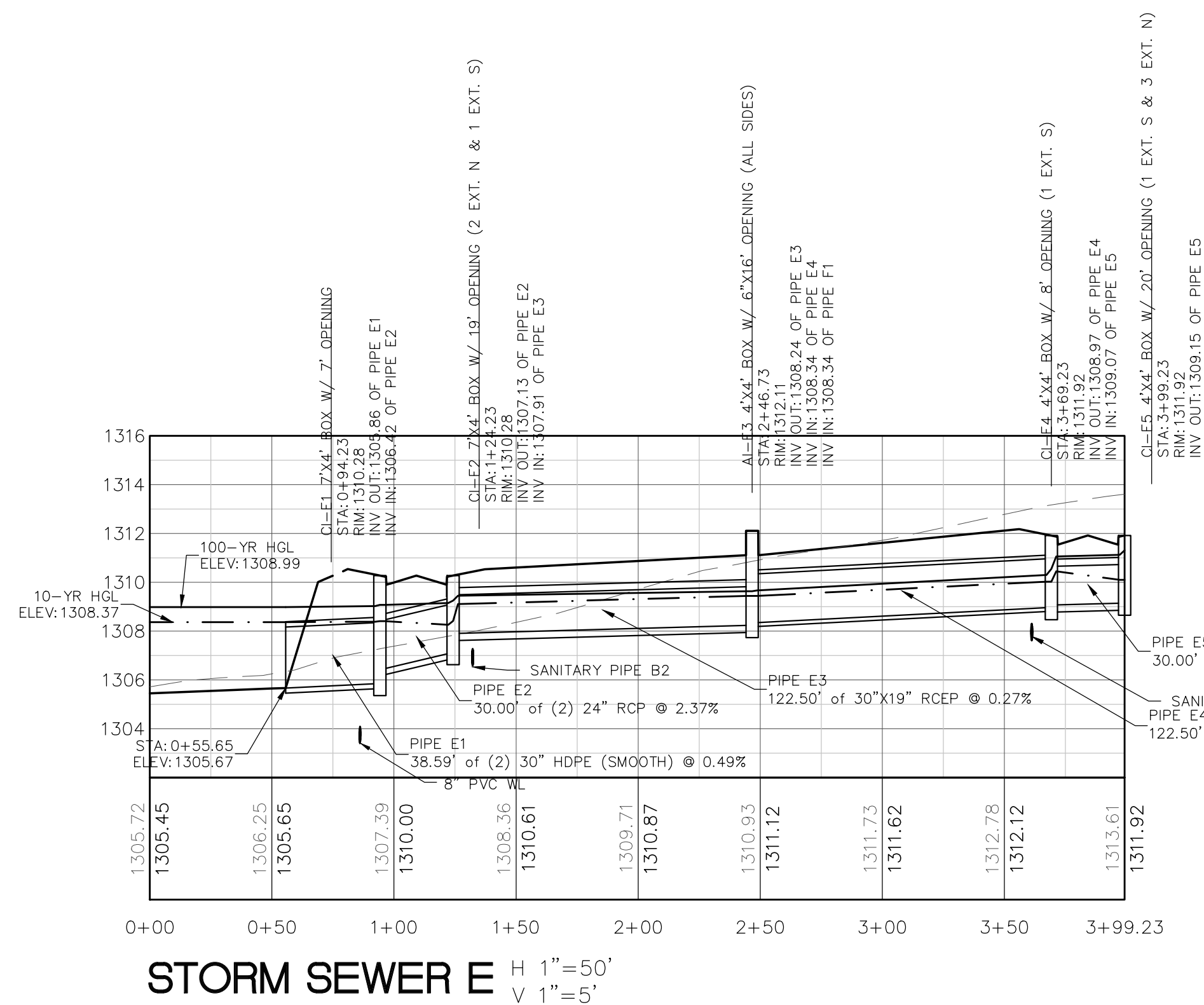
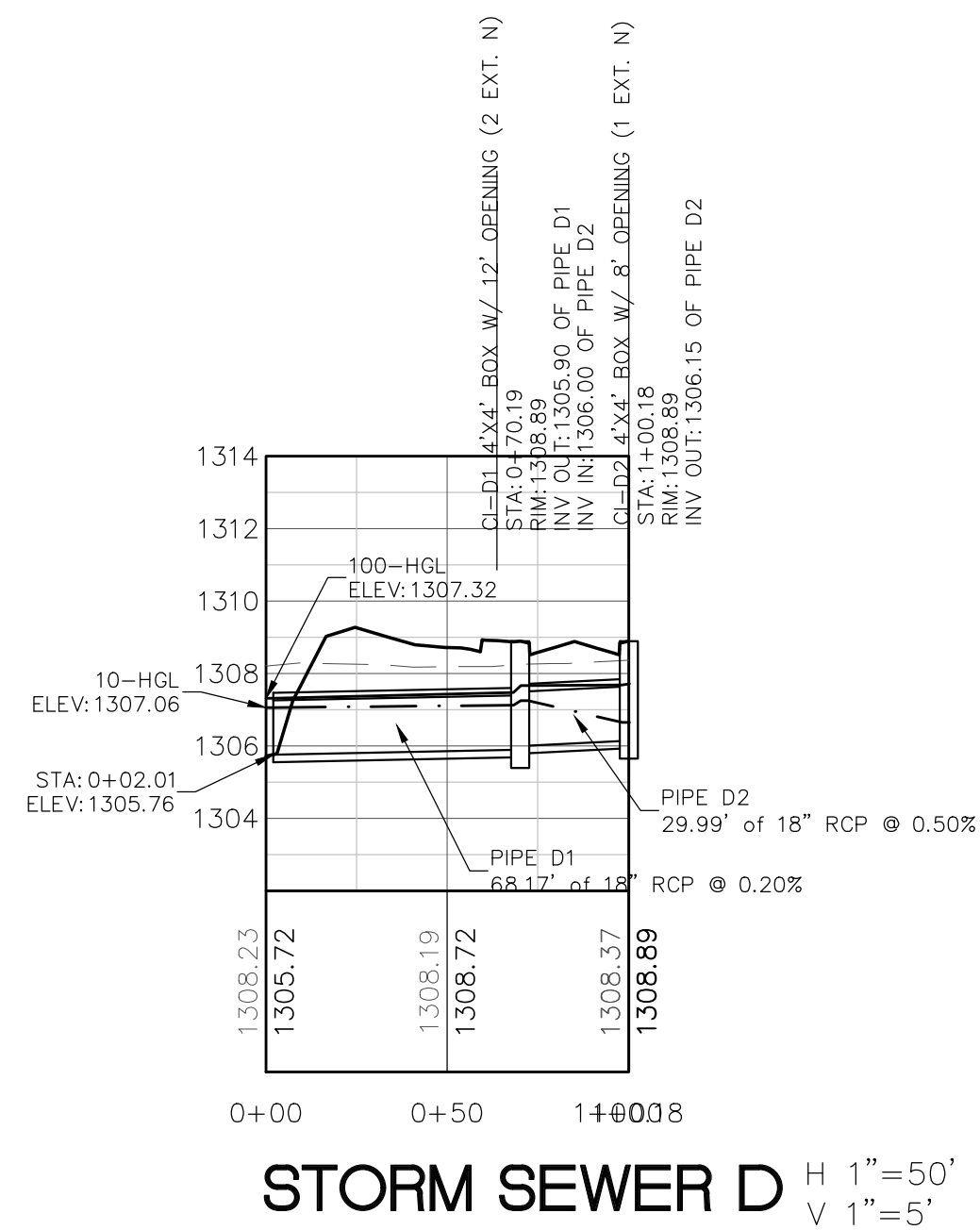
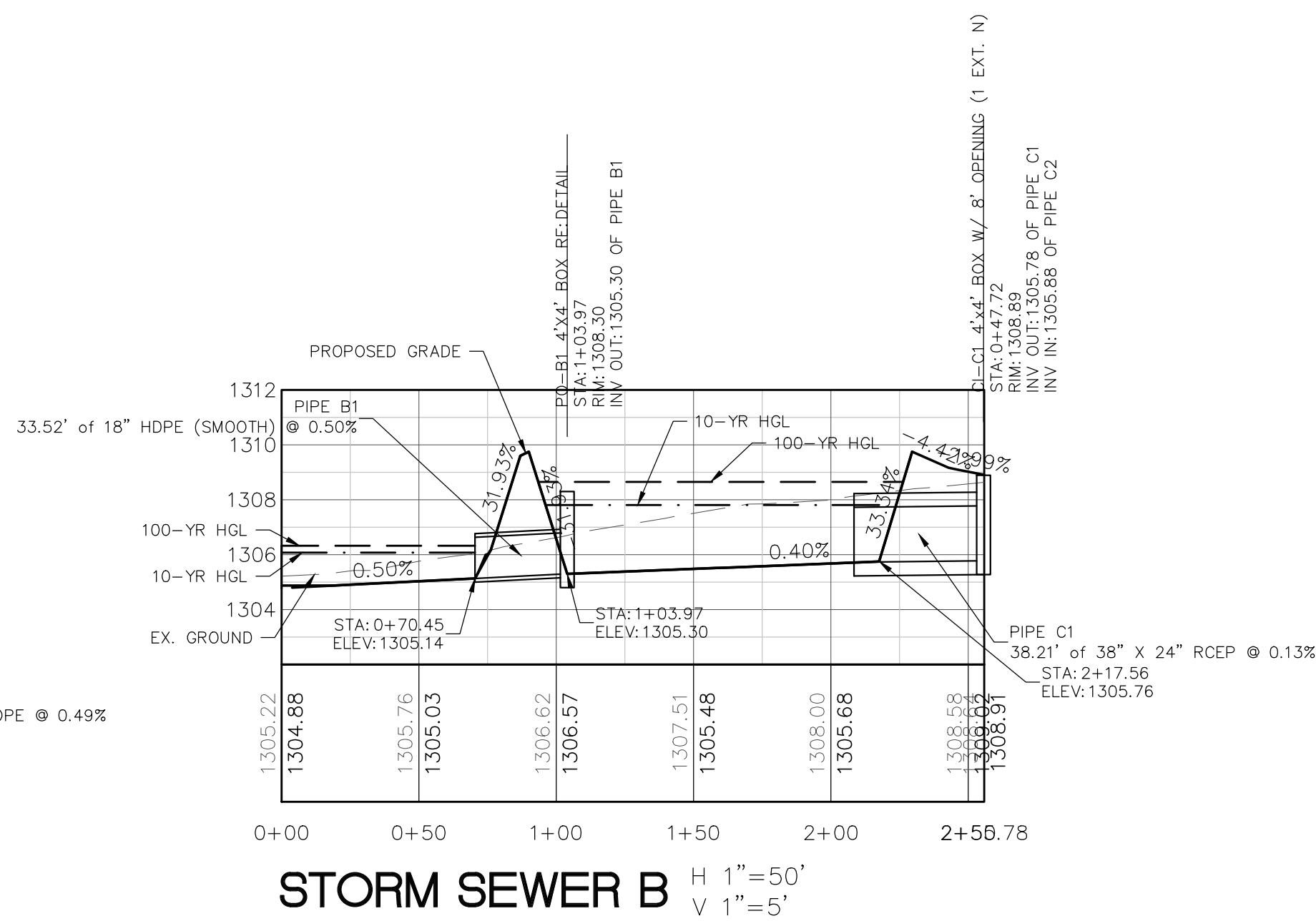
ROAD PROFILES

MORSANI ACRES SUBDIVISION
TONTITOWN, AR

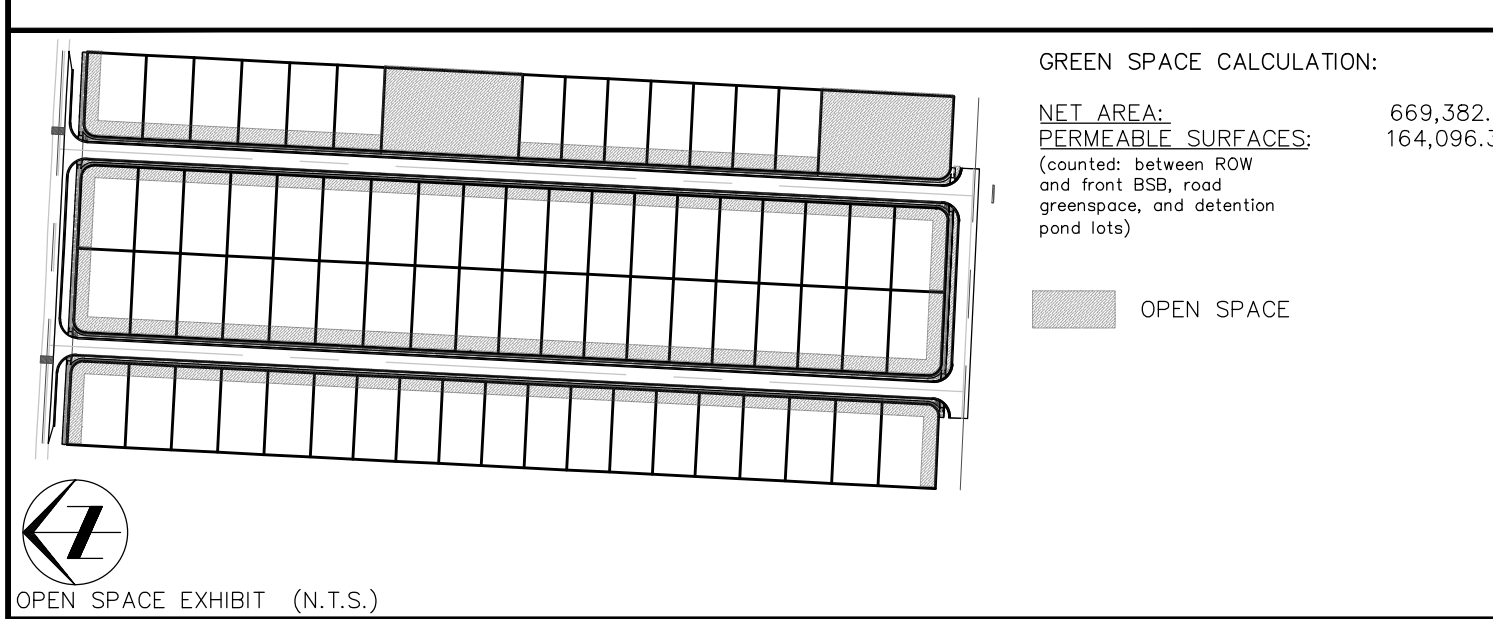
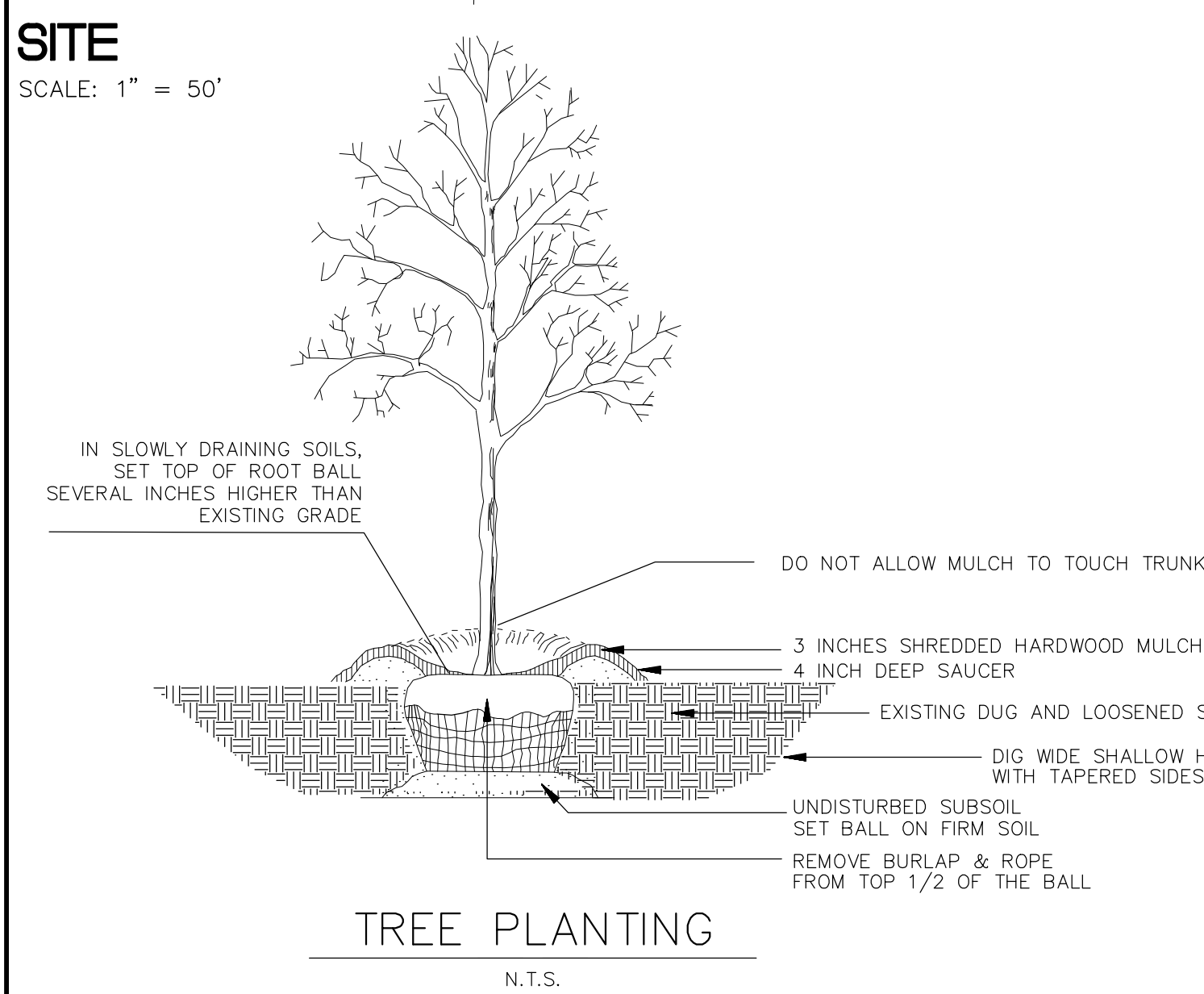
Earthplan Design Alternatives, PA
Civil Engineering / Landscape Architecture

EDA
134 West Emma Avenue
Springdale, Arkansas 72764
(479) 756-1266
www.eda-pa.com

C203



**Know what's below.
Call before you dig.**



- INSTALLATION NOTES:**
- LANDSCAPE TO BE MAINTAINED WEEKLY DURING GROWING SEASON.
 - ALL TREES AND SHRUBS ARE GRAPHICALLY SHOWN AT APPROXIMATE MATURE SIZE.
 - TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER PRUNING TECHNIQUES AS ESTABLISHED BY ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILITIES DURING MAINTENANCE.
 - ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - ALL TREES SHALL BE BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST (IF BALLED AND BURLAPPED IS SPECIFIED ON THE PLAN).
 - ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED, UNLESS SPECIFIED OTHERWISE, AND MUST MEET ALL REQUIREMENTS SPECIFIED ON PLANS.
 - SHREDDED HARDWOOD MULCH SHALL NOT BE PLACED IMMEDIATELY ADJACENT TO TREE TRUNKS AND SHALL BE KEPT AT LEAST 3" FROM ROOT COLLAR AT THE SOIL LINE. EXCESSIVE MULCHING OVER TREE ROOTS IS NOT ALLOWED. THE DEPTH OF SHREDDED HARDWOOD MULCH COVERING TREE ROOTS SHALL BE 3" THICK.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION AT NO COST TO THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
 - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
 - NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE CONSTRUCTION BEGINS.
 - ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED WITH TURF-TYPE BERMUDA.

- STAKING AND GUYING**
- A. Stake or guy a tree only when necessary for the specific conditions encountered and with the approval of the landscape architect. Staking may be required in unusual circumstances such as sandy soils in either the root ball or adjacent soils or in extremely windy locations. Poor-quality trees with cracked, wet, or loose root balls, poorly developed trunk-to-crown ratios, or undersized root balls shall be rejected if they require staking, unless written approval to permit staking or guying as a remedial treatment is obtained from the landscape architect. Trees that settle out of plumb due to inadequate soil compaction either under or adjacent to the root ball shall be excavated and reset. In no case shall trees that have settled out of plumb be pulled upright using guy wires.
- B. When required, staking and guying methods shall be approved by the landscape architect. If no staking or guying requirements appear on the drawings, submit for approval a drawing of the staking or guying method to be used. Stakes, anchors, and wires shall be of sufficient strength to maintain the tree in an upright position that overcomes the particular circumstances that initiated the need for staking or guying. Guy wires shall be galvanized, multi-strand, twisted wire.
- C. Where guy wires are attached around the tree, the trunk shall be protected with 3/4 in. diameter rubber hose, black in color, and of sufficient length to extend past the trunk by more than 6 in. Stakes and guys shall be installed immediately upon approval or planting.



PLANTING OPERATIONS

- A. Plants shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, unless otherwise noted on the drawings. Plants must be set plumb and braced in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compacting of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later.
- B. (NOTE: Proper planting depth requires the root flare to be at or slightly above the finished grade. It is important to determine how deep the root flare is in the ball before it is placed in the planting hole. Sometimes the top of the ball may need to be raised until the root flare is at the proper planting depth and/or soil must be removed from the top of the ball.)
- Determine the elevation of the root flare and ensure that it is planted at grade. This may require that the tree be set higher than the grade in the nursery.
 - If the root flare is less than 2 in. below the soil level of the root ball, plant at the appropriate level above the grade to set the flare even with the grade.
- C. Lift plants only from the bottom of the root balls or with belts or lifting harnesses of sufficient width not to damage the root balls. Do not lift trees by their trunk or use the trunk as a lever in positioning or moving the tree in the planting area.
- D. Remove plastic, paper, or fiber pots from containerized plant material. Pull roots out of the root mat and cut circling roots with a sharp knife. Loosen the potting medium and shake away from the root mat. Immediately after removing the container, install the plant such that the roots do not dry out. Pack planting mix around the exposed roots while planting. See detail, this sheet, about shaving method for containerized trees.
- E. The roots of bare-root trees shall be pruned at the time of planting to remove damaged or undesirable roots (those likely to become a detriment to future growth of the root system). Bare-root trees shall have the roots spread to approximate the natural position of the roots and shall be centered in the planting pit. The planting-soil backfill shall be worked firmly into and around the roots, with care taken to fill in completely with no air pockets.
- F. If circling roots are present on container TREES, the periphery roots shall be shaved off (see root ball shaving detail) to a maximum of 2 in. thick.
- G. Cut ropes or strings from the top of shrub root balls and trees smaller than 3 in. caliper after plant has been set. Remove burlap or cloth wrapping and any wire baskets from around top one-half of balls. Do not turn under and bury portions of burlap; cut away and remove all material and wire.
1. Completely remove any waterproof or water-repellant strings or wrappings from the Root ball and trunk before backfilling.
- F. Place amended soils into the area in a planting bed, tamping lightly to reduce settlement.
1. For plants planted in large beds of prepared soil, add soil amendments during the soil installation process.
- G. Thoroughly water all plants immediately after planting. Apply water by hose directly to the root ball and the adjacent soil.
- H. Remove all tags, labels, strings, etc. from all plants.
- I. Remove any excess soil, debris, and planting material from the job site at the end of each workday.
- J. Form watering saucers 4 in. high immediately outside the area of the root ball of each tree or as indicated in details.

TREE LEGEND					
#	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE (HEIGHT X WIDTH)	NOTES/COMMENTS
2		QUERCUS MACROCARPA	BUR OAK	2.5" CAL DBH & 6" TALL	AR NATIVE. MOIST OR DRY SITES.
3		NYSSA SYLVATICA	BLACK GUM	2.5" CAL DBH & 6" TALL	AR NATIVE. MOIST OR DRY SITES.
3		PLATANUS ACERIFOLIA	AMERICAN SYCAMORE	2.5" CAL DBH & 6" TALL	AR NATIVE. MOIST OR DRY SITES. WHITE EXFOLIATING BARK.

Legend	
	Property Line
	Easement Line
	Building Set Back Line
	Ex. Gas Line
	Ex. Underground Utilities
	Ex. Water Line
	Ex. Overhead Electric Line
	Proposed Storm Water Pipe
	Proposed Sanitary Sewer Line
	Proposed Water Line
	Existing Fence
	Road Center Line
	Proposed Single Water Meter
	Fire Hydrant
	Demarcation Valve
	Overhead Electric
	Existing Sanitary Sewer Manhole
	Existing Storm Water Manhole
	Sewer Service
	Communication Box
	Electric Transformer
	Found Iron Pin
	Set Iron Pin
	Concrete Sidewalk
	Asphalt Paving
	Tree To Be Removed

LANDSCAPE PLAN

MORSANI ACRES SUBDIVISION
TONTITOWN, AR

Earthplan Design Alternatives, PA
Civil Engineering / Landscape Architecture
134 West Emma Avenue
Springdale, Arkansas 72762
www.eda.com

DRAWN BY: SDG
CHECKED BY: JRG
DATE: 01/24/19
JOB NUMBER: 2171
PROJECTS: 2171.2 CIVIL/2171.1 L101
LAST SAVED: 3/19/2019 2:55 PM
PLOT DATE: 3/19/2019 2:55 PM

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 15162
NOTES: R. GRIFFIN

CERTIFICATE OF AUTHORIZATION
EARTHPLAN DESIGN ALTERNATIVES, PA
No. 223
ARKANSAS ENGINEER

L101



CITY OF TONTITOWN PLANNING OFFICE

201 E. Henri de Tonti Blvd.
479-361-2700
planning@tontitownar.gov

Meeting: **March 26, 2019**
Project: **Morsani Acres**
Planner: Courtney McNair

AGENDA ITEM

C

- i. **Planned Unit Development (PUD) REQUEST**
- ii. **PRELIMINARY SUBDIVISION PLAT REQUEST**
- iii. **WAIVER REQUEST**

PLANNING BOARD/ BOARD OF ZONING ADJUSTMENTS ACTION:

REZONING REQUEST

This project was approved unanimously by members present with recommended conditions listed below, and agreed upon at the Planning Board Meeting (also listed). Four (4) members were present, one (1) was absent.

CONDITIONS OF APPROVAL:

1. This PUD zoning must proceed to the City Council for approval.
2. This project must proceed through the Preliminary Subdivision Plat process, and address all technical information. Any approvals granted related to the Preliminary Subdivision Plat will be contingent on City Council approval of the PUD zoning.
3. This project shall develop as is stated in the applicant's letter and presented in the plans. No additional uses/densities are allowed without an additional PUD request.

ADDITIONAL CONDITIONS PLACED AT THE PLANNING BOARD MEETING:

4. The covenants shall be amended to add:
 - All homes are to be constructed with 75% brick
 - The minimum square footage is 1450 SF
5. A single row of evergreen screening trees shall be placed on the south end of the property to provide screening. This shall be reflected on an updated Landscape Plan, and approved by Planning Staff.
6. Channel B of the drainage system, as shown on the plans, shall be installed and evaluated for functionality and adherence to Drainage Manual at the beginning of the subdivision construction. It is the developer's responsibility to mitigate drainage impacts to adjacent properties, if it is determined that the impacts are a direct result of this development, or the Hidden Valley Development, as determined by the City Engineer.

PLANNING BOARD/ BOARD OF ZONING ADJUSTMENTS ACTION:

PRELIMINARY LARGE SCALE DEVELOPMENT PLAN APPROVAL REQUEST

This project was approved unanimously by members present with recommended conditions listed below. Four (4) members were present, one (1) was absent.

CONDITIONS OF APPROVAL:

1. It is the applicant's responsibility to coordinate any additional utility easements or connections as needed to service their property.
2. The SWPPP shall be completed and posted on site prior to construction.
3. Correct all remaining items on the "Plat Requirement Worksheet" prior to Construction Plan approval. Planning Staff will provide a copy of the remaining requirements to the engineer for the project.
4. Water and Sewer Systems plans shall be approved prior to construction.
5. If any signage is desired, it must be permitted separately and shall comply with all current sign codes.
6. "No Parking" signs / fire lane striping shall be placed per the Fire Marshal.
7. All interior drives shall meet the required compaction rating to support emergency vehicles.
8. Correct all comments from the City Engineer prior to Construction Plan approval.
9. The Landscaping and Park amenities shall be installed as proposed.
10. The applicant shall apply for all required permits prior to construction.
 - a. Pre-Construction Meeting must be held and plans approved.
 - b. SWPPP BMPs must be inspected and approved.
11. Once all Engineering Statements are received by the City, any additional charges will be sent to the developer in an invoice to be paid prior to the issuance of a Certificate of Occupancy.
12. Final Subdivision Plat plans, fees, inspections, and approval are required prior to the acceptance of this Subdivision by the City.
13. Building permits must be submitted and approved prior to individual homes being constructed.
14. Any approvals granted related to the Preliminary Plat will be contingent on City Council approval of the PUD zoning.

PLANNING BOARD/ BOARD OF ZONING ADJUSTMENTS ACTION:

WAIVER REQUEST- FLETCHER ROAD-a waiver for a portion of the Fletcher Road construction to shorten the eastern and western stub outs, and improve 26' feet of the Road.

This project was approved unanimously by members present. Four (4) members were present, one (1) was absent.